

CODE INFORMATION

1997 UNIFORM BUILDING CODE
ICC/ANSI 117.1

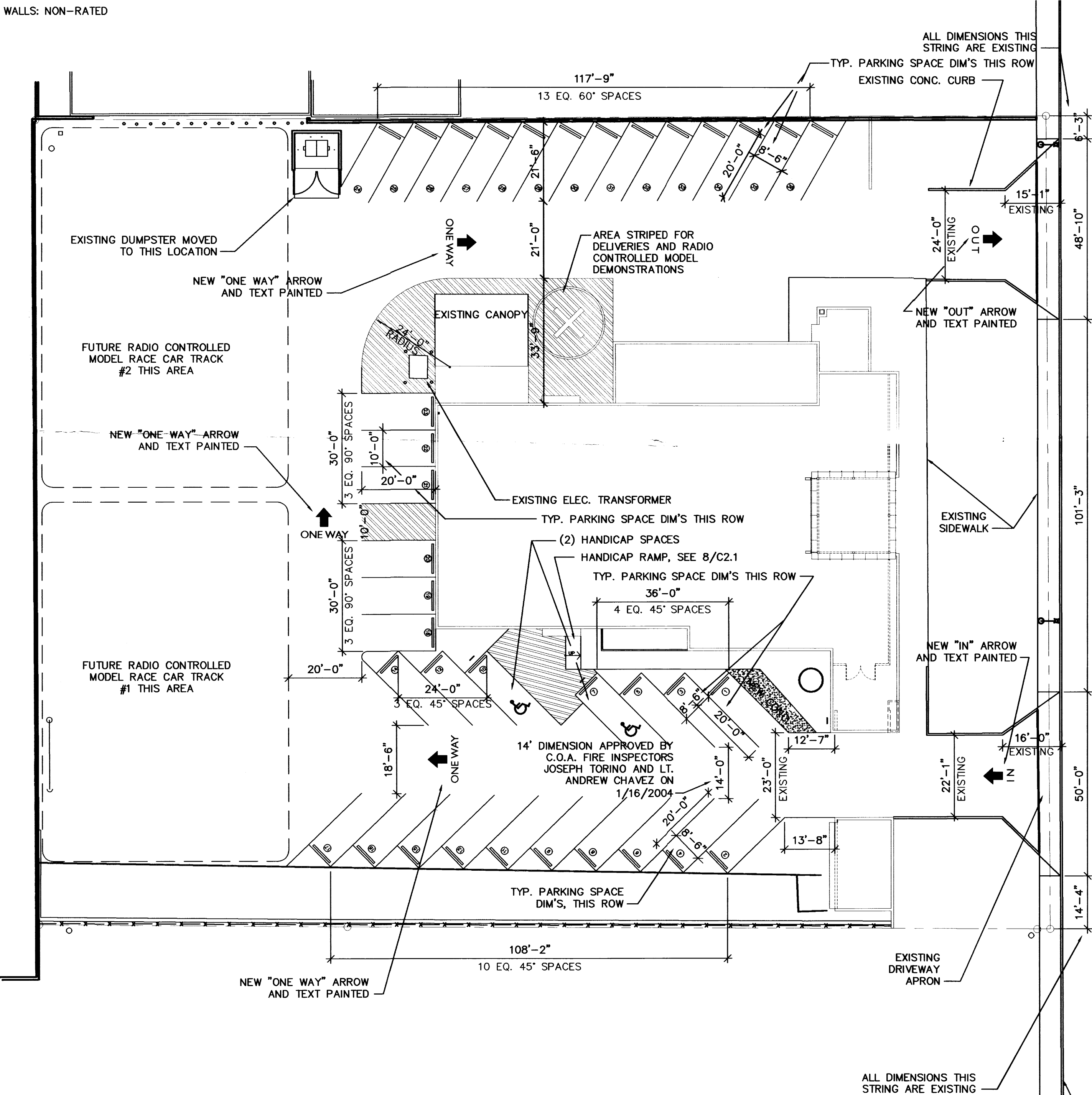
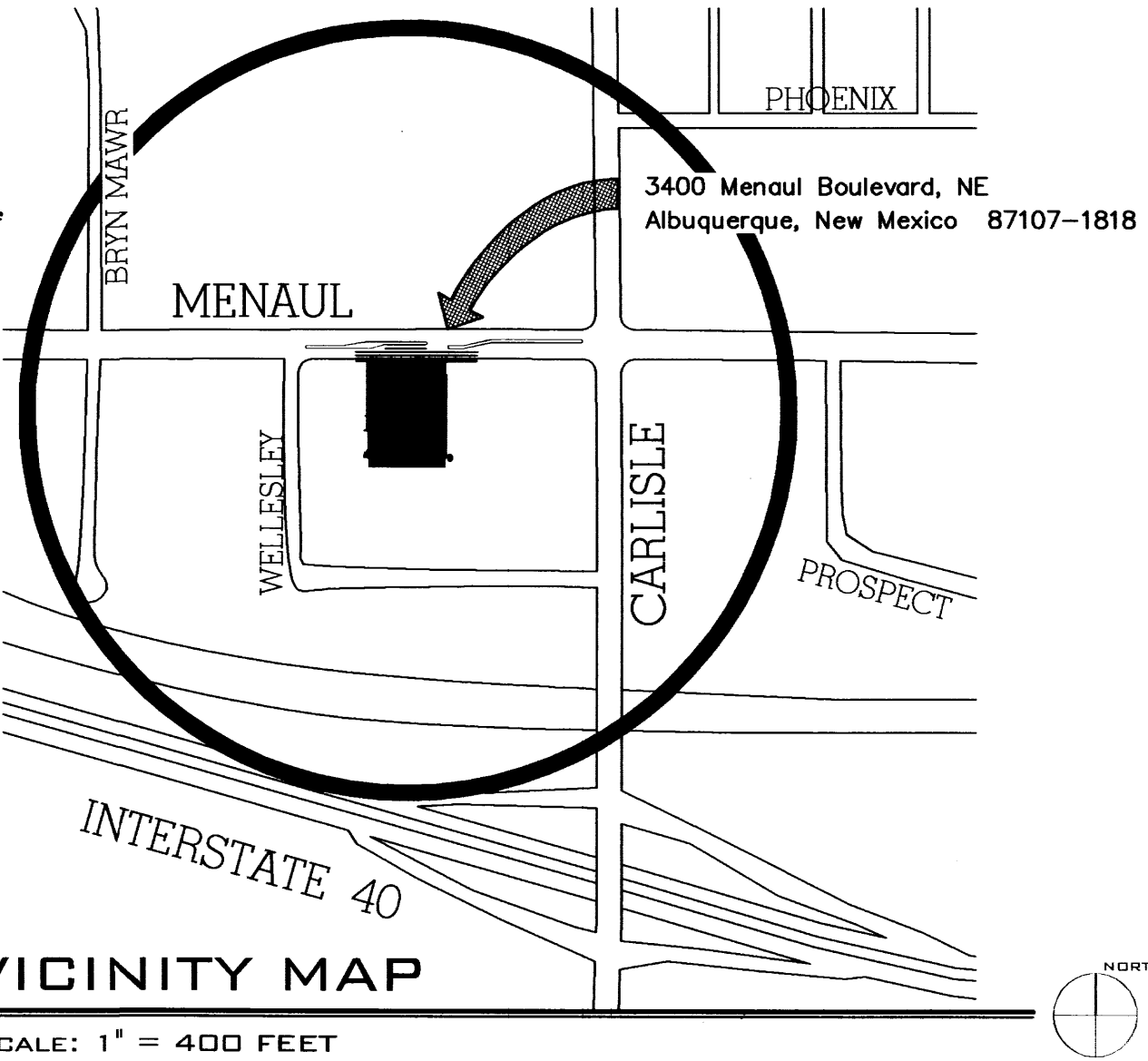
Zoning: C-3
Occupancy Group: M § 309.1.6
Construction: TYPE V, N (NON-RATED CONSTRUCTION) § Table 6-A
Floor Area: $\frac{8,000^*}{20' \times 20' \text{ (minimum)}} \times 2 = \frac{16,000^*}{20' \times 20' \text{ (minimum)}} \Rightarrow \frac{9,260.0^*}{20' \times 20' \text{ (minimum)}}$
Allowable Number of Floors: 2 § Table 5-B
Occupant Load: 235 PERSONS
Total Exit Capacity: 1200 PERSONS
Total Number of Exits: 5
Area Separations Required: NONE
Fire Resistance: EXTERIOR WALLS: NON-RATED
Seismic Zone: 2b

