

CITY OF ALBUQUERQUE



July 29, 2019

Vinny Perea
Tierra West, LLC
5571 Midway Park Place, NE
Albuquerque, NM 87109

Re: Maverik University & Menaul
1901 Menaul Blvd NE Albuquerque Nm 87107
Traffic Circulation Layout
Engineer's/Architect's Stamp 07-25-2019 (H15D068)

Dear Mr. Perea,

Based upon the information provided in your submittal received 07-25-2019, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. All bicycle racks shall be designed according to the following guidelines:
 - a. The rack shall be a minimum 30 inches tall and 18 inches wide.
 - b. The bicycle frame shall be supported horizontally at two or more places. Comb/toaster racks are not allowed.
 - c. The rack shall be designed to support the bicycle in an upright position. See the IDO for additional information.
 - d. The rack allows varying bicycle frame sizes and styles to be attached.
 - e. The user is not required to lift the bicycle onto the bicycle rack.
 - f. Each bicycle parking space is accessible without moving another bicycle.
2. Bicycle racks shall be sturdy and anchored to a concrete pad.
3. A 1-foot clear zone around the bicycle parking stall shall be provided.
4. Bicycle parking spaces shall be at least 6 feet long and 2 feet wide.
5. Parking areas shall have barriers to prevent vehicles from extending over public sidewalk, public right-of-way, or abutting lots.
6. provide a copy of refuse approval.
7. All one-way drives shall have "One Way" and "Do Not Enter" signage and pavement markings. Please show detail and location of posted signs and striping.
8. Please provide a sight distance exhibit
9. Work within the public right of way requires a work order with DRC approved plans.

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

10. Please add a note on the plan stating "All improvements located in the Right of Way must be included on the work order."
11. Add a note stating "All broken or cracked sidewalk must be replaced with sidewalk and curb & gutter." A build note must be provided referring to the appropriate City Standard drawing.
12. A replat needs to be approved before before the TCL approval.
13. Approved TIS is needed before TCL approval.

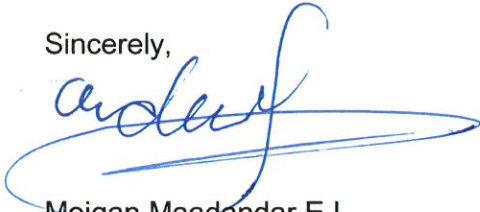
Once corrections are complete resubmit

- a. The Traffic Circulation Layout
- b. A Drainage Transportation Information Sheet (DTIS)
- c. Send an electronic copy of your submittal to PLNDRS@cabq.gov.
- d. The \$75 re-submittal fee.

for log in and evaluation by Transportation.

