

Planning Department Transportation Development Services Section

August 8, 2008

Kent Trauernicht, Registered Architect PO Box 3366 Albuquerque, NM 87190

Re:

Certification Submittal for Final Building Certificate of Occupancy for

Advantage Barricades Office Building, [H-16 / D028B]

2231 Phoenix NE

Architect's Stamp Dated 08/06/08

Dear Mr. Trauernicht:

PO Box 1293

The TCL / Letter of Certification submitted on August 8, 2008 is sufficient for acceptance by this office for final Certificate of Occupancy (C.O.). Notification has been made to the Building and Safety Section.

Albuquerque

Singerlely,

NM 87103

www.cabq.gov

Nille E. Salgado-Fernandez, P.E.

Senior Traffic Engineer

Development/and Building Services

Planning Department

\ c:

Engineer
Hydrology file

CO Clerk



P. O. B O X 3 3 6 6 ALBUQUERQUE, NM 87190 T: (505) 281 - 9560 F: (505) 286 - 1055 C: (505) 259 - 7919 aktarch@earthlink.net

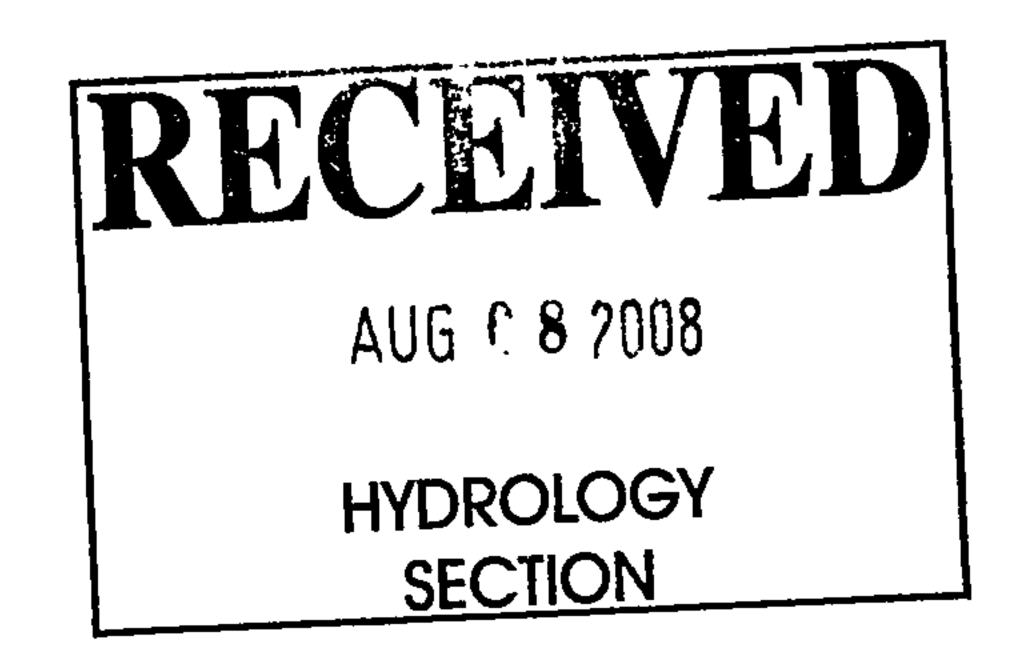
August 6, 2008

City of Albuquerque Public Works Department Transportation Development Services 600 2nd Street NW Albuquerque, NM 87102

RE: Traffic Circulation Layout – Certification (Reply to City Letter dated July 18, 2008)
COA BP# 0709040
Advantage Barricade Office Building
2231 Phoenix Ave. NE
Albuquerque, NM 87107

