

CITY OF ALBUQUERQUE



December 12, 2017

Charles Carlson
Vigil & Associates
4477 Irving NW
Albuquerque, NM 87114

**Re: Galles Chevrolet
2801 University Blvd
30-Day Temporary Certificate of Occupancy- Transportation Development
Transportation Development Final Inspection
Engineer's/Architect's Stamp dated X11-13-17 (H15-D065)
Certification dated 12-06-17**

Dear Mr. Carlson,

Based upon the information provided in your submittal received 12-06-17, Transportation Development has no objection to the issuance of a 30-day Temporary Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a 30-day Temporary Certificate of Occupancy to be issued by the Building and Safety Division.

Prior to the issuance of a permanent Certificate of Occupancy, the following items must be addressed:

1. The ADA accessible parking sign must have the required language per 66-7-352.4C NMSA 1978 **"Violators Are Subject to a Fine and/or Towing."** Please update the signs and provide a picture for the permanent CO.

Once corrections are complete resubmit acceptable package along with fully completed Drainage Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. For digital submittal and minor comments and/or repairs, please submit photos to PLNDRS@cabq.gov prior to submittal. If you have any questions, please contact me at (505) 924-3630.

Sincerely,

Logan Patz
Senior Engineer, Planning Department
Development Review Services

\mao via: email
C: CO Clerk, File



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2016)

Project Title: Galles Chevrolet Building Permit #: 1009154 Hydrology File #: H15D065
DRB#: _____ EPC#: _____ Work Order#: _____
Legal Description: Tract 1, Big I Commerce Center
City Address: 2801 University Blvd. NE

Applicant: Vigil & Assoc. Contact: Charles Carlson
Address: 4477 Irving NW
Phone#: 890-5030 Fax#: _____ E-mail: Charles@va-architects.com

Other Contact: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

Check all that Apply:

DEPARTMENT:

☐ HYDROLOGY/ DRAINAGE
☒ TRAFFIC/ TRANSPORTATION

TYPE OF SUBMITTAL:

☒ ENGINEER/ARCHITECT CERTIFICATION

☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR

☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)

☐ OTHER (SPECIFY) _____
☐ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY

☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL

☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR

☐ OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: ☐ Yes ☒ No

DATE SUBMITTED: 12/06/17 By: Charles Carlson Charles Carlson

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____



VIGIL & ASSOCIATES
ARCHITECTURAL GROUP, P.C.

December 6, 2017

TRAFFIC CERTIFICATION

I, Fred Arfman, NMPE, OF THE FIRM Isaacson & Arfman, HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 10/24/2017. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY Charles Carlson OF THE FIRM Vigil & Associates Architectural Group. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 12/06/2017, AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR Final Inspection.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