If you have any questions, please contact me at (505) 924-3675

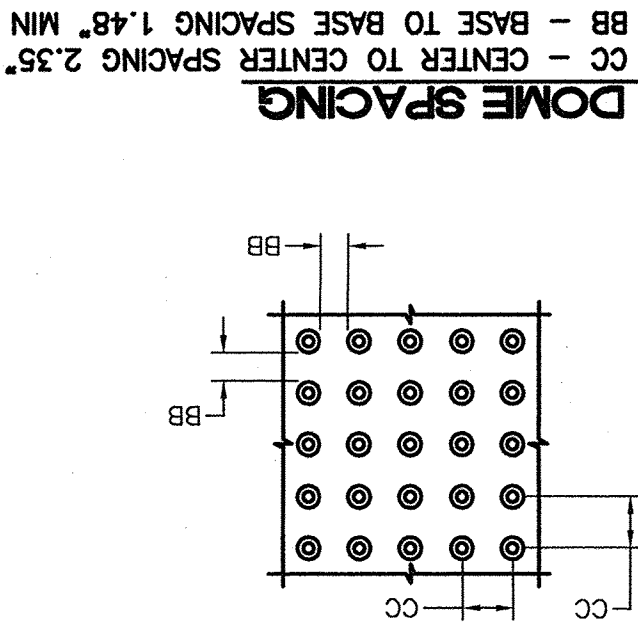
Sincerely,



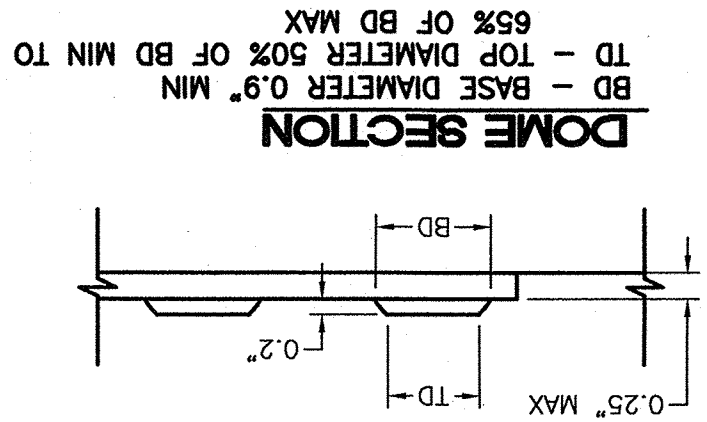
Mojgan Maadandar, E.I.
Associate Engineer, Planning Dept.
Development Review Services

\\MM via: email
C: CO Clerk, File

DOMES SPACING



DOMES SECTION



BB - BASE TO BASE SPACING 2.39'
CC - CENTER TO CENTER SPACING 1.48' MIN
TD - TOP DIAMETER 0.9' MIN
65% OF BD MAX

PARALLEL CURB RAMP NOTES

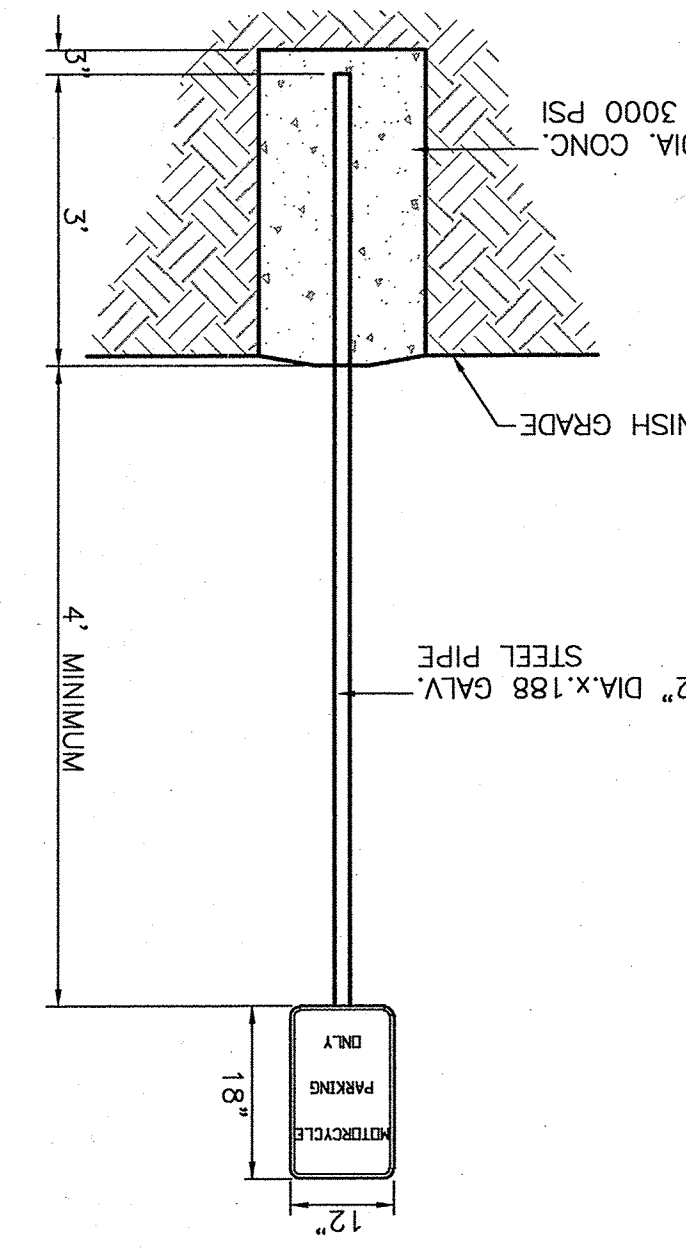
- (A) TURNING SPACE SHALL HAVE MAXIMUM CROSS SLOPE AND LONGITUDINAL SLOPE OF 2.0% (RECOMMEND 1.5%). TURNING SPACE SHALL BE 4.0 FT BY 4.0 MIN (RECOMMEND 5.0 FT BY 5.0 FT) AT THE TOP OF THE CURB RAMP AND SHALL BE PERMITTED TO OVERLAP OTHER TURNING SPACES AND CLEAR SPACES WHERE THE TURNING SPACE IS CONSTRAINED AT THE BACK OF SIDEWALK. THE TURNING SPACE IS CONSTRAINED AT THE BACK OF SIDEWALK. THE TURNING SPACE SHALL BE 4.0 FT MIN BY 5.0 FT MIN. THE 5.0 FT SHALL BE PROVIDED IN THE DIRECTION OF THE RAMP RUN.
- (B) CROSS SLOPE OF CURB RAMP SHALL BE 2.0% MAX (RECOMMEND 1.5%). EXCEPTION: THE CROSS SLOPE OF CURB RAMP AT PEDESTRIAN STREET CROSSING SHALL BE 2.0% MAX (RECOMMEND 1.5%).
- (C) RUNNING SLOPE OF THE CURB RAMP SHALL BE 2.0% MAX (RECOMMEND 1.5%).

