

CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

January 31, 2020

Ron Bohannon, P.E.
Tierra West, LLC
5571 Midway Park Place, NE
Albuquerque, NM 87109

**RE: Maverick at University & Menaul
1901 Menaul NE
Grading Plan Stamp Date: 1/29/20
Drainage Report Stamp Date: 12/11/19
Hydrology File: H15D068**

Dear Mr. Bohannon,

Based on the submittal received on 1/29/20, this project is approved for Building Permit.

PO Box 1293

Prior to Certificate of Occupancy (For Information):

Albuquerque

1. Engineer's Certification, per the DPM Chapter 22.7: *Engineer's Certification Checklist For Non-Subdivision* is required.

NM 87103

2. City acceptance and close-out of the public Work Order will be required, unless a financial guarantee has been posted.

www.cabq.gov

3. A Bernalillo County Recorded [Drainage Covenant \(No Public Easement\)](#) is required for the storm water ponds. The original notarized form, exhibit A (legible on 8.5x11 paper), and recording fee (\$25, payable to Bernalillo County) must be turned into DRC (4th, Plaza del Sol) for routing. Please contact Charlotte LaBadie (clabadie@cabq.gov, 924-3996) regarding the routing and recording process for covenants. The routing and recording process for covenants can take a month or longer; Hydrology recommends beginning this process as soon as possible as to not delay approval for certificate of occupancy.

If you have any questions, please contact me at 924-3695 or dpeterson@cabq.gov.

Sincerely,

Dana Peterson, P.E.
Senior Engineer, Planning Dept.
Development Review Services



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: Maverik University & Menaul **Building Permit #:** BP-2019-50502 **Hydrology File #:** H15D068
DRB#: _____ **EPC#:** _____ **Work Order#:** _____

Legal Description: TR OF LD IN SEC 9 T10N R3E IN THE S/2 SW/4 SE/4 EXC THE SELY PORT OUT TO RW AT THE NW CORNER OF MENAUL & UNIVERSITY & EXC A WLY PORT OUT TO RW AT MENAUL & I-25

City Address: 1901 Menaul Blvd NE, Albuquerque, NM 87107

Applicant: Tierra West, LLC **Contact:** Vinny Perea

Address: 5571 Midway Park Place NE, Albuquerque, NM 87109

Phone#: 505-858-3100 **Fax#:** 505-858-1118 **E-mail:** vperea@tierrawestllc.com

Other Contact: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

TYPE OF DEVELOPMENT: _____ PLAT (# of lots) _____ RESIDENCE _____ DRB SITE ADMIN SITE

IS THIS A RESUBMITTAL? Yes _____ No

DEPARTMENT _____ TRANSPORTATION HYDROLOGY/DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- ENGINEER/ARCHITECT CERTIFICATION
- PAD CERTIFICATION
- CONCEPTUAL G & D PLAN
- GRADING PLAN
- DRAINAGE REPORT
- DRAINAGE MASTER PLAN
- FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- ELEVATION CERTIFICATE
- CLOMR/LOMR
- TRAFFIC CIRCULATION LAYOUT (TCL)
- TRAFFIC IMPACT STUDY (TIS)
- STREET LIGHT LAYOUT
- OTHER (SPECIFY) _____
- PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- BUILDING PERMIT APPROVAL
- CERTIFICATE OF OCCUPANCY
- PRELIMINARY PLAT APPROVAL
- SITE PLAN FOR SUB'D APPROVAL
- SITE PLAN FOR BLDG. PERMIT APPROVAL
- FINAL PLAT APPROVAL
- SIA/ RELEASE OF FINANCIAL GUARANTEE
- FOUNDATION PERMIT APPROVAL
- GRADING PERMIT APPROVAL
- SO-19 APPROVAL
- PAVING PERMIT APPROVAL
- GRADING/ PAD CERTIFICATION
- WORK ORDER APPROVAL
- CLOMR/LOMR
- FLOODPLAIN DEVELOPMENT PERMIT
- OTHER (SPECIFY) _____

DATE SUBMITTED: 1/29/2020 **By:** Vinny Perea 505-858-3100

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____



TIERRA WEST, LLC

January 28, 2020

Mr. Dana Peterson, P.E.
Sr. Engineer-Hydrology
City of Albuquerque
600 2nd Street NW
Albuquerque, NM 87102

**RE: MAVERIK AT UNIVERSITY & MENAUL
GRADING PLAN & DRAINAGE REPORT RESPONSE TO COMMENTS
ENGINEER'S STAMP DATE 12/11/19 (H15D068)**

Dear Mr. Peterson:

Per your correspondence dated December 13, 2019, please find the following responses addressing the comments listed below:

Prior to Building Permit:

1. Provide a Revocable Permit and Slope Easement (measured at a 3:1 slope from top of wall to bottom of wall) for the retaining wall encroaching on University. Final recorded documents can be provided at CO, but they need to be initiated now. Turn in the documents to DRC on the 4th floor for routing and then provide a copy along with a DTIS sheet when resubmitting for building permit approval. There is no resubmittal fee for this action; please include a copy of this letter when resubmitting to receive the reduced fee.
Response: The slope easement has been completed and recorded and is attached with this letter. A 12'-wide easement has been established in the location of the proposed retaining wall adjacent to University Blvd. This retaining wall has been shifted to the west to be away from the property line and using an L-footing. The cross section A-A of this wall has been updated on Sheet C6 and an L-Footing retaining wall detail has been added to Detail Sheet C9.
2. As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Curtis Cherne, PE, ccherne@cabq.gov, 924-3420) 14 days prior to any earth disturbance.
Response: We have received approval from COA on an Erosion and Sediment Control Plan on 1-15-2020 for this site. We are currently working through the NOI process with the owner and understand that no earth disturbance will occur prior to submittal of the NOI to COA.

If you have any questions or need additional information regarding this matter, please do not hesitate to contact me.

Sincerely,

Ronald R. Bohannon, PE

JN: 2018062
RRB/vp

5571 Midway Park Pl. NE Albuquerque, NM 87109
(505) 858-3100 fax (505) 858-1118 1-800-245-3102
tierrawestllc.com



Legal Description

Public Slope Easement

A 12' WIDE PUBLIC SLOPE EASEMENT LYING AND SITUATE WITHIN THE TOWN OF ATRISCO GRANT, PROJECTED SECTION 9, TOWNSHIP 10 NORTH, RANGE 3 EAST, N.M.P.M. CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, COMPRISING OF A PORTION OF TRACT B-1, TRUCK STOP PLAZA, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY ON DECEMBER 06, 2019, IN MAP BOOK 2019C, PAGE 122, SAID EASEMENT BEING MORE PARTICULARLY DESCRIBED BY NEW MEXICO STATE PLANE COORDINATE SYSTEM GRID BEARINGS (NAD 83-CENTRAL ZONE) AND GROUND DISTANCES (US SURVEY FEET) AS FOLLOWS;

BEGINNING AT THE NORTHEAST CORNER OF DESCRIBED EASEMENT, LYING ON THE WEST RIGHT OF WAY LINE OF UNIVERSITY BOULEVARD, N.E., FROM WHENCE A TIE TO FOUND A.G.R.S. MONUMENT '1_40_12" BEARS S 85°36'46" E, A DISTANCE OF 3459.75 FEET;