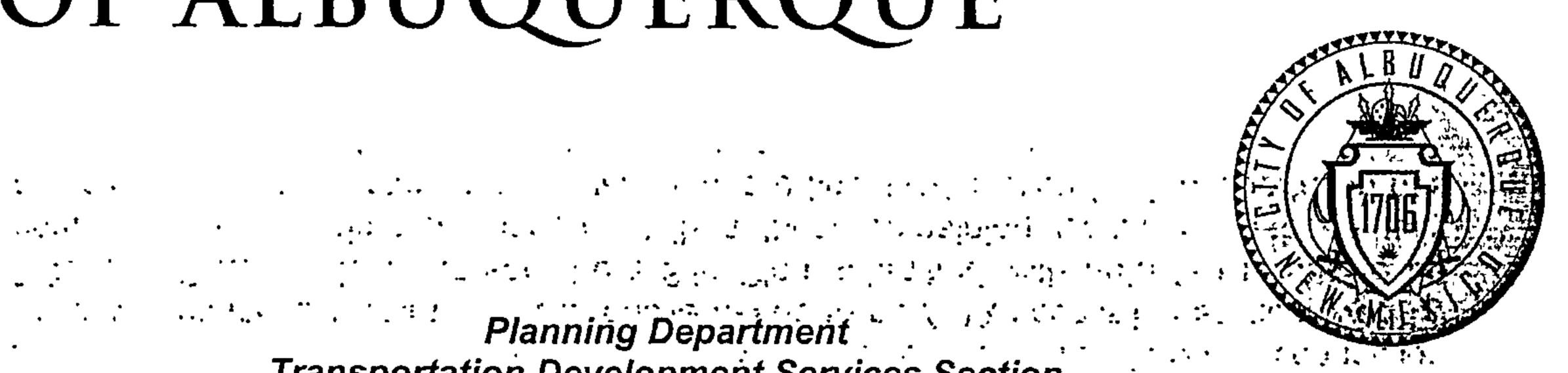
The new building replaced an existing building on the existing developed site. The building pad is higher than normal in relation to the public sidewalk along Phoenix Ave. Therefore this project provided a connecting walk with steps in lieu of a wheel chair ramp. The Traffic Circulation Layout approval, dated June 12, 2007, was based upon this condition.





Planning Department

Transportation Development Services Section



July 18, 2008

Kent Trauernicht, Registered Architect, AKT Architects, LLC P.O. Box 3366 Albuquerque, NM 87190

Re:

Approval of Temporary Certificate of Occupancy (C.O.) for

Advantage Barricade Office Building, [H-16 / D028B]

2231 Phoenix NE

Architect's Stamp Dated 06/30/08

Dear Mr. Trauernicht:

Based on the information provided on your submittal dated July 18, 2008, the above referenced project is approved for a 90-day Temporary C.O.

PO Box 1293

Albuquerque

A Temporary C.Ö. has been issued allowing the outstanding sidewalk connection (sidewalk connection from street to onsite needs to be ADA accessible as approved by TCL Site Plan which is different from Site Plan submitted with note 26) issues to be completed within this time period. When these remaining issues have been fully completed, are in substantial compliance, and a final Certification for Transportation has been resubmitted to the City's Hydrology office for approval, a Permanent C.O. will be issued.

NM 87103

www.cabq.gov

The Certification package for Final C.O. must include an exact copy of the approved TCL, or signed off D.R.B. Site Plan, which is in each of the two City Permit Plan Sets the contractor's City field set and the City's plan set in the basement of the Plaza Del Sol building. Package also must include a letter of certification on designer's letterheadstamped with his seal, signed, and dated. Submit package along with fully completed Drainage Information Sheet to front counter personnel for log in and evaluation by Transportation.

If you have any questions, please call me at 924-3630.

Sincerely

. Salgado-Fernandez, P.E.