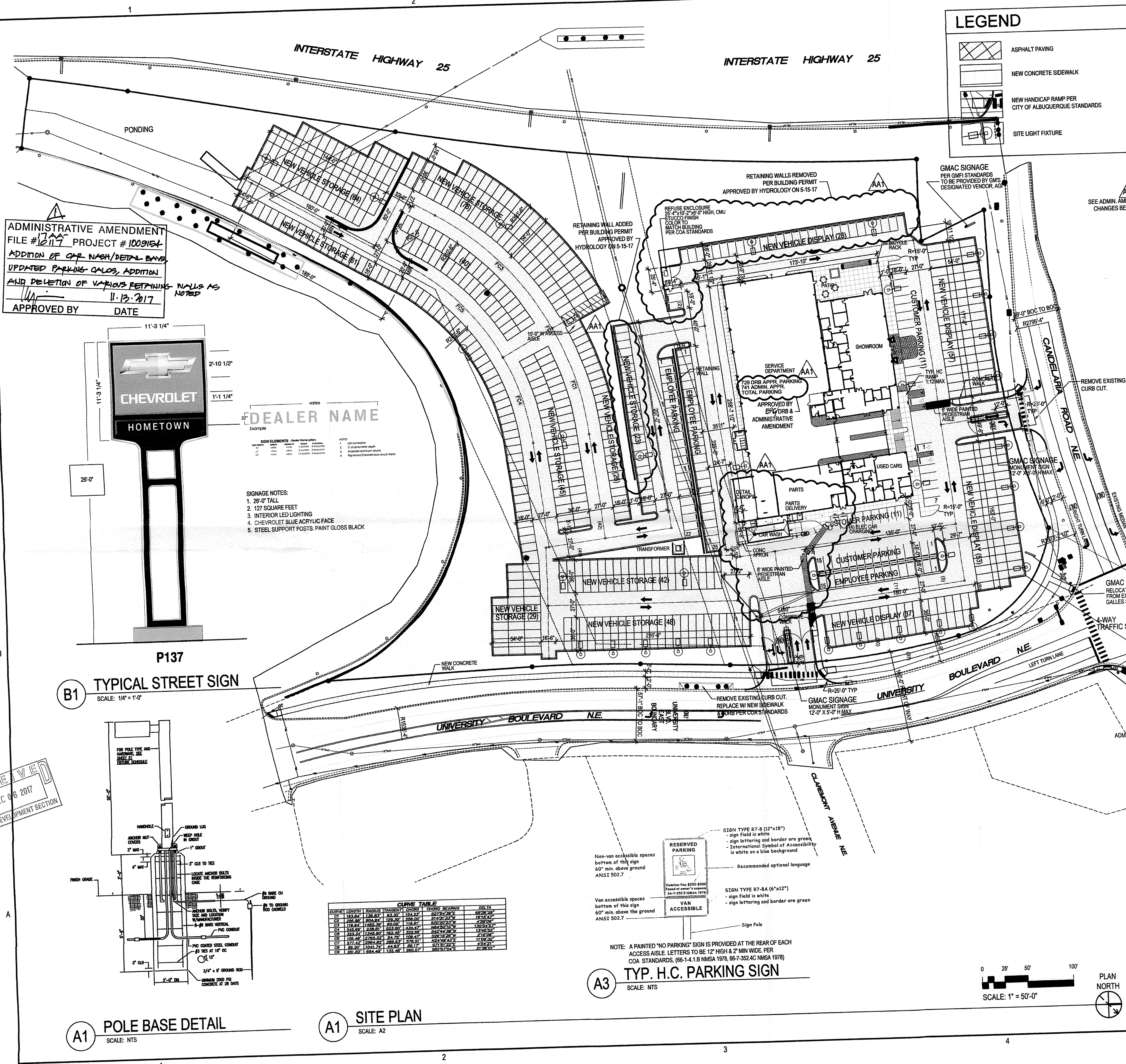

Signature of Engineer



12.06.17
Date



VBA PROJECT NO. 16-013



LEGEND

- ASPHALT PAVING
- NEW CONCRETE SIDEWALK
- NEW HANDICAP RAMP PER CITY OF ALBUQUERQUE STANDARDS
- SITE LIGHT FIXTURE

LEGAL DESCRIPTION

TRACT 1
9.2172 ACRE
(VACANT LAND)
BIG I COMMERCE CENTER
FILED 6-13-2013, BK. 2013C, PG 74

ZONING: M-1

PARKING/SIGNAGE CALCULATIONS

NEW & USED CAR SALES (RETAIL A-2)	12,943 SF
1 SPACE / 200 SF =	64.7165 SPACES
SERVICE & PARTS (MANUF. & WHOLESALE A-17)	28,555 SF
1 SPACE / 1,000 SF =	28.555 SPACES
TOTAL PARKING SPACES	91 SPACES
TRANSIT REDUCTION 10% (ROUTE 7 ON CANDELAIRIA)	91 / 10 = 8.1 SPACES
MOTORCYCLE PARKING REQUIRED	51-100 = 3 SPACES
BICYCLE PARKING REQUIRED	5 SPACES
HANDICAPPED PARKING REQUIRED	51-100 = 4 H.C. SPACES
PARKING SUMMARY	
CAR SPACES	91
MC SPACES	3
BICYCLE SPACES	5
DISABLED (H.C.)	4