THENCE FROM SAID POINT OF BEGINNING, ALONG SAID WEST RIGHT OF WAY LINE, S 00°33'30" W, A DISTANCE OF 180.06 FEET TO THE SOUTHEAST CORNER OF DESCRIBED EASEMENT;

THENCE LEAVING SAID RIGHT OF WAY LINE, N 89°26'30" W, A DISTANCE OF 12.00 FEET TO THE SOUTHWEST CORNER OF DESCRIBED EASEMENT;

THENCE N 00°33'30" E, A DISTANCE OF 180.06 FEET TO THE NORTHWEST CORNER OF DESCRIBED EASEMENT;

THENCE S 89°26'30" E, A DISTANCE OF 12.00 FEET TO THE POINT OF BEGINNING, CONTAINING 0.0496 ACRES (2,161 SQUARE FEET), MORE OR LESS, ALL AS SHOWN ON ATTACHED EXHIBIT "A"

Surveyor's Certificate

I, LARRY W. MEDRANO LICENSED UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THIS LEGAL DESCRIPTION, WAS PREPARED BY ME OR UNDER MY DIRECTION FROM NOTES OF AN ACTUAL FIELD SURVEY, AND THE SURVEY MEETS THE MINIMUM STANDARDS FOR SURVEYING IN NEW MEXICO.



[Handwritten Signature]
LARRY W. MEDRANO
N.M.P.S. NO. 11993
01/13/2020

[Handwritten Signature]
Jaimie N. Garcia
1.13.2020

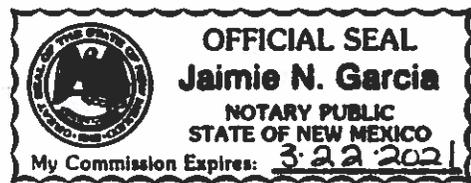


Exhibit "A"

A.G.R.S. MONUMENT "CANDELARIA"
 STANDARD U.S.C. & G.S. BRASS DISC
 (FOUND IN PLACE)
 NEW MEXICO STATE PLANE COORDINATES
 (CENTRAL ZONE-N.A.D. 1983)
 N=1,497,091.458 US SURVEY FEET
 E=1,528,901.06 US SURVEY FEET
 PUBLISHED EL.=5090.486 US SURVEY FT (NAVD 1988)
 GROUND TO GRID FACTOR=0.99967407
 DELTA ALPHA ANGLE=-07252.18"

A.G.R.S. MONUMENT "L-40-12"
 STANDARD N.M.S.H.C. BRASS DISC
 (FOUND IN PLACE)
 NEW MEXICO STATE PLANE COORDINATES
 (CENTRAL ZONE-N.A.D. 1983)
 N=1,495,236.843 US SURVEY FEET
 E=1,532,077.743 US SURVEY FEET
 PUBLISHED EL.=5117.289 US SURVEY FT (NAVD 1988)
 GROUND TO GRID FACTOR=0.999672575
 DELTA ALPHA ANGLE=-07230.45"

A PORTION OF THE N 1/2 OF S 1/2 OF
 SECTION 9, TOWNSHIP 10 NORTH,
 RANGE 3 EAST,
 SPECIAL WARRANTY DEED
 (04/13/1993, DOC. NO. 1993038682)

PRIVATE CROSS LOT ACCESS
 EASEMENT FOR THE BENEFIT
 OF TRACTS A-1 AND B-1,
 TO BE MAINTAINED BY THE
 OWNER OF EACH TRACT,
 (12/06/2019, 2019C-122)

Tract A-1
 TRUCK STOP PLAZA
 (12/06/2019, 2019C-122)

Tract B-1
 TRUCK STOP PLAZA
 (12/06/2019, 2019C-122)

10' WIDE PRIVATE DRAINAGE
 EASEMENT
 FOR THE BENEFIT OF TRACTS
 A-1 AND B-1, TO BE
 MAINTAINED BY THE OWNER OF
 TRACTS A-1 AND B-1
 (12/06/2019, 2019C-122)

PRIVATE CROSS LOT ACCESS
 EASEMENT FOR THE BENEFIT OF TRACTS
 A-1 AND B-1, TO BE MAINTAINED BY
 THE OWNERS OF EACH TRACT,
 (12/06/2019, 2019C-122)

12' WIDE PUBLIC
 SLOPE EASEMENT
 GRANTED TO THE
 CITY OF
 ALBUQUERQUE BY
 THIS DOCUMENT

CABLE
 COMMUNICATIONS
 SERVICE
 ENTRY LOCATION FOR
 TRACT B-1

Menaul Boulevard, N.E.
 (106' PUBLIC R.O.W.)

Univeristy Boulevard, N.E.
 (120' PUBLIC R.O.W.)



Surveyor's Certificate

I, LARRY W. MEDRANO, A LICENSED PROFESSIONAL SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, HEREBY CERTIFY THAT THIS EASEMENT SURVEY WAS PREPARED FROM FIELD NOTES OF AN ACTUAL SURVEY MEETING THE MINIMUM REQUIREMENTS FOR THIS CLASSIFICATION OF SURVEY AS PER THE MINIMUM STANDARDS FOR SURVEYING IN NEW MEXICO AS ADOPTED BY THE N.M. BOARD OF LICENSES FOR ENGINEERS AND SURVEYORS, AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

Legend

- N 90°00'00" E MEASURED BEARING AND DISTANCES
- FOUND AND USED MONUMENT AS DESIGNATED
- FOUND NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993"
- △ FOUND ALUMINUM AGRS MONUMENT AS DESIGNATED



OFFICE LOCATION:
 8200 San Mateo Boulevard, NE
 Albuquerque, NM 87113
 505.856.5700 PHONE
 505.856.7900 FAX

COORDINATE AND DIMENSION INFORMATION		PLSS INFORMATION		PROJECT INFORMATION	
TRACT POINT	GRID	LAND GRANT	CREW/TEAM	DATE OF SURVEY	
NM-C	STANDARD	TOWN OF ATRISCO GRANT	MT	10/22/2018	
POINT IDENTIFICATION	STATION NAME		DRAWN BY	CHECKED BY	
NAD83	NAV088		JK	LM	
CENTRAL ZONE	POINT	SECTION	RANGE	MERIDIAN	
ALBUQUERQUE GEODETIC REFERENCE SYSTEM	N = 0	10 NORTH	3 EAST	NM83	
GROUND TO GRID FACTOR	E = 0	CITY	COUNTY	STATE	
GROUND TO GRID: 1.000326784		ALBUQUERQUE	BERNALILLO	NM	
GROUND TO GRID: 0.999673233					

Larry W. Medrano
 LARRY W. MEDRANO
 N.M.P.S. No. 11993
 DATE: 01/13/2020

WET SIGNATURE IS INVALID IF NOT IN BLUE INK WITH BLUE

NOTICE TO CONTRACTORS

- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HERON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONNECTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
- MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED. 7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

EROSION CONTROL NOTES:

- CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
- REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.