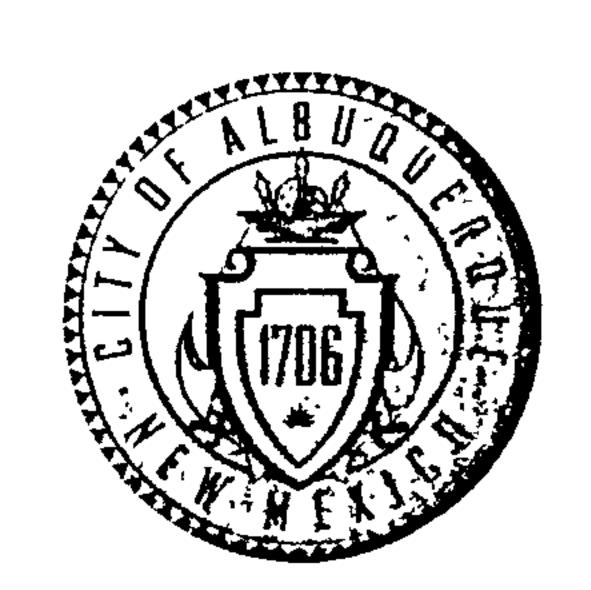
Servor Traffic Engineer

Development and Building Services

Planning Départment

- - -

Engineer Hydrology file CO Clerk



Planning Department Transportation Development Services Section

July 18, 2008

Kent Trauernicht, Registered Architect, AKT Architects, LLC P.O. Box 3366 Albuquerque, NM 87190

Re:

Approval of Temporary Certificate of Occupancy (C.O.) for

Advantage Barricade Office Building, [H-16 / D028B]

2231 Phoenix NE

Architect's Stamp Dated 06/30/08

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Sincerely

Nile Z. Salgado-Fernandez, P.E.

Serior Traffic Engineer

Development/and Building Services

Planning Départment

Engineer
Hydrology file
CO Clerk



g+ #4

P. O. B O X 3 3 6 6 ALBUQUERQUE, NM 87190 T: (505) 281 - 9560 F: (505) 286 - 1055 C: (505) 259 - 7919 aktarch@earthlink.net

·* _



June 30, 2008

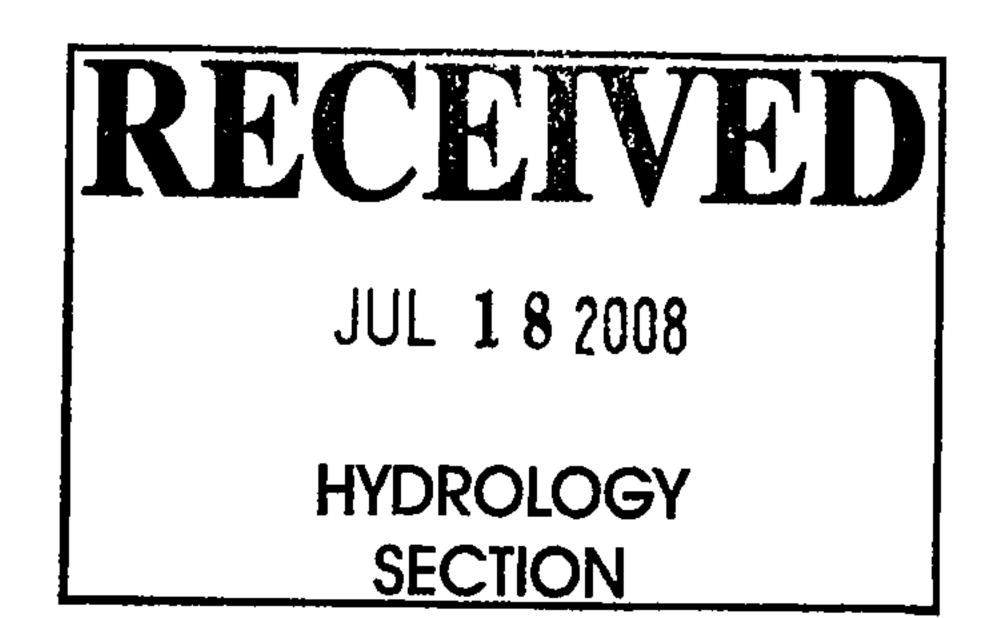
City of Albuquerque Public Works Department Transportation Development Services 600 2nd Street NW Albuquerque, NM 87102