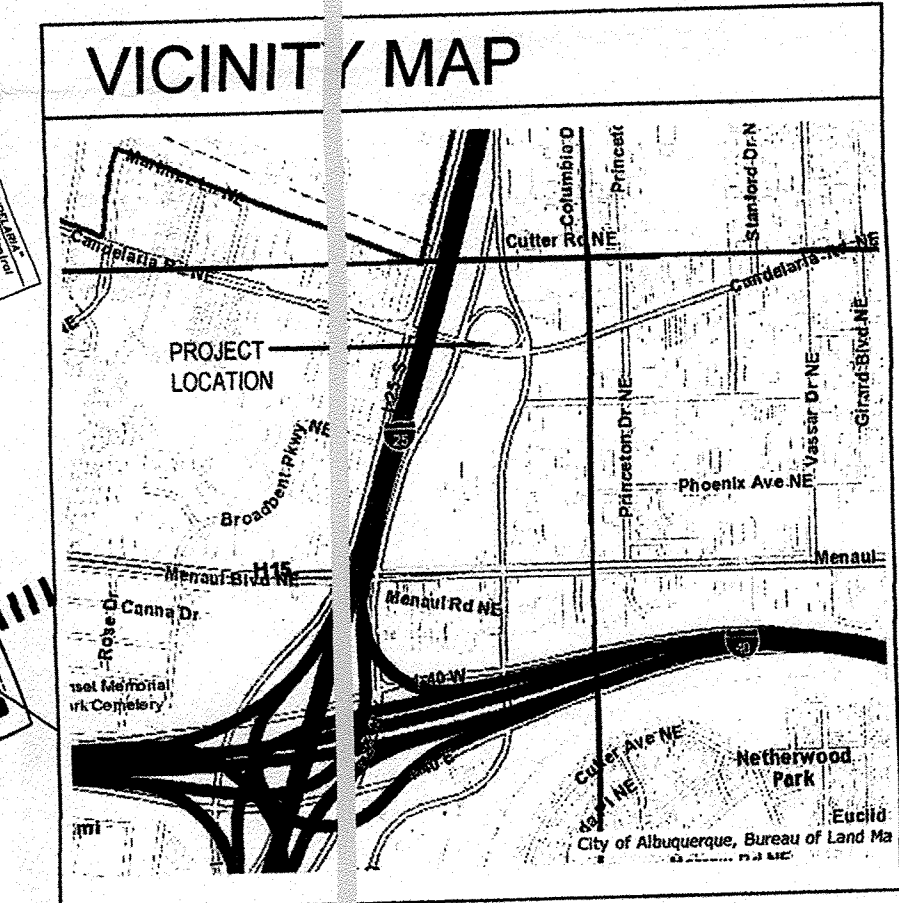
SIGNAGE

1) ALLOWABLE SIGNAGE PER 14-16-3 FRONTAGE: 3 SIGNS ALLOWABLE. 2 SIGNS ACTUAL.

2) FUTURE SIGNAGE CAN BE APPROVED ADMINISTRATIVELY IF IT COMPLIES WITH THE ZONING CODE.