CAUTION:

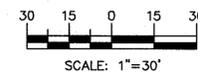
ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- RIGHT-OF-WAY
- BUILDING
- SIDEWALK
- 5010 CONTOUR MAJOR
- 5011 CONTOUR MINOR
- x 5048.25 SPOT ELEVATION
- FLOW ARROW
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE
- 5010 EXISTING CONTOUR MAJOR
- 5011 EXISTING CONTOUR MINOR
- x 5048.25 EXISTING SPOT ELEVATION
- DROP INLET
- CONCRETE FLUME



GRAPHIC SCALE

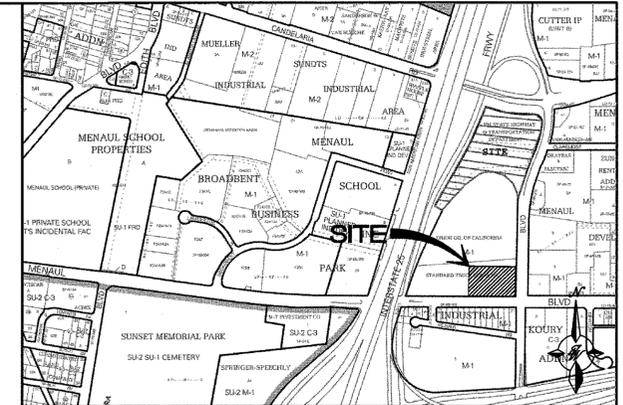


KEYED NOTE:

- (A) SINGLE "D" WATER QUALITY INLET W/ BIOSNOUT (SEE DETAIL SHT. C11)
- (B) ACCESSIBLE PARKING PER ADA STANDARDS WITH SIGN (SEE DETAIL SHT. C8)
- (C) UNIDIRECTIONAL ACCESSIBLE RAMP (SEE DETAIL SHT. C10)
- (D) TRUNCATED DOMES (SEE DETAIL SHT. C10)
- (E) ON-SITE CURB & GUTTER (SEE DETAIL SHT. C8)
- (F) ZERO CURB
- (G) CONCRETE SIDEWALK (SEE DETAIL SHT. C9)
- (H) ASPHALT PAVING (SEE GEOTECH REPORT)
- (I) CONCRETE SLAB W/ CHAMFERED CORNERS
- (J) RETAINING WALL WITH RAILING (SEE DETAIL SHT. C11)
- (K) 2' CURB CUT
- (L) ASPHALT CURB
- (M) 2' WIDE CONCRETE FLUME (SEE DETAIL SHT. C11)
- (N) L-FOOTING RETAINING WALL W/ RAILING (SEE DETAIL SHT. C9)
- (O) ADA RAMP AND ACCESSIBLE RAMP FROM MENAUL BLVD

SPOT ELEVATION NOTE:

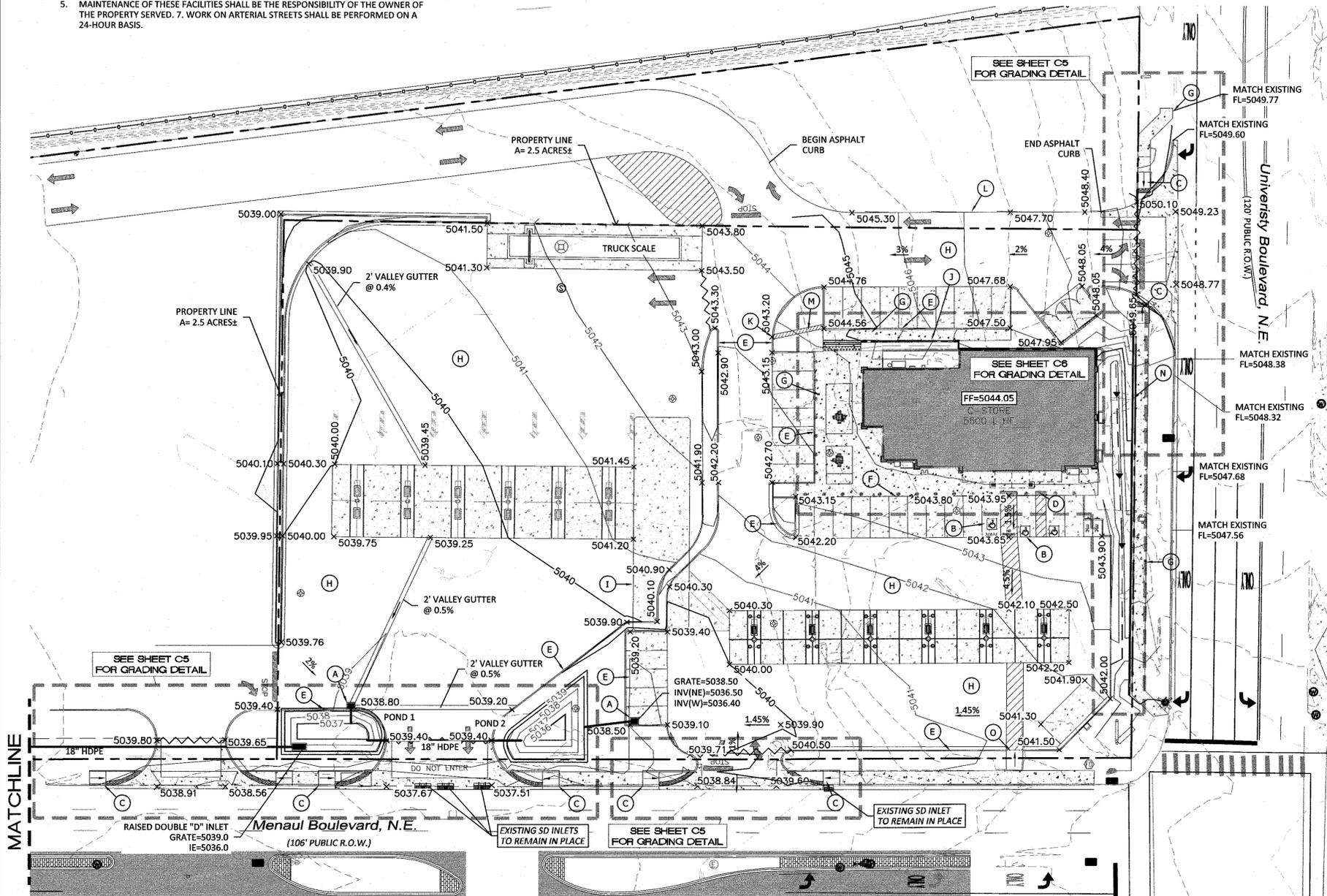
ALL SPOT ELEVATIONS ARE FLOWLINE UNLESS OTHERWISE NOTED.