RE: Traffic Circulation Layout – Certification COA BP# 0709040 Advantage Barricade Office Building 2231 Phoenix Ave. NE Albuquerque, NM 87107

I have visited the completed project and to the best of my knowledge and information it appears to be in substantial compliance with the intent of the design concepts and the "Traffic Circulation Layout", as approved by the City, June 12, 07. Minor site changes may have occurred during the construction of this project but have no adverse impact to the site and its ability to comply with the approved plan. Those relying upon this record are advised to obtain independent verification of its accuracy before using it for any other purpose.

This document neither expresses nor implies a warranty.





DRAINAGE AND TRANSPO		FORMATION	SHEET	/ = = = =
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Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

- 1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
- 2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
- 3. Drainage Report: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.



June 12, 2007

Kent Trauernicht, R.A. AKT Architects P.O. Box 3366 Albuquerque, NM 87190

Re:

Advantage Office Building, 2231 Phoenix Avenue NE, Traffic Circulation Layout

Architect's Stamp dated 6-12-07 (H16-D28B)

Dear Mr. Trauernicht,

The TCL submittal received 6-12-07 is approved for Building Permit. The plan is stamped and signed as approved. A copy of this plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation. Public infrastructure or work done within City Right-of-Way shown on these plans is for information only and is not part of approval. A separate DRC and/or other appropriate permits are required to construct these items.

P.O. Box 1293

If a temporary CO is needed, a copy of the original TCL that was stamped as approved by the City will be needed. This plan must include a statement that identifies the outstanding items that need to be constructed or the items that have not been built in "substantial compliance," as well as the signed and dated stamp of a NM registered architect or engineer. Submit this TCL with a completed <u>Drainage and Transportation Information Sheet</u> to Hydrology at the Development Services Center of Plaza Del Sol Building.

Albuquerque

When the site is completed and a final C.O. is requested, use the original City stamped approved TCL for certification. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed <u>Drainage and Transportation Information Sheet</u> to Hydrology at the Development Services Center of Plaza Del Sol Building.

www.cabq.gov

New Mexico 87103

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3306.

Sincerely,

Kristal D. Metro, P.E.

Senior Engineer, Planning Dept.

Development and Building Services

C:

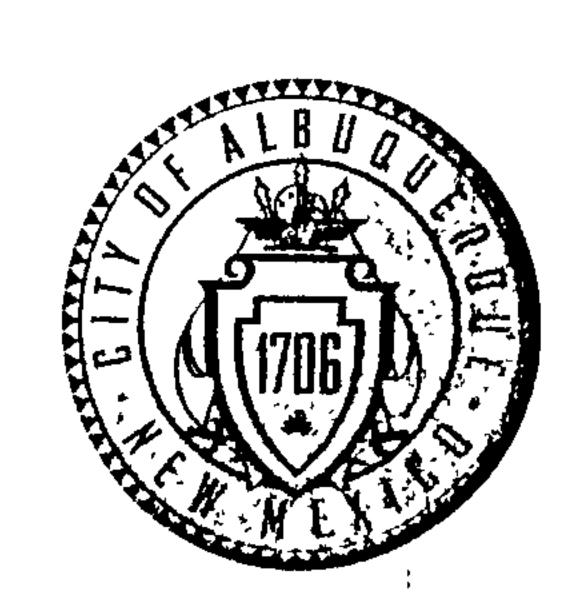
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## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (Rev. 12/2005)