PARKING

SPACE TYPE:	CODE REQ'D PARKING:	ACTUAL SQ. FOOTAGE:	ACTUAL REQ'D PARKING:
OFFICE	1/2000 SF	579 SF	1
STORAGE	1/2000 SF	1,157 SF	1
DISPLAY	1/200 SF	1,939 SF	9.69
RETAIL	1/200 SF	3,707 SF	18.53
EMPLOYEE WORK AREAS	1/1000 SF	1,479 SF	1.4
			33 SPACES
		10% REDUCTION FOR 300' TO TRANSIT ROUTE	-3
			30 SPACES
		2 HANDICAP SPACES (1 VAN ACCESSIBLE)	

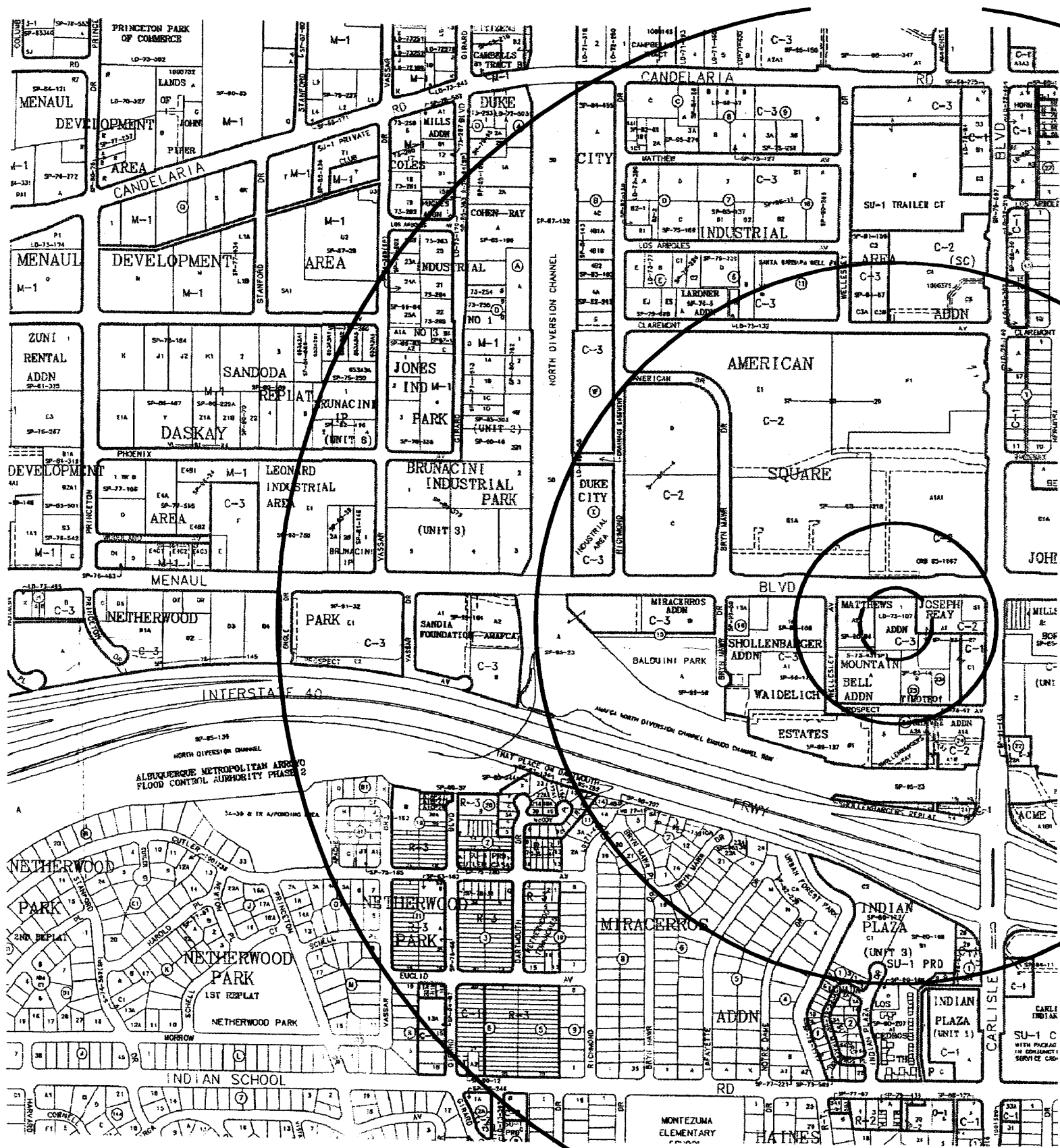
LEGAL DESCRIPTION

PROPERTY ADDRESS: 3400 MENAUL BOULEVARD, NE
ZONING: C-3
LOT/BLOCK/SUBDIVISION: 1,0000, MATTHEWS ADDN
ZONE MAP PAGE: H-16-Z
UPC #: 101-605-947-224-541-738