VICINITY MAP: H-15-Z

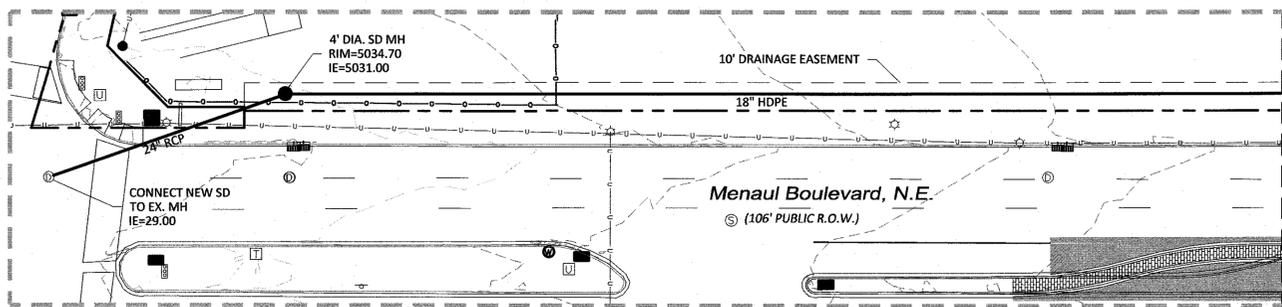


FIRM MAP: 35001C0332G & 35001C0351H

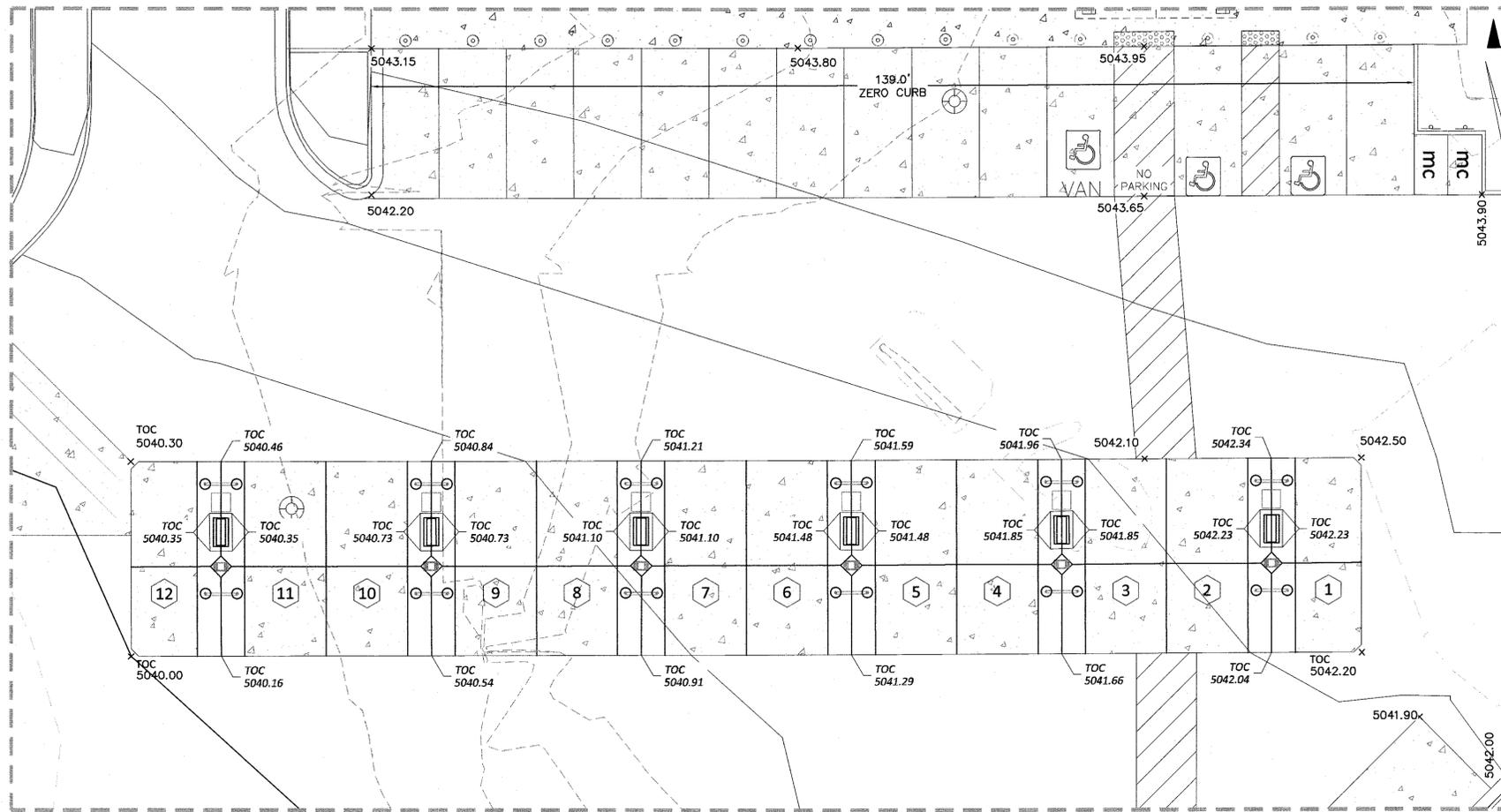


MATCHLINE

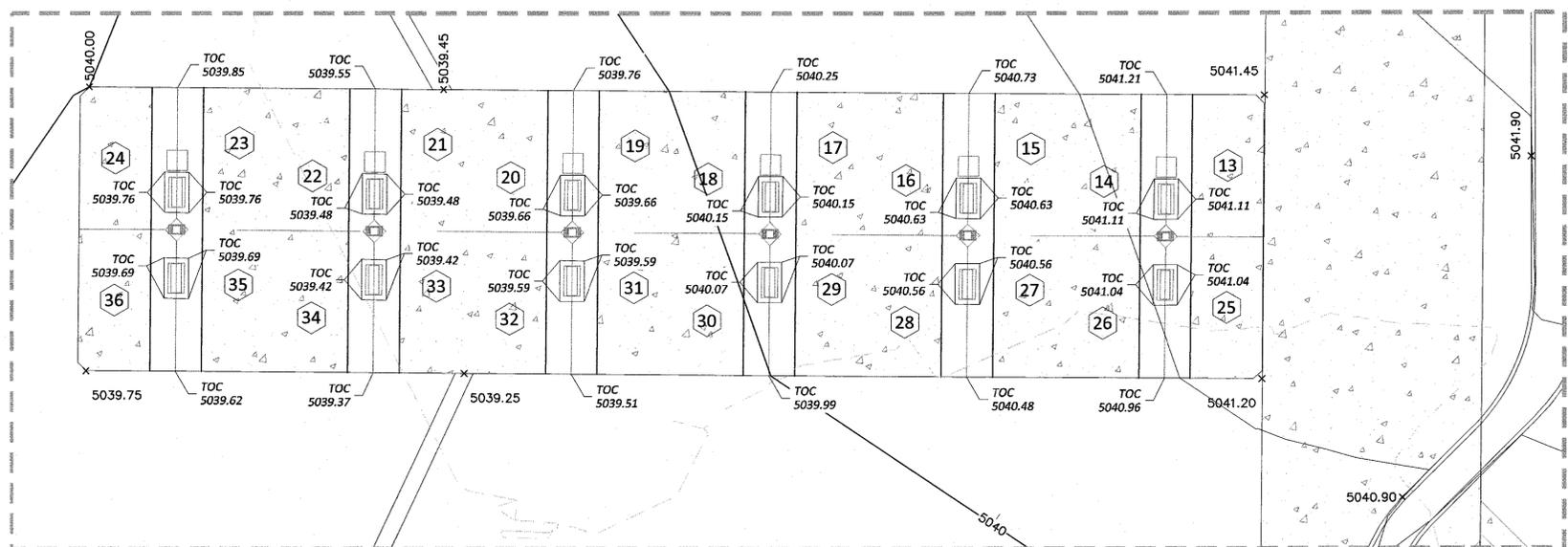
MATCHLINE



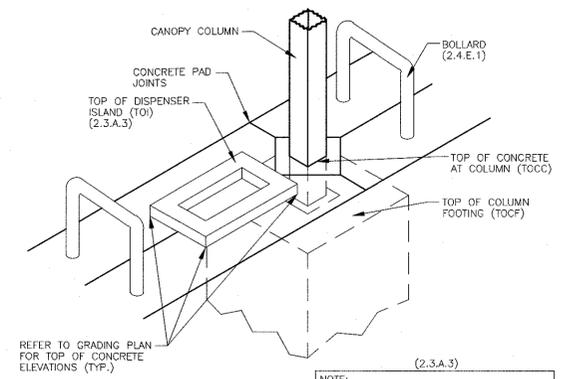
	MAVERIK UNIVERSITY & MENAUL GRADING AND DRAINAGE PLAN	DRAWN BY DY DATE 9/3/2019 2018062-C2-GRB
		SHEET # C2 JOB # 2018062
ENGINEER'S SEAL RONALD R. BOHANNAN P.E. #7888		TERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com



PEDESTRIAN VEHICLE FUELING AREA



HEAVY TRUCK FUELING AREA

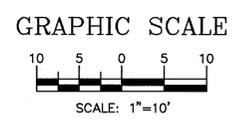


NOTE: TOP OF CONCRETE TO TOP OF SPOT & SPREAD FOOTING SEPARATION IS 36".

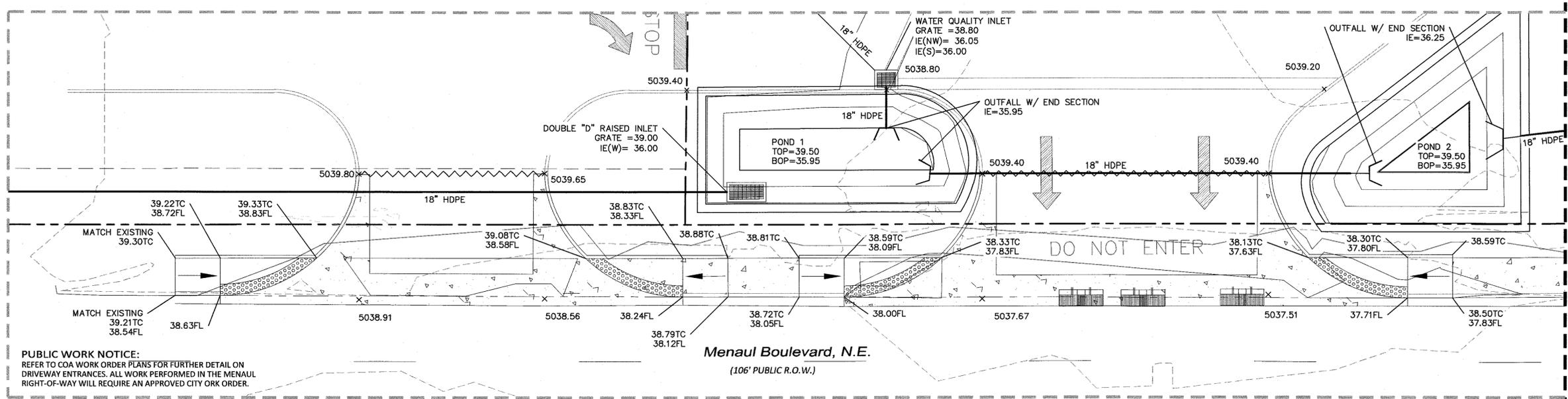
NOTE: 6" RAISED VERTICAL CONCRETE ISLAND WITH TOOLED EDGES AND CORNERS, TO BE POURED FIRST 5'-0" x 3'-0" CONCRETE ISLAND (NO METAL FORM - VERIFY SIZE WITH DISPENSER MANUF.) AFTER THE 5'-0" x 3'-0" FUEL ISLAND HAS BEEN POURED, SLOPE CONCRETE AWAY FROM ISLAND IN ALL (4) DIRECTIONS. ALL DISPENSERS TO BE EQUIPPED WITH AN EXTINGUISHER.

NOTE: TOC=TOP OF CONCRETE FUEL DISPENSER ELEVATIONS