PROJECT TITLE: Advantage Office Building DRB#: N/A EPC#: N/A	ZONE MAP/DRG. FILE: #-H-16-Z WORK ORDER#:
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LEGAL DESCRIPTION: Parcel Z-1-A Daskay Subc	livision.
CITY ADDRESS: 2231 Phoenix Av NE 87107	
ENGINEERING FIRM:	
ADDRESS:	CONTACT:
CITY, STATE:	PHONE:
	_ ZIP CODE:
OWNER: Advantage Barricade	· · · · · · · · · · · · · · · · · · ·
ADDRESS: 2231 Phoenix Av NE	CONTACT: Jim Key PHONE: 934-1851
CITY, STATE: Albuquerque	ZIP CODE 87107.
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ARCHITECT: AKT Architects	_ CONTACT: Kent Trauernicht
ADDRESS: 55 Camino Del Senador	PHONE: 281-9560
CITY, STATE: Tijeras	ZIP CODE: 87059
SURVEYOR:	CONTACT:
ADDRESS:	PHONE:
CITY, STATE:	_ ZIP CODE:
CONTRACTOR:	
ADDRESS:	_ CONTACT:
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GRADING PLAN	SECTOR PLAN APPROVAL
EROSION CONTROL PLAN	FINAL PLAT APPROVAL
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SUBMITTED BY: Kent Trauernicht	DATE: June 12 2007

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- 2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
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June 27, 2008

Shahab Biazar, P.E.

Advanced Engineering & Consulting, LLC

4416 Anaheim Avenue NE
Albuquerque, NM 87113

Re: Advantage Office Building, 2231 Phoenix Ave. NE,

(H-16/D028B)

Approval of Permanent Certificate of Occupancy,

Engineer's Stamp Dated: 6-19-07

Certification dated: 7-01-2008

Mr. Biazar:

PO Box 1293

Based upon the information provided in your submittal received 7/01/08, the above referenced certification is approved for Permanent Certificate of Occupancy release by Hydrology.

Albuquerque

If you have any questions, you can contact me at 924-3982.

NM 87103

Sincerely,

www.cabq.gov

Timothy E. Sims

Plan Checker-Hydrology, Planning Dept Development and Building Services

C: CO Clerk--Katrina Sigala file

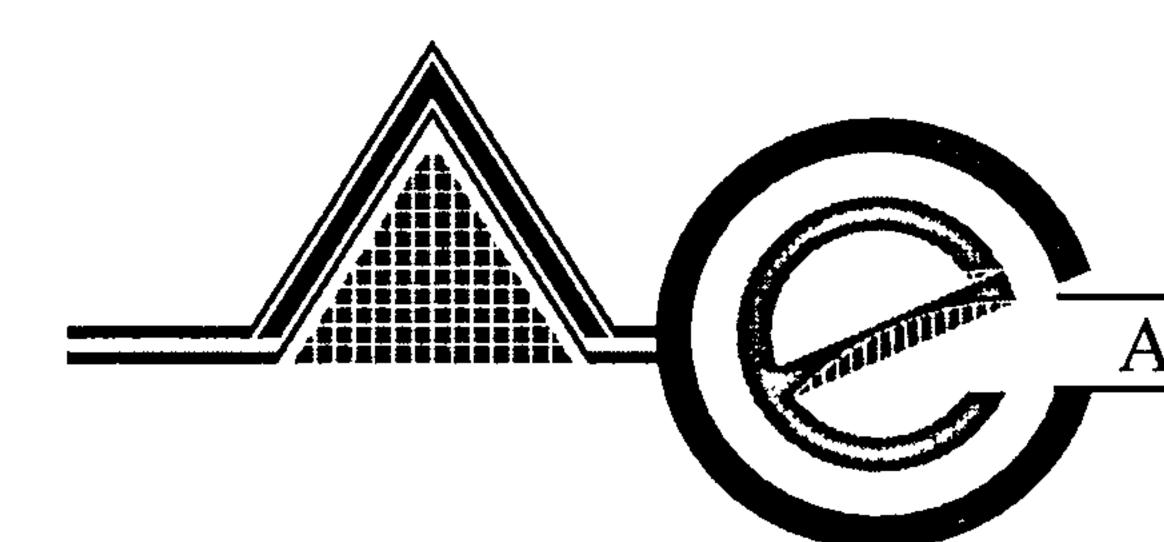
#### DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(Rev. 12/05)

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Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittals may be required based on the following:

- 1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) and Sector Plans.
- 2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5).
- 3. Drainage Report: Required for subdivisions containing more than ten (10) lots or containing five (5) acres or more.