AREA SCHEDULE

MARK	AREA	% OF TTL
STRUCTURE	41,350 S.F.	10%
CAR WASH & DETAIL BAYS	2,224 S.F.	< 5%
OPEN AREA @ STRUCTURE	3,194 S.F.	< 2%
PARKING	116,020 S.F.	< 20%
CIRCULATION	99,910 S.F.	24%
LANDSCAPING	135,010 S.F.	< 30%
TOTAL AREA	401,501 S.F.	2172 ACRES



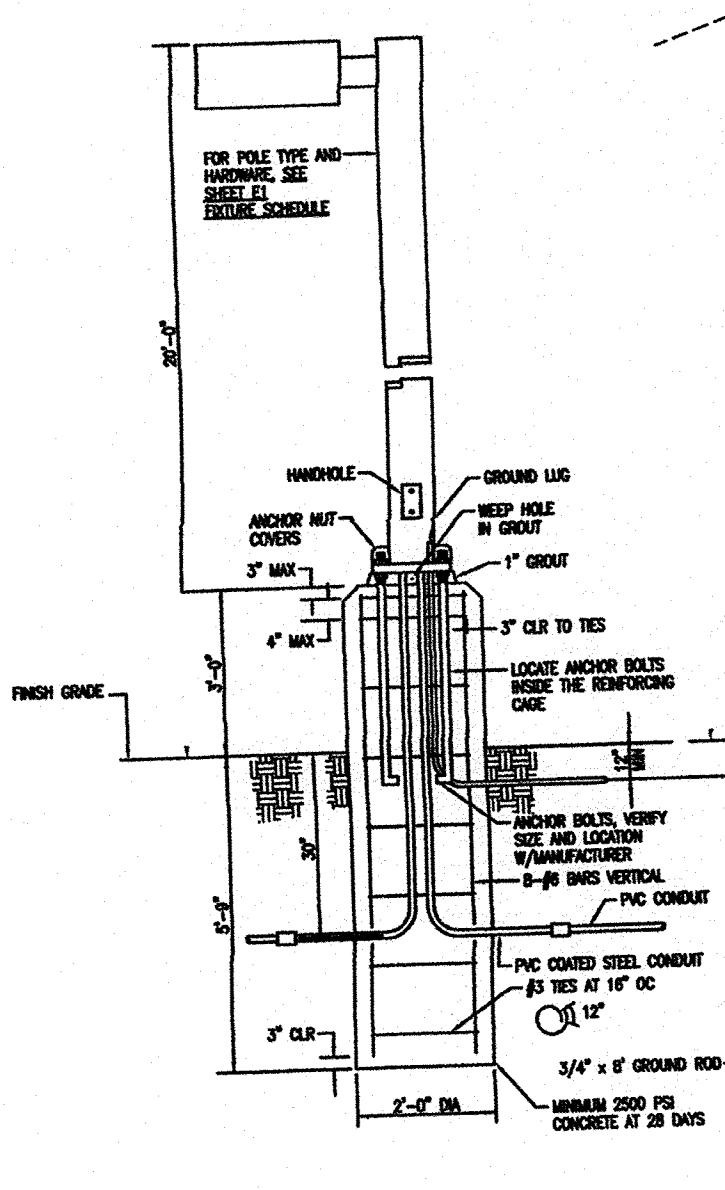
PARKING/SIGNAGE CALCULATIONS

NEW & USED CAR SALES (RETAIL A-2)	12,943 SF
1 SPACE / 200 SF =	64.7165 SPACES
SERVICE & PARTS (MANUF. & WHOLESALE A-17)	30,780 SF
1 SPACE / 1,000 SF =	30.78 SPACES
TOTAL PARKING SPACES	94 SPACES
TRANSIT REDUCTION 10% (ROUTE 7 ON CANDELAIRIA)	94 / 10 = 9.4 SPACES
MOTORCYCLE PARKING REQUIRED	51-100 = 3 SPACES
BICYCLE PARKING REQUIRED	5 SPACES
HANDICAPPED PARKING REQUIRED	51-100 = 4 H.C. SPACES
PARKING SUMMARY	
CAR SPACES	94
MC SPACES	3
BICYCLE SPACES	5
DISABLED (H.C.)	4