FUEL DISPENSER	TOP OF ISLAND	T.O.C. @ COLUMN	TOP OF COL. FTP
1-2	5042.73	5042.19	5039.19
3-4	5042.35	5041.81	5038.81
5-6	5041.98	5041.44	5038.44
7-8	5041.60	5041.06	5038.06
9-10	5041.23	5040.69	5037.69
11-12	5040.85	5040.31	5037.31
13-14	5041.61	5041.08	5038.08
15-16	5041.13	5040.60	5037.60
17-8	5040.65	5040.12	5037.12
19-20	5040.16	5039.63	5036.63
21-22	5039.98	5039.46	5036.46
23-24	5040.26	5039.73	5036.73
25-26	5041.54	5041.08	5038.08
27-28	5041.06	5040.60	5037.60
29-30	5040.57	5040.12	5037.12
31-32	5040.09	5039.63	5036.63
33-34	5039.92	5039.46	5036.46
35-36	5040.19	5039.73	5036.73



ENGINEER'S SEAL 	MAVERIK UNIVERSITY & MENAUL	DRAWN BY DY
	GRADING DETAILS - FUEL CANOPIES	DATE 9/3/2019
	5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com	SHEET # C3
RONALD R. BOHANNAN P.E. #7888		JOB # 2018062

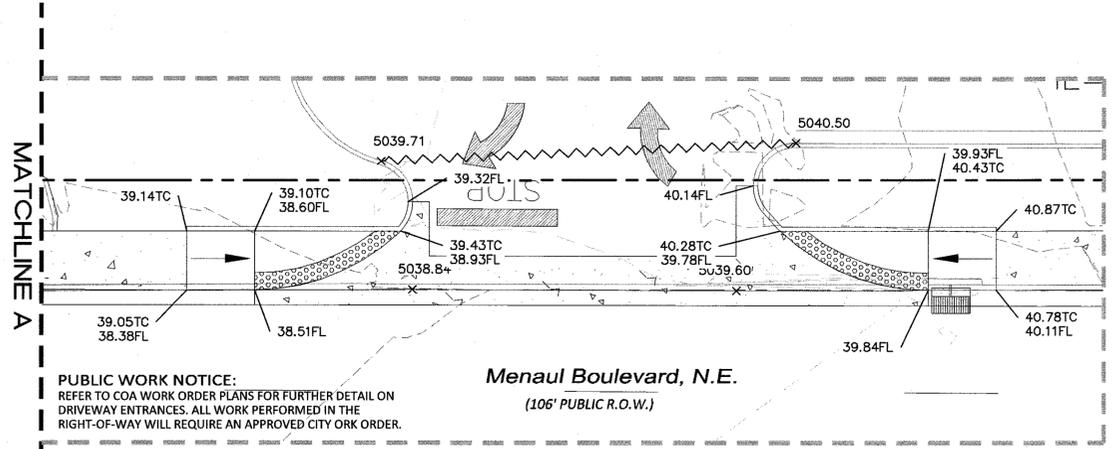


LEGEND

	CURB & GUTTER
	BOUNDARY LINE
	EASEMENT
	RIGHT-OF-WAY
	BUILDING
	SIDEWALK
	CONTOUR MAJOR
	CONTOUR MINOR
	SPOT ELEVATION
	FLOW ARROW
	EXISTING CURB & GUTTER
	EXISTING BOUNDARY LINE
	EXISTING CONTOUR MAJOR
	EXISTING CONTOUR MINOR
	EXISTING SPOT ELEVATION
	DROP INLET