#### ADVANCED ENGINEERING and CONSULTING, LLC

Consulting
Design
Development
Management
Inspection
Surveying

July 1, 2008

Mr. Bradley L. Bingham, P.E. Sr. Engineer, Planing Dept. Development and Building Services 600 Second Street NW Albuquerque, New Mexico 87102

RE: FINAL CERTIFICATION OF OCCUPANCY FOR 2231 PHOENIX AVENUE N.E.

(H16/D28B)

Dear Mr. Bingham:

This letter is in request of Final Certification of Occupancy for the above mentioned project. I Shahab Biazar, NMPE, of the Advanced Engineering, LLC hereby certify that project has been graded and will drain in substantial compliance with and design intent of the approved plan dated 06/19/2007. See enclosed plan for as-built grades.

Please contact me if there are any questions or concerns regarding this submittal.

Sincerely yours,

Shahab Biazar, P.E.

RECLIVE JUL 0 1 7008

> HYDROLOGY SECTION

REGISTERED

3479

PROFESSIONAL

ENG/NEE



July 20, 2007

Shahab Biazar PE
Advanced Engineering and Consulting
4416 Anaheim Ave NE
Albuquerque, NM 87113

Re: Advantage Office Building Grading and Drainage Plan Engineer's Stamp dated 6-19-07 (H16/D28B)

Dear Mr. Biazar,

P.O. Box 1293

Based upon the information provided in your submittal dated 6-20-07, the above referenced report is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

Albuquerque

Also, prior to Certificate of Occupancy release, Engineer Certification of the grading plan per the DPM checklist will be required.

If you have any questions, you can contact me at 924-3986.

New Mexico 87103

www.cabq.gov

Sincerely,

Bradley L. Bingham, PE

Principal Engineer, Planning Dept.

Development and Building Services

C: file

#### DRAINAGE AND TRANSPORTATION INFORMATION SHEET

TILLE AUG. / (Rev. 12/0	
PROJECT TITLE: 2231.PHONIX-AVENUE N.E. ADVAN	AGE ZONE ATLAS/DRG. FILE #: H16 128
DRB#: EPC #:	3(1)(7) work order #:
LEGAL DESCRIPTION:  PARCEL "Z-1-A" OF DASKAY	SUBDIVISION
CITY ADDRESS: 5012231 PHONIX AVE NE 87107	
ENGINEERING FIRM: Advanced Engineering and Consulting, LLC	CONTACT: Shahab Biazar
ADDRESS: 4416 Anaheim Ave., NE	PHONE: (505) 899-5570
CITY, STATE: Albuquerque, New Mexico	ZIP CODE: 87113
OWNER:	CONTACT:
ADDRESS:	PHONE: ZIP CODE:
CITY, STATE:	
ARCHITECT:	CONTACT:PHONE:
ADDRESS:CITY, STATE:	ZIP CODE:
SURVEYOR: ADDRESS:	CONTACT:PHONE:
CITY, STATE:	ZIP CODE:
CONTRACTOR:	CONTACT:
ADDRESS:	PHONE:
CITY, STATE:	ZIP CODE:
	CHECK TYPE OF APPROVAL SOUGHT:
CHECK TYPE OF SUBMITTAL:	SIA / FINANCIAL GUARANTEE RELEASE
DRAINAGE REPORT	
DRAINAGE PLAN 1ST SUBMITTAL	PRELIMINARY PLAT APPROVAL
DRAINAGE PLAN RESUBMITTAL	S. DEV. PLAN FOR SUB'D. APPROVAL
CONCEPTUAL GRADING & DRAINAGE PLAN	S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
X GRADING PLAN	SECTOR PLAN APPROVAL
EROSION CONTROL PLAN	FINAL PLAT APPROVAL
ENGINEER'S CERTIFICATION (HYDROLOGY)	FOUNDATION PERMIT APPROVAL
CLOMR / LOMR	X BUILDING PERMIT APPROVAL
TRAFFIC CIRCULATION LAYOUT (TCL)	CERTIFICATE OF OCCUPANCY (PERM.)
ENGINEER/ARCHITECT CERT (TCL)	CERTIFICATE OF OCCUPANCY (TEMP.)
ENGINEER/ARCHITECT CERT (DRB S.P.)	GRADING PERMIT APPROVAL
ENGINEER/ARCHITECT CERT (AA)	PAVING PERMIT APPROVAL
OTHER (SPECITY)	WORK ORDER APPROVAL
	宣 C EOTHER (SPECIFY)
WAS A PRE-DESIGN CONFERENCE ATTENDED:	JUN 2 0 2007
X NO	L. CECTION
COPY PROVIDED HY	DROLOGY SECTION
DATE SUBMITTED: 06 / 19 / 2007	BY: Shahab Biazar, P.E.