ADMINISTRATIVE AMENDMENT
FILE #1217 PROJECT #1009154
ADDITION OF CAR WASH/DETAIL BAYS
UPDATED PARKING CALCULATIONS, ADDITION
AND DELETION OF VARIOUS RETAINING WALLS AS NOTED
11.13.2017
APPROVED BY _____ DATE _____



B1 TYPICAL STREET SIGN
SCALE: 1/4" = 1'-0"



A1 POLE BASE DETAIL
SCALE: NTS

DEALER NAME

Example: CHEVROLET

SIGNAGE NOTES:

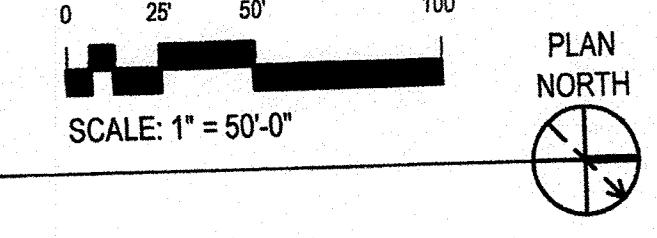
- 26'-0" TALL
- 127 SQUARE FEET
- INTERIOR LED LIGHTING
- CHEVROLET BLUE ACRYLIC FACE
- STEEL SUPPORT POSTS, PAINT GLOSS BLACK

CURVE TABLE

CURVE LENGTH	RADIUS	CHORD	CHORD BEARING	DELTA
100.00	100.00	100.00	90.00	90.00
150.00	150.00	150.00	90.00	90.00
200.00	200.00	200.00	90.00	90.00
250.00	250.00	250.00	90.00	90.00
300.00	300.00	300.00	90.00	90.00
350.00	350.00	350.00	90.00	90.00
400.00	400.00	400.00	90.00	90.00
450.00	450.00	450.00	90.00	90.00
500.00	500.00	500.00	90.00	90.00
550.00	550.00	550.00	90.00	90.00
600.00	600.00	600.00	90.00	90.00
650.00	650.00	650.00	90.00	90.00
700.00	700.00	700.00	90.00	90.00
750.00	750.00	750.00	90.00	90.00
800.00	800.00	800.00	90.00	90.00
850.00	850.00	850.00	90.00	90.00
900.00	900.00	900.00	90.00	90.00
950.00	950.00	950.00	90.00	90.00
1000.00	1000.00	1000.00	90.00	90.00

A3 TYP. H.C. PARKING SIGN
SCALE: NTS

NOTE: A PAINTED "NO PARKING" SIGN IS PROVIDED AT THE REAR OF EACH ACCESS AISLE. LETTERS TO BE 12" HIGH & 2" MIN WIDE PER COA STANDARDS, (66-14.1.9 NMSA 1978, 66-7.355 AC NMSA 1978)



**GALLES CHEVROLET
ALBUQUERQUE, NEW MEXICO**

JAYNES CORPORATION

date: NOVEMBER 28, 2016
drawn by: VBA
checked by: RRV
file name: XXXXXX_AXXX.dwg
revisions:
REVISED OCTOBER 26, 2016
REVISED JANUARY 25, 2017
ADMIN. AMEND. 10/24/17