- DO NOT SCORE OR MAKE GROOVES IN SLOPED SURFACE. LINES SHOWN ON STANDARD DETAILS ARE FOR ILLUSTRATION ONLY.
- CONSTRUCTION PLANS AND SHEET 608-001-B/12 OF THE STANDARD DRAWINGS.
- IN ALL INSTANTIONS WHERE EXISTING PHYSICAL CONSTRAINTS PREVENT COMPLIANCE TO PROVIDE A CURB RAMP FOR EACH PEDESTRIAN CROSSING A SINGLE DIAGONAL CURB RAMP SHALL BE PERMITTED TO SERVE BOTH PEDESTRIAN STREET CROSSINGS.
- CONCRETE HEADERS CONSTRUCTED AS PART OF THE CURB RAMP WILL BE CONSIDERED INCIDENTAL TO ITEM NUMBER 608-04 AND NO SEPARATE PAYMENT WILL BE MADE.

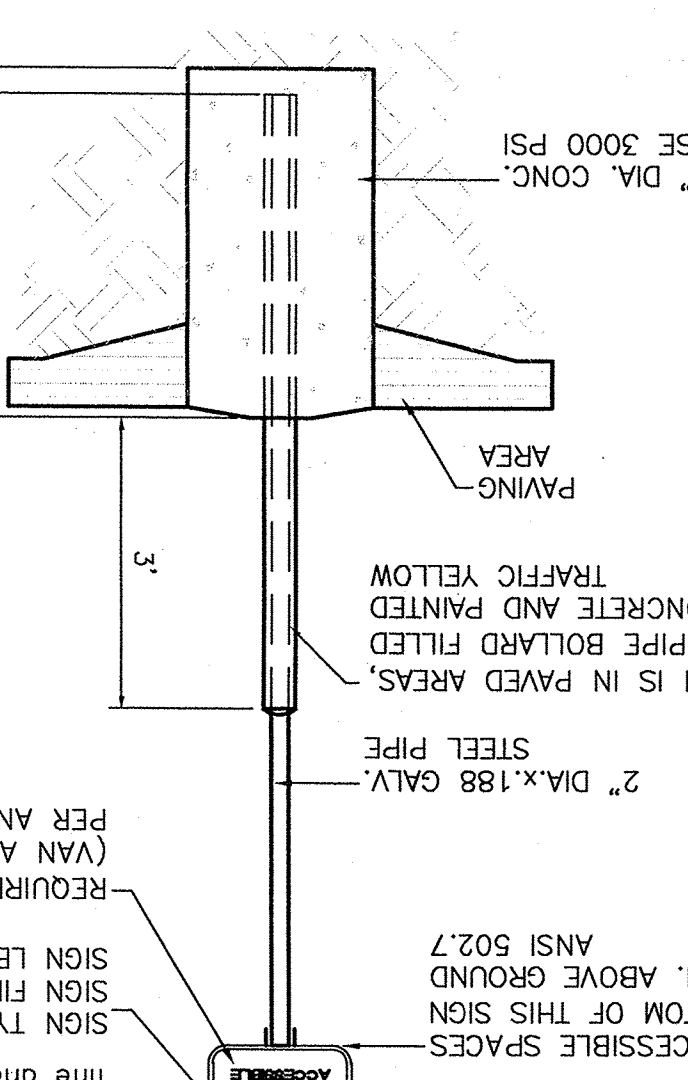
PARALLEL CURB RAMP KEYED NOTES

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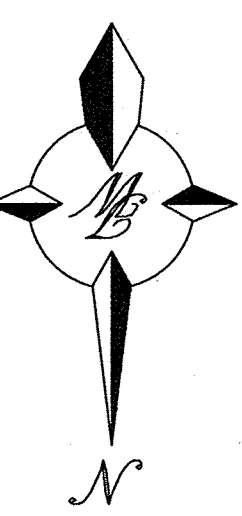
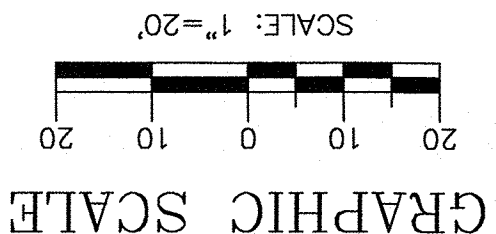
MOTORCYCLE PARKING SIGN



ACCESSIBLE PARKING SIGN



- NON-VAN ACCESSIBLE SPACES
60" MIN. ABOVE GROUND
ANSI 502.7
SIGN TYPE R7-8 (12"x18")
SIGN FIELD IS WHITE
SIGN LETTERING AND BORDER ARE GREEN
REQUIRED LANGUAGE PER MMSA 197866-7-352.4C
(Violators are subject to a fine and/or towing)
- VAN ACCESSIBLE SPACES
60" MIN. ABOVE GROUND
ANSI 502.7
SIGN TYPE R7-8A (6"x12")
SIGN FIELD IS WHITE
SIGN LETTERING AND BORDER ARE GREEN
REQUIRED LANGUAGE (VAN ACCESSIBLE)
PER ANSI 502.7



Send bicycle location approval?

SITE DATA

- PROPOSED USAGE:
HEAVY AND LIGHT VEHICLE FUELING STATION
GAS CONVENIENCE STORE
LOT AREA: 108,900 SF (2.50 ACRES)
- ADDRESS: TBD
- BUILDING AREA: 5,500 SF
- PARKING REQUIRED: 22 SPACES (4 SPACES PER 1,000 SF)
- HC PARKING PROVIDED: 3 SPACES (1 VAN ACCESSIBLE)
- MC PARKING PROVIDED: 2 SPACES
- MC PARKING REQUIRED: 2 SPACES
- BICYCLE PARKING REQUIRED: 2 SPACES
- BICYCLE PARKING PROVIDED: 2 SPACES

- BOUNDARY LINE
- EASEMENT
- CENTERLINE
- RIGHT-OF-WAY
- BUILDING
- SIDEWALK/CONCRETE
- ASPHALT
- EXISTING CONCRETE
- EXISTING CURB & GUTTER
- EXISTING LIGHTS POLES
- EXISTING SIDEWALK
- EXISTING LANE
- EXISTING STRIPING