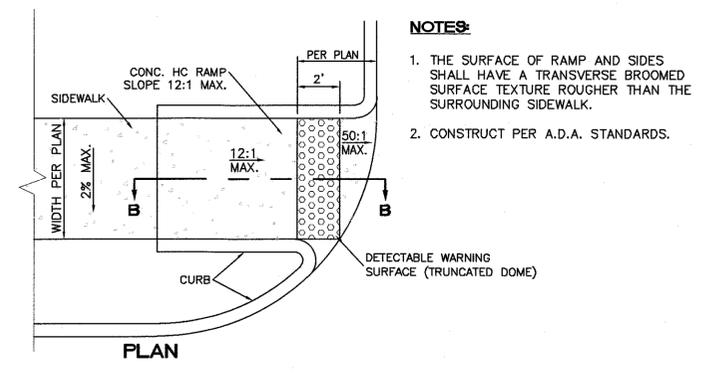
PUBLIC WORK NOTICE:
REFER TO COA WORK ORDER PLANS FOR FURTHER DETAIL ON DRIVEWAY ENTRANCES. ALL WORK PERFORMED IN THE MENAUL RIGHT-OF-WAY WILL REQUIRE AN APPROVED CITY ORK ORDER.

MENAU ENTRANCE DETAILS 1
SCALE: 1"=10'

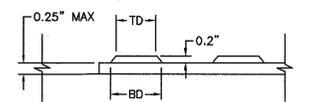


PUBLIC WORK NOTICE:
REFER TO COA WORK ORDER PLANS FOR FURTHER DETAIL ON DRIVEWAY ENTRANCES. ALL WORK PERFORMED IN THE RIGHT-OF-WAY WILL REQUIRE AN APPROVED CITY ORK ORDER.

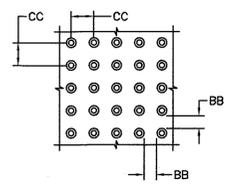
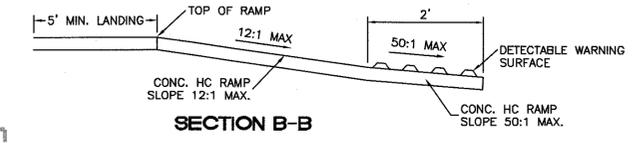
MENAU ENTRANCE DETAILS 2
SCALE: 1"=10'



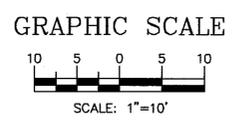
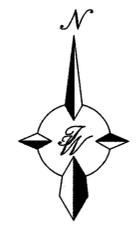
- NOTES:**
1. THE SURFACE OF RAMP AND SIDES SHALL HAVE A TRANSVERSE BROOMED SURFACE TEXTURE ROUGHER THAN THE SURROUNDING SIDEWALK.
 2. CONSTRUCT PER A.D.A. STANDARDS.



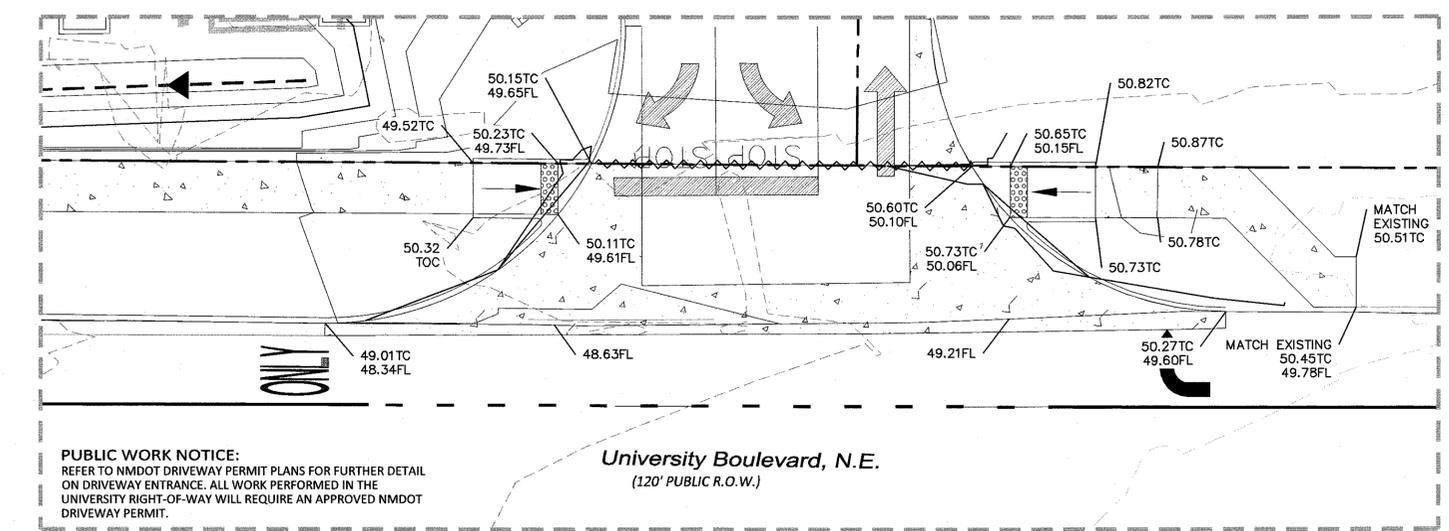
DOME SECTION
BD - BASE DIAMETER 0.9" MIN
TD - TOP DIAMETER 50% OF BD MIN TO 65% OF BD MAX