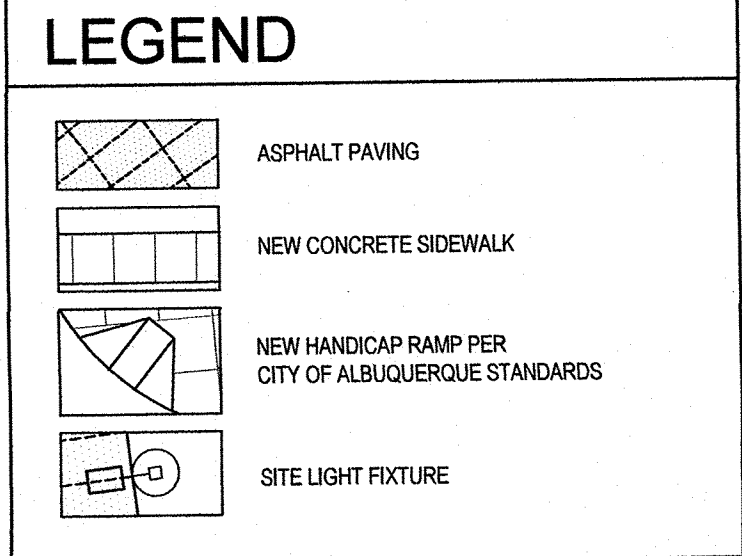
SPBP_001

project no. 16-013

VIGIL & ASSOCIATES
ARCHITECTURAL GROUP, P.C.
WWW.VA-ARCHITECTS.COM

**DRB APPROVAL
SUBMITTAL**

SITE PLAN



TRACT 1
9.2172 ACRE
(VACANT LAND)
BIG I COMMERCE CENTER
FILED 6-13-2013, BK. 2013C, PG 74

ZONING: M-1

NEW & USED CARS (RETAIL A-27)	12,943 SF
1 SPACE / 200 SFs	64.7-65 SPACES
SERVICE & PARTS (MANUF. & WHOLESALE A-17)	28,556 SF
1 SPACE / 1,000 SF =	28.6-29 SPACES
TOTAL PARKING SPACES	91 SPACES
TRANSIT REDUCTION 10% (ROUTE 7 ON CANDELARIA)	91 / 9 = 82 SPACES
MOTORCYCLE PARKING REQUIRED	51-100 = 3 SPACES
BICYCLE PARKING REQUIRED	5 SPACES
HANDICAPPED PARKING REQUIRED	51-100 = 4 H.C. SPACES

<u>PARKING SUMMARY</u>		
	<u>REQUIRED</u>	<u>PROVIDED</u>
CAR SPACES	91	111 + SERVICE BAYS
MC SPACES	3	4
BICYCLE SPACES	5	6
DISABLED (H.C.)	4	4

SIGNAGE

1) ALLOWABLE SIGNAGE PER 14-16-3-2, 1 SIGN (150 MAX SF) PER 300' OF STREET FRONTAGE= 3 SIGNS ALLOWABLE @ 1,103.49 STREET FRONTAGE. 2 SIGNS ACTUAL.

2) FUTURE SIGNAGE CAN BE APPROVED ADMINISTRATIVELY IF IT COMPLIES WITH THE ZONING CODE.

MARK	AREA	% OF TTL
STRUCTURE	41,350 S.F.	10 %
OPEN AREA @ STRUCTURE	3,194 S.F.	< 2%
PARKING	116,020 S.F.	29 %
CIRCULATION	97,686 S.F.	24 %
LANDSCAPING	139,010 S.F. ALLOWABLE	35 %
TOTAL AREA	401,501 S.F. (9.2172 ACRES)	

[illegible]

PROJECT NUMBER: _____
Application Number: _____

This Plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____ and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Traffic Engineering, Transportation Division