LEGEND

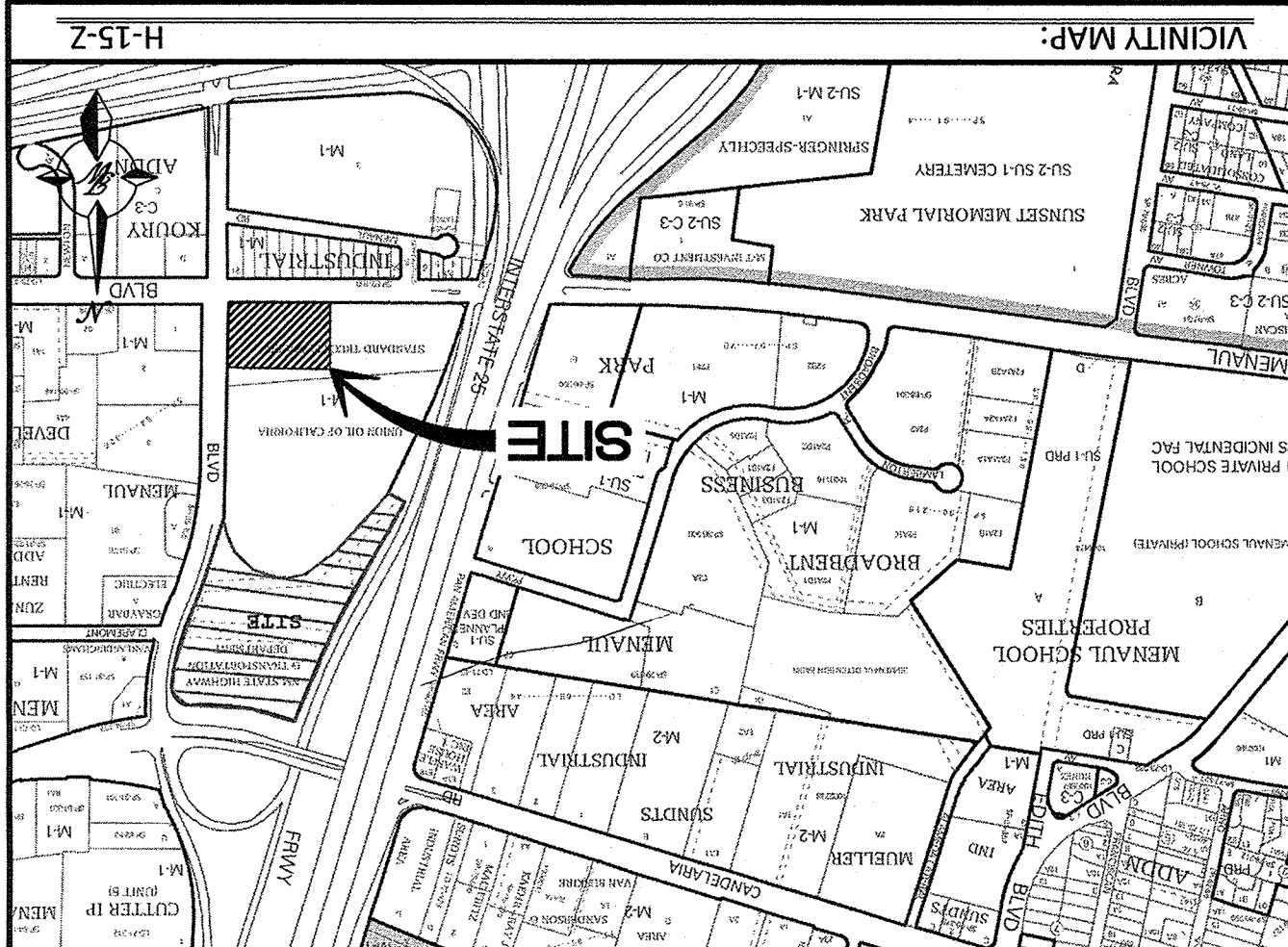
KEYED NOTES

- 1 ACCESSIBLE PARKING PER ADA STANDARDS WITH SIGN
- 2 TRUNCATED DOMES
- 3 ON-SITE CURB & GUTTER
- 4 UNDERGROUND STORAGE FUEL TANKS
- 5 CONCRETE SIDEWALK PER COA STD DWG 2430
- 6 BOLLARDS (TYP)
- 7 ASPHALT PAVING
- 8 DUMPSTER
- 9 GAS PUMP ISLAND (TYP)
- 10 MAVERIK MONUMENT SIGN
- 11 2' STOP BAR
- 12 BICYCLE RACKS
- 13 UNIDIRECTIONAL ACCESSIBLE RAMP PER MMDOT STD DWG 608-03
- 14 CONCRETE SLAB W/CHAMFERED CORNERS
- 15 6' VALLEY GUTTER PER COA STD DWG #2420
- 16 2' VALLEY GUTTER
- 17 TRUCK SCALE