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittals may be required based on the following:

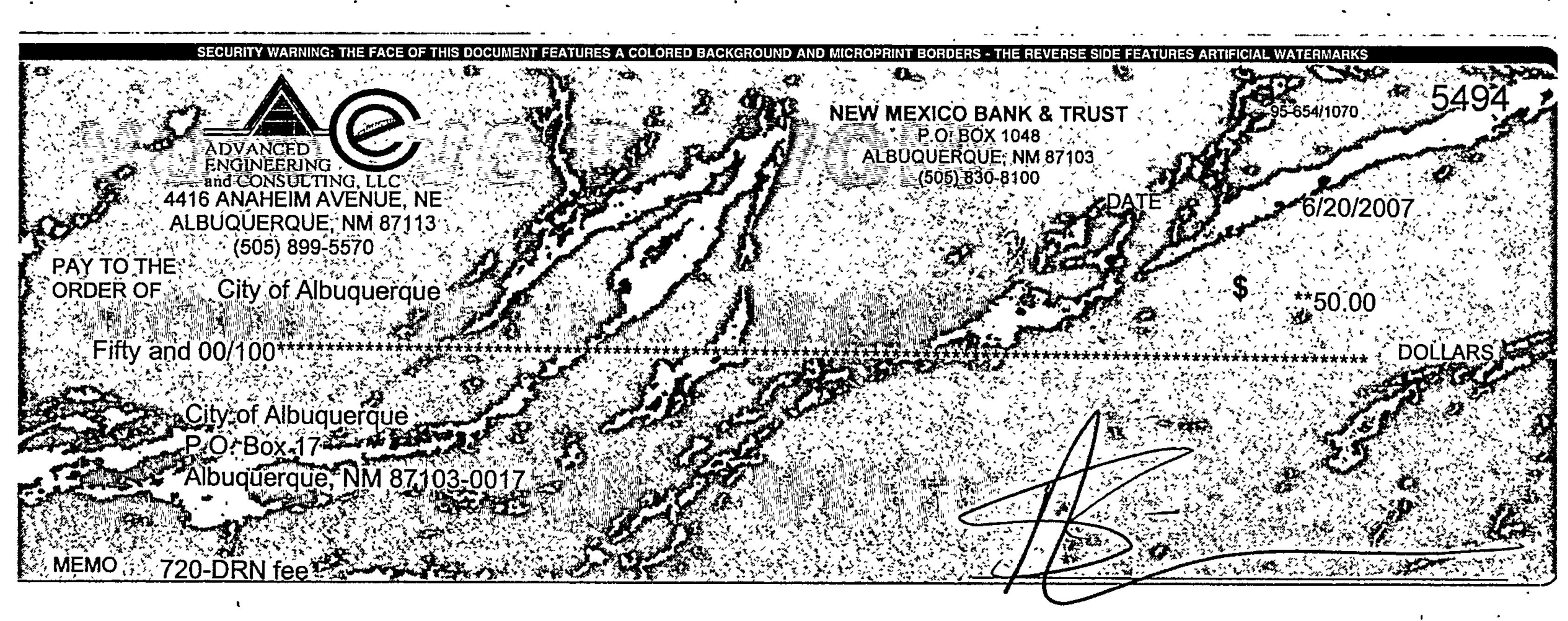
- 1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) and Sector Plans.
- 2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5).
- 3. Drainage Report: Required for subdivisions containing more than ten (10) lots or containing five (5) acres or more.