ABCWUA

Parks and Recreation Department

City Engineer _____ Date _____

Solid Waste Management Date _____

DRB Chairperson, Planning Department



VIGIL & ASSOCIATES
ARCHITECTURAL GROUP, P.C.
WWW.VA-ARCHITECTS.COM

EPC
APPROVAL
SUBMITTAL

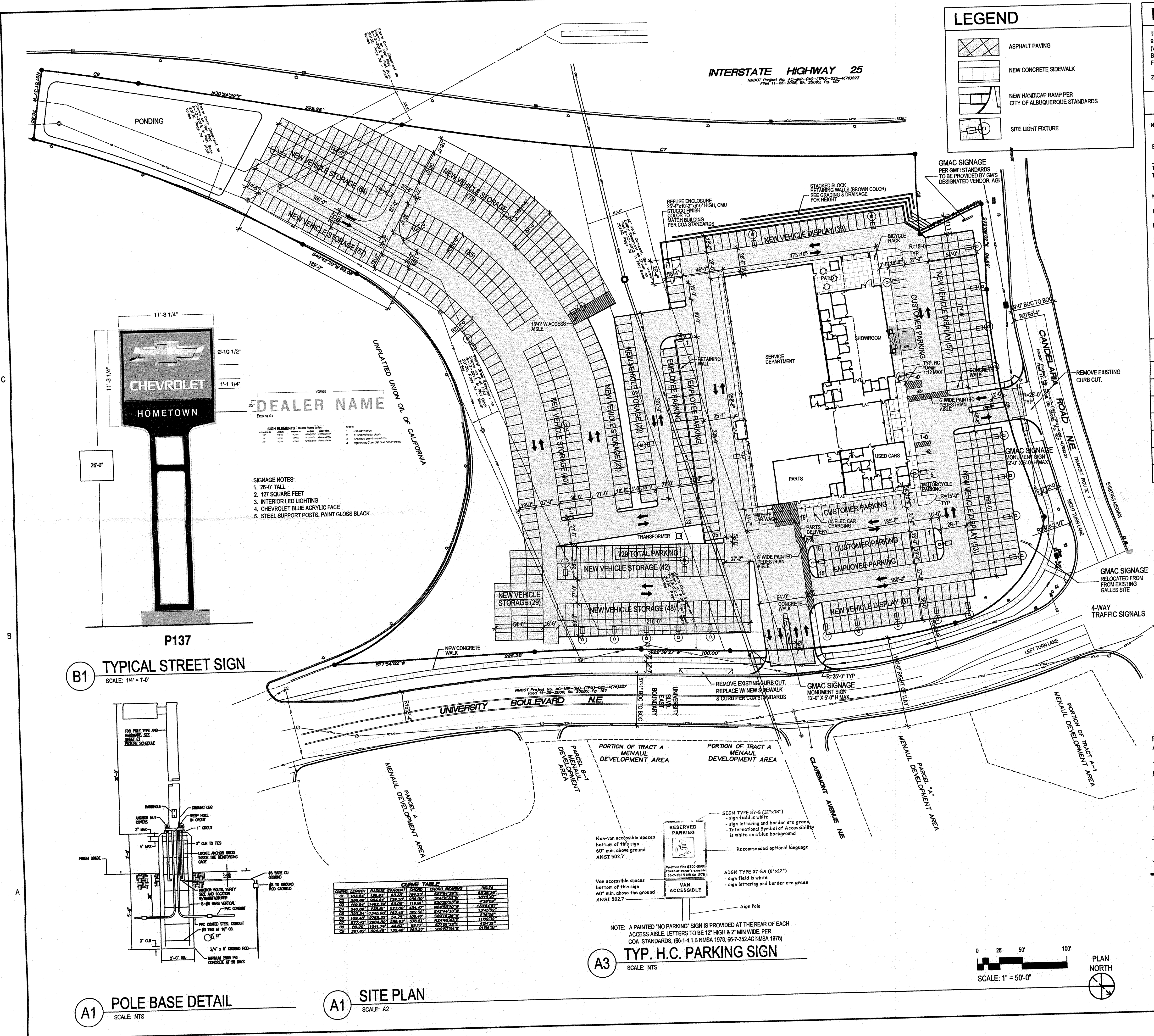
**GALLES CHEVROLET
ALBUQUERQUE, NEW MEXICO**
JAYNES CORPORATION

date: SEPTEMBER 29, 2016
drawn by: V&A
checked by: RRV
file name: XXXXXA_AXXX.dwg
revisions:
REVISED OCTOBER 26, 2016