DOME SPACING
CC - CENTER TO CENTER SPACING 2.35"
BB - BASE TO BASE SPACING 1.48" MIN



CAUTION:
ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

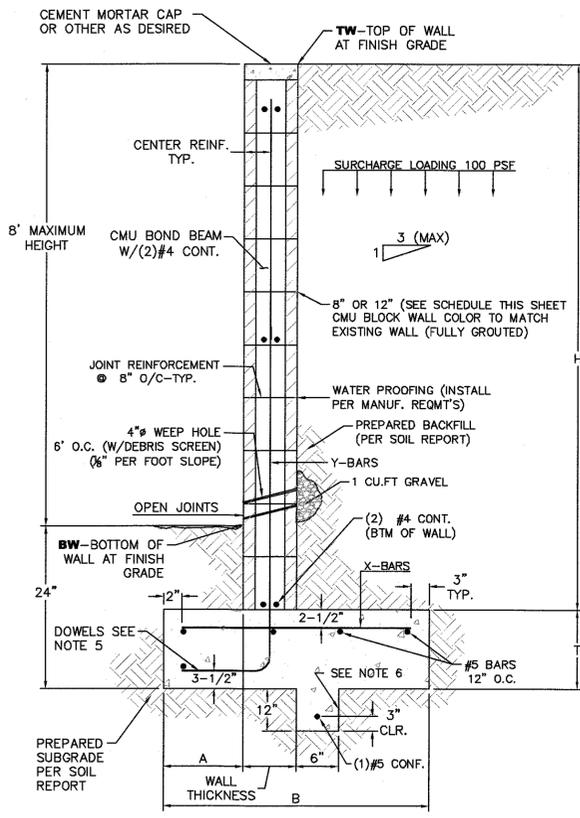
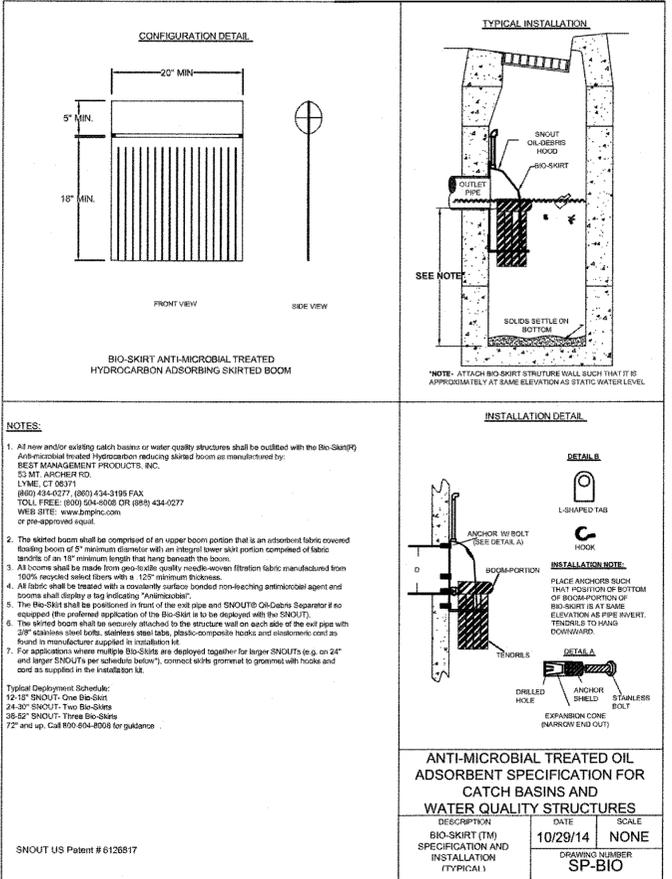
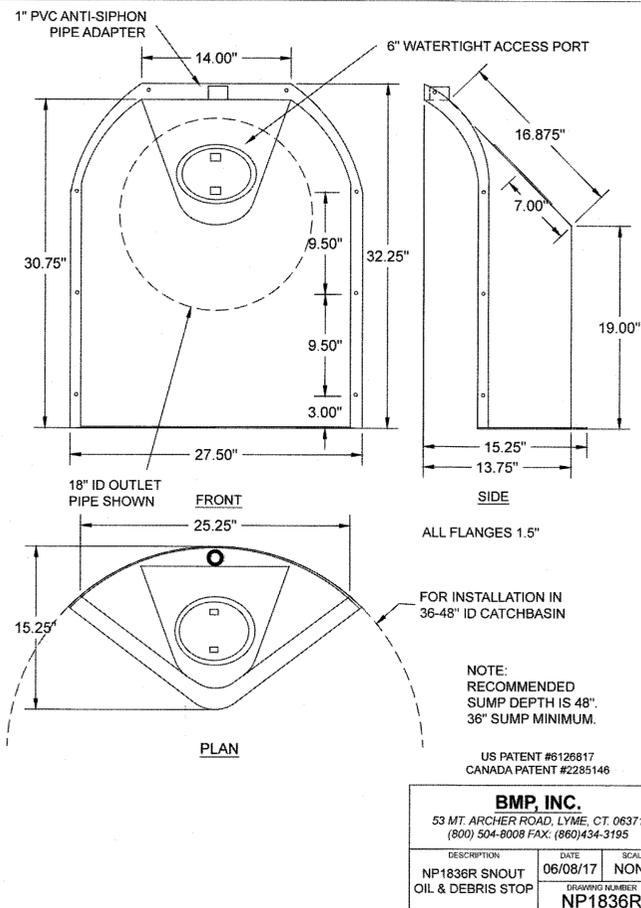


PUBLIC WORK NOTICE:
REFER TO NMDOT DRIVEWAY PERMIT PLANS FOR FURTHER DETAIL ON DRIVEWAY ENTRANCE. ALL WORK PERFORMED IN THE UNIVERSITY RIGHT-OF-WAY WILL REQUIRE AN APPROVED NMDOT DRIVEWAY PERMIT.

UNIVERSITY ENTRANCE DETAILS 3
SCALE: 1"=10'



	MAVERIK UNIVERSITY & MENAUL ENTRANCE/POND DETAILS	DRAWN BY BJF DATE 9/3/2019 2018062-C2-GRB
	TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com	SHEET # C5 JOB # 2018062



- $f_m = 1500$ PSI
- SOIL ALLOWABLE 2000 PSF (VERIFY W/SOILS REPORT)
- ACTIVE SOIL PRESSURE - 35 PSF/FT (VERIFY W/SOILS REPORT)
- PASSIVE SOIL PRESSURE - 250 PSF/FT (VERIFY W/SOILS REPORT)
- SOIL FRICTION FACTOR - 0.4 (VERIFY W/SOILS REPORT)