TRAFFIC CONTROL LAYOUT

SCALE: 1"=20'
NORTH



Zone Atlas Page

H-16-Z

Map Amended through July 10, 2003

Flagship Store Design

SOUTHWEST HOBBIES



3400 Menaul Boulevard, NE
Albuquerque, New Mexico 87107-1818

G. DONALD DUDLEY AIA
ARCHITECT

SIMMS TOWER STUDIO 850
400 GOLD AVENUE SW
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FAX 505.843.6820

STATE OF NEW MEXICO
G. DONALD DUDLEY, JR.
No. 3673

date: February 23, 2004

drawn by: DD/BB/CT

TCL

3a
sequence no. of 281

CODE INFORMATION

1997 UNIFORM BUILDING CODE
ICC/ANSI 117.1

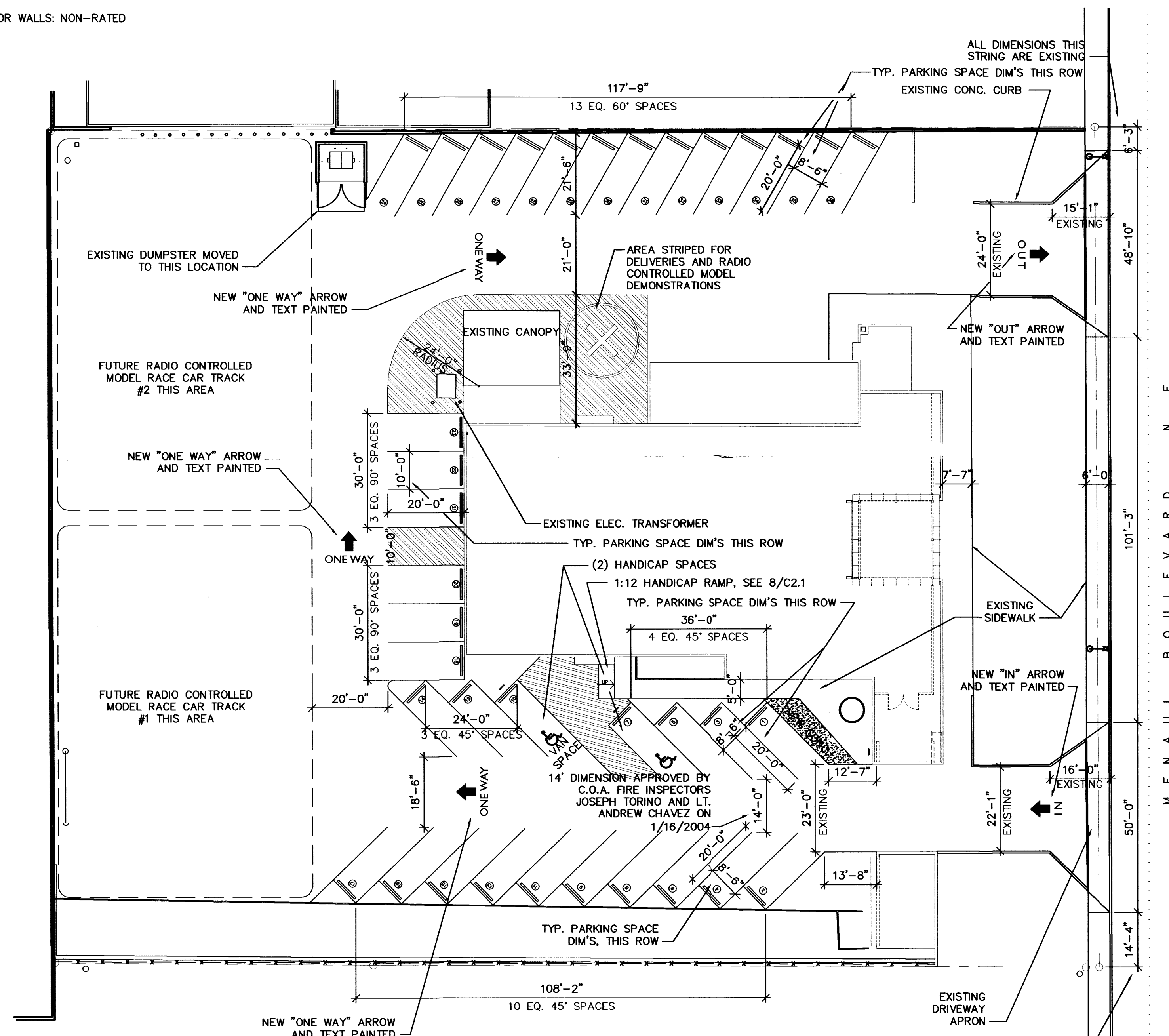
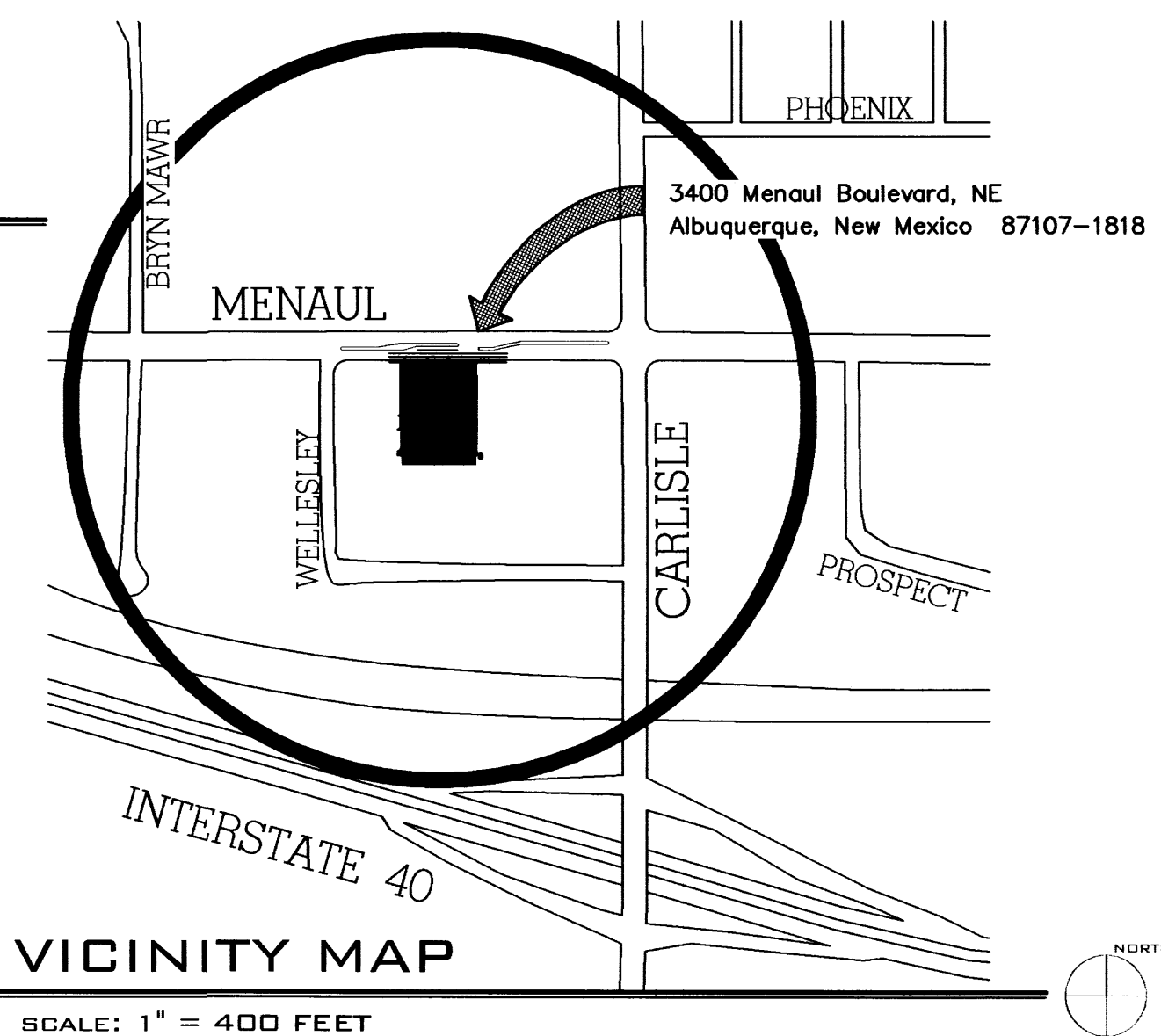
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Floor Area: $\begin{matrix} \text{M} \\ \text{V-N} \end{matrix} \begin{matrix} 8,000' \times 2 = 16,000' \\ \text{Allowable} \end{matrix} \Rightarrow \begin{matrix} 9,260.0' \\ \text{Existing} \end{matrix}$
§ Table 5-B (20'-25' separation) or 4 spaces
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P A R K I N G