AS-101

SITE PLAN

project no. 16-013



LEGAL DESCRIPTION

TRACT 1
9.2172 ACRE
(VACANT LAND)
BIG I COMMERCE CENTER
FILED 6-13-2013, BK. 2013C, PG. 74
ZONING: M-1

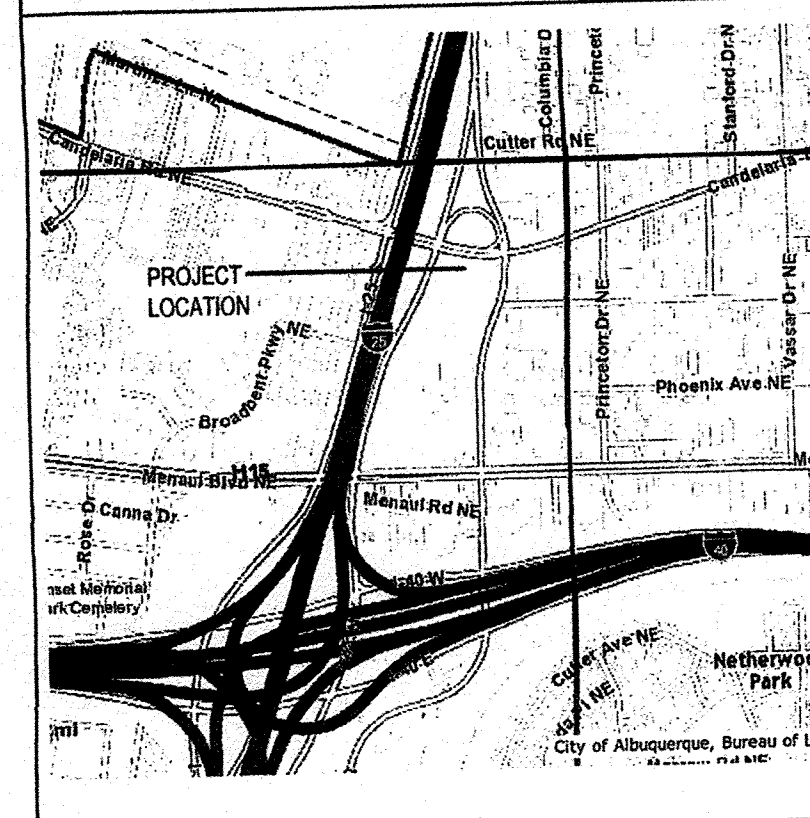
PARKING/SIGNAGE CALCULATIONS

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HANDICAPPED PARKING REQUIRED	51-100 = 4 H.C. SPACES
PARKING SUMMARY	
CAR SPACES	91
MC SPACES	4
BICYCLE SPACES	6
DISABLED (H.C.)	4
SIGNAGE	
1) ALLOWABLE SIGNAGE PER 14-16-3-2, 1 SIGN (150 MAX SF) PER 300' OF STREET FRONTAGE. 3 SIGNS ALLOWABLE @ 1,103.49 STREET FRONTAGE. 2 SIGNS ACTUAL.	
2) FUTURE SIGNAGE CAN BE APPROVED ADMINISTRATIVELY IF IT COMPLIES WITH THE ZONING CODE.	

AREA SCHEDULE

MARK	AREA	% OF TTL
STRUCTURE	41,350 S.F.	10 %
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CIRCULATION	97,686 S.F.	24 %
LANDSCAPING	139,010 S.F. ALLOWABLE	35 %
TOTAL AREA	401,501 S.F. (9.2172 ACRES)	

VICINITY MAP



PROJECT NUMBER: 1009154
Application Number:

This Plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated 11/10/2016 and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes () No If yes, then a set of approved DRD plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Trading Engineering, Transportation Division

Theresa Cade 02-08-17 Date

ABCAWUA 2/8/17 Date

Sanford 2/8/17 Date

Parks and Recreation Department 2/8/17 Date

City Engineer 2-8-17 Date 2-8-17

Solid Waste Management 2-8-17 Date

DRB Chairperson, Planning Department