8 INCH REINFORCED CONCRETE MASONRY WALL

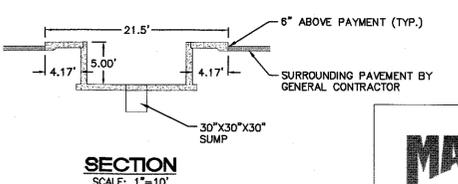
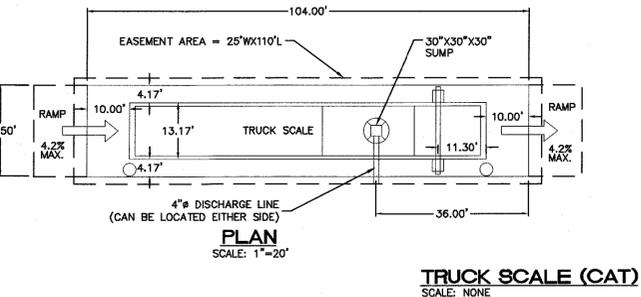
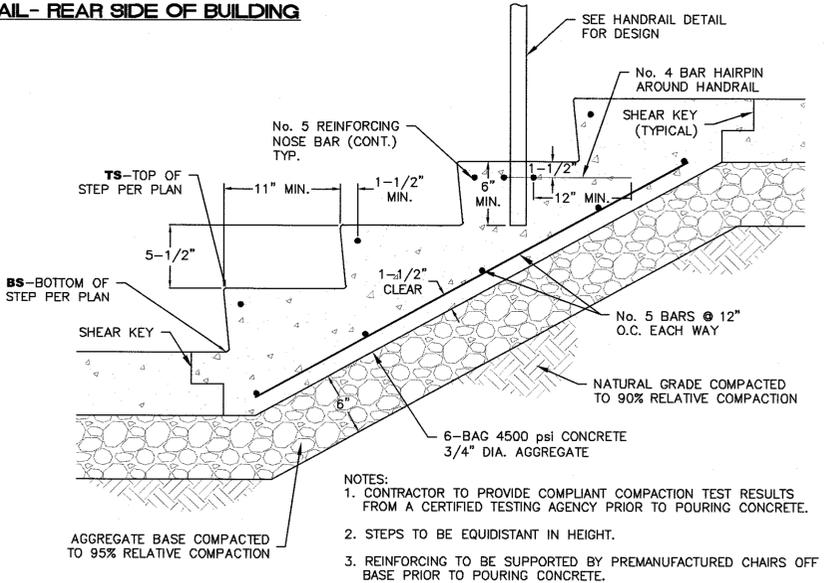
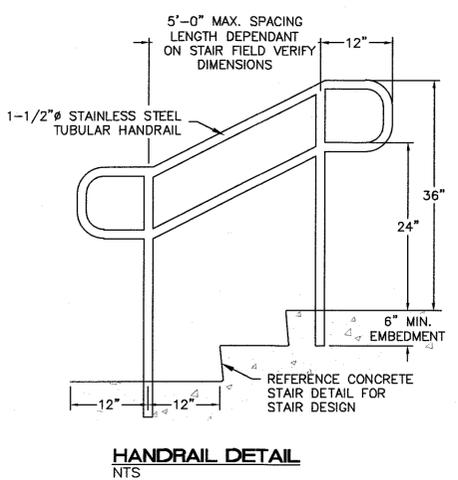
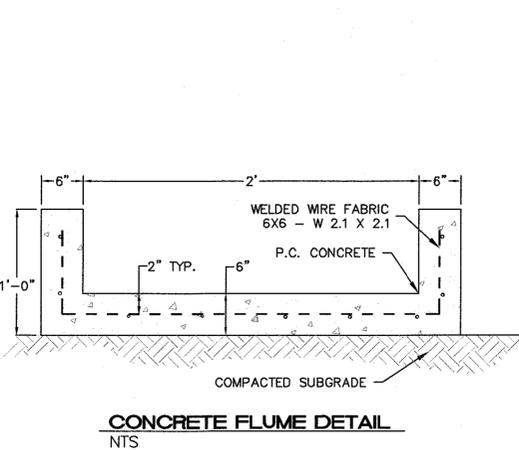
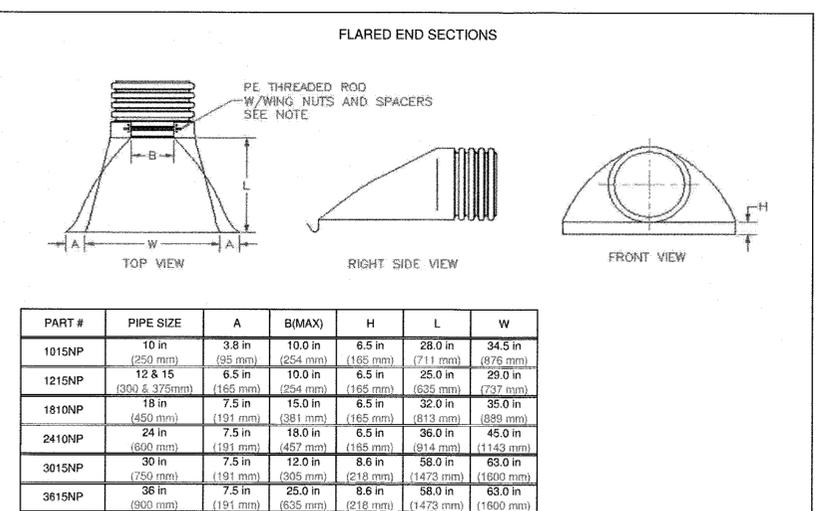
H	A	B	T	Y-BARS	X-BARS
ft.-in.	in.	ft.-in.	in.		
2'-0"	10"	2'-4"	10"	#4 @24" O.C.	#4 @24" O.C.
2'-8"	10"	2'-4"	10"	#4 @24" O.C.	#4 @24" O.C.
3'-4"	10"	2'-4"	10"	#4 @24" O.C.	#4 @24" O.C.
4'-0"	12"	2'-8"	10"	#4 @16" O.C.	#4 @24" O.C.
4'-8"	16"	3'-4"	12"	#5 @16" O.C.	#4 @18" O.C.
5'-4"	19"	3'-10"	12"	#5 @8" O.C.	#5 @24" O.C.
6'-0"	20"	4'-8"	12"	#6 @8" O.C.	#5 @24" O.C.

12 INCH REINFORCED CONCRETE MASONRY WALL

H	A	B	T	Y-BARS	X-BARS
ft.-in.	in.	ft.-in.	in.		
5'-4"	16"	3'-8"	12"	#5 @16" O.C.	#5 @24" O.C.
6'-0"	19"	4'-2"	12"	#5 @8" O.C.	#5 @24" O.C.
6'-8"	21"	4'-6"	12"	#5 @8" O.C.	#5 @16" O.C.
7'-4"	23"	4'-10"	12"	#6 @8" O.C.	#6 @18" O.C.
8'-0"	26"	5'-4"	12"	#6 @8" O.C.	#6 @18" O.C.
8'-8"	28"	5'-8"	12"	#6 @8" O.C.	#6 @12" O.C.

- GENERAL NOTES:**
1. ALL CONCRETE IS TO BE 4000 PSI @ 28 DAYS.
 2. MINIMUM COMPACTION UNDER FOOTINGS IS TO BE 95% PER ASTM. D 1557 FOR A DEPTH OF 12" MOISTURE CONTENT IS TO BE ± 2.0%.
 3. BACK FILL AGAINST WALLS IS TO BE HAND-PLACED AND COMPACTED.
 4. ALL BARS ARE TO BE GRADE 60, ASTM 615.
 5. DOWELS SHALL BE EQUAL IN SIZE AND SPACING TO Y-BARS, SHALL PROJECT A MINIMUM OF #4-24", #5-30", #6-36" INTO THE FILLED BLOCK CORES, AND SHALL EXTEND TO THE TOE OF THE FOOTING.
 6. PROVIDE KEY FOR 8" AND 12" WALLS WHERE H EXCEEDS 6' USE EITHER EXPANSION JOINTS ON 20' CENTERS OR PILASTERS EVERY 16'.

WATER QUALITY INLET AND BIOSNOUT DETAIL
SCALE: NONE



HDPE END SECTION DETAIL
NTS

	MAVERIK UNIVERSITY & MENAUL CONSTRUCTION DETAIL 4	DRAWN BY DY DATE 9/3/2019 2018062-C8-DETAILS
		SHEET # C11 JOB # 2018062

2:07:31 PM 9/3/2019, Revit User: jcb, File Path: C:\Users\jcb\AppData\Local\Temp\Revit\2018062-C8-DETAILS.dwg, Job: 2018062 - 1:00pm