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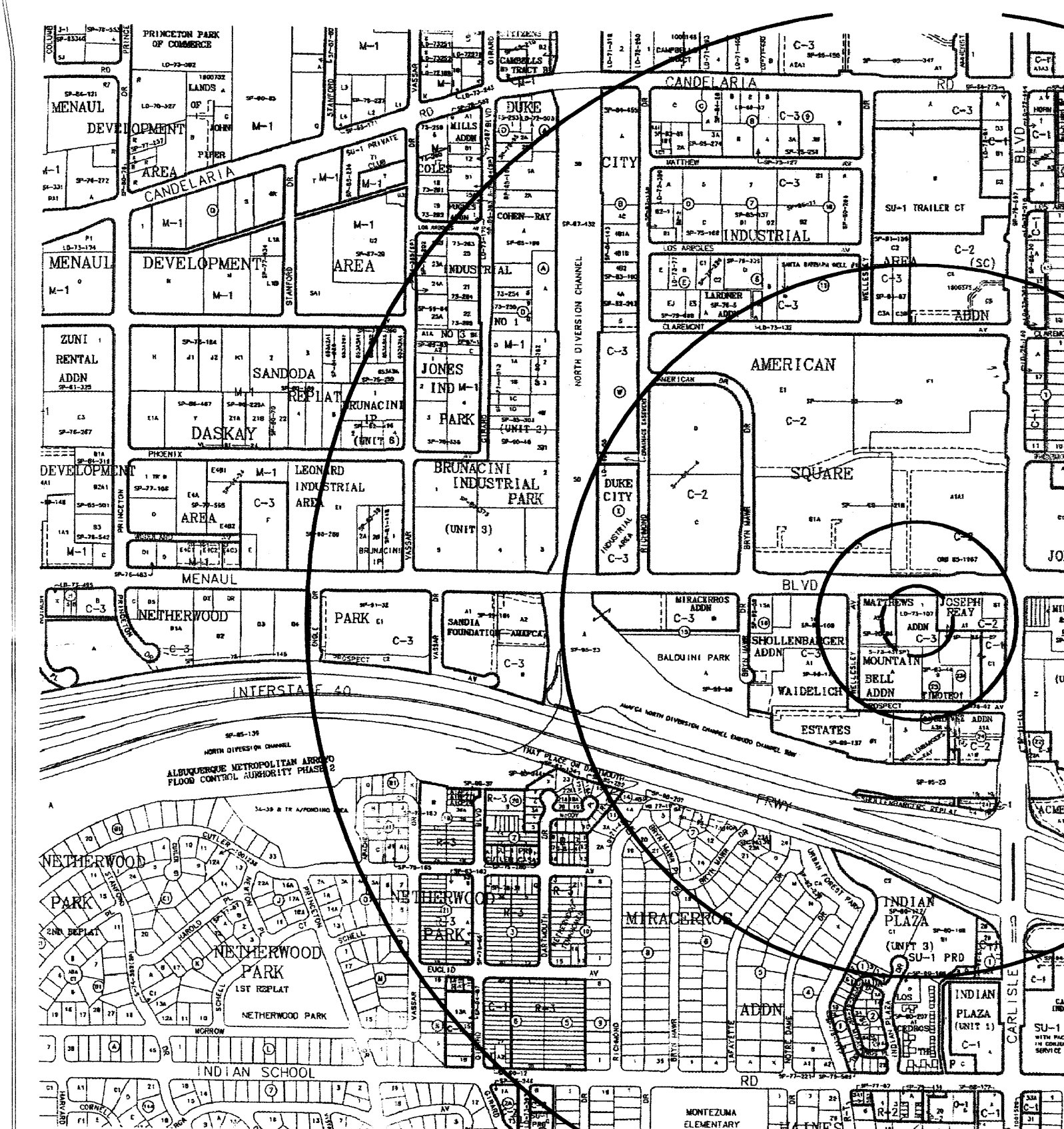
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TRAFFIC CONTROL LAYOUT

SCALE: 1"=20'



Zone Atlas Page

H-16-Z

Map Amended through July 11, 2003

Flagship Store Design

3400 Menaul Boulevard, NE
Albuquerque, New Mexico 87107-1818

G. DONALD DUDLEY AIA

ARCHITECT

SIMMS TOWER STUDIO 850
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date: March 9, 2004

drawn by: DD/BB/CT

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