- 18 MC PARKING WITH SIGN
- 19 ZERO CURB SOUTH OF BUILDING
- 20 ASPHALT CURB

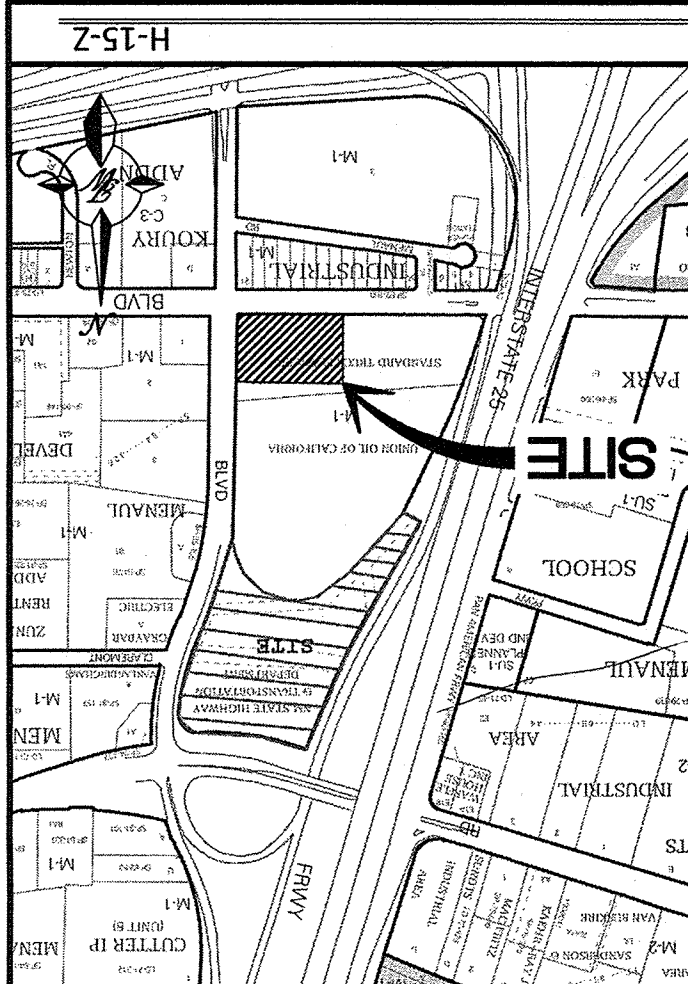
LEGAL DESCRIPTION:

CORNER OF IR-25 (I-025-41(1)218) AND MENAUL BLVD. N.E.

VICINITY MAP:



SITE



University Boulevard, N.E.
(120' PUBLIC R.O.W.)

A PORTION OF THE N 1/2 OF S 1/4 OF NE 1/4, SECTION 9, TOWNSHIP 10 NORTH, RANGE 3 EAST, (04/13/1993, DEC. NO. 1993038682)

DRAINAGE EASEMENT (05/04/1976, DSA-424)

PROPOSED SHARED ACCESS EASEMENT (PRIVATE)

PROPOSED SHARED ACCESS EASEMENT (PRIVATE)

Menaul Boulevard, N.E.
(106' PUBLIC R.O.W.)