# ONE STOP SHOP CITY OF ALBUQUERQUE PLANNING DEPARTMENT Development & Building Services

#### PAID RECEIPT

APPLICANT NAME	Das lav Subd.
AGENT	Advource d'Engeneering: Consulting, LLC
ADDRESS	4416 Anaheim Mr. NF.
PROJECT & APP #	
PROJECT NAME	
\$441032/3	424000 Conflict Management Fee
\$441006/4	983000 DRB Actions
\$441006/4	971000 EPC/AA/LUCC Actions & All Appeals
	971000 Public Notification
( )Maj	983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY*** jor/Minor Subdivision ( )Site Development Plan ( )Bldg Permit tter of Map Revision ( )Conditional Letter of Map Revision affic Impact Study
\$ 56. TOTAL	AMOUNT DUE
***NOTE: If a subsequen	t submittal is required, bring a copy of this paid receipt with you to avoid

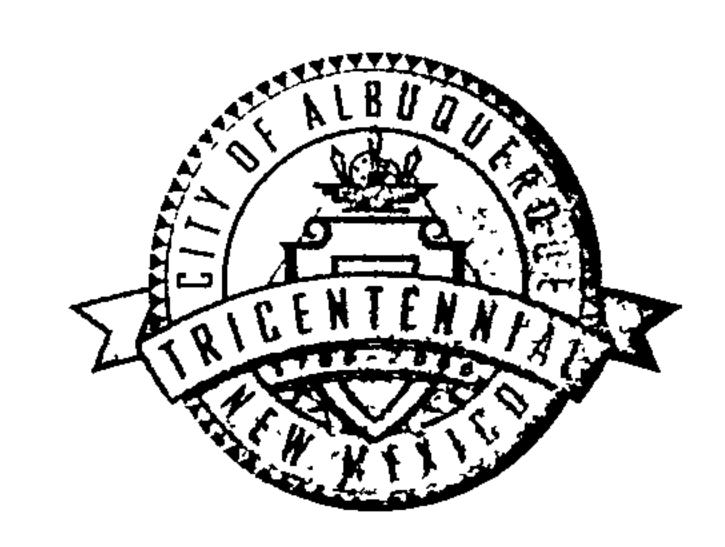
***<u>NOTE</u>: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.



#### City Of Albuquerque Treasury Division

6/20/2007	•	1:50AM	LO	C: ANNX
RECEIPT#	00077255	WS# 008	TRANS#	0027
Account	441006	Fund	0110	
Activity	4983000		TRS	DMG
Trans Amt		\$	50.00	
J24 Misc			\$	50.00
εĸ			\$	50.00
CHANGE				\$0.00

Thank You



May 17, 2007

Kent Trauernicht, R.A.
AKT Architects
P.O. Box 3366
Albuquerque, NM 87190

Re: Advantage Office Building, 2231 Phoenix Avenue NE,
Traffic Circulation Layout
Architect's Stamp dated 5-07-07 (H16-D28B)

Dear Mr. Trauernicht,

Based upon the information provided in your submittal received 5-08-07, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

Albuquerque

P.O. Box 1293

New Mexico 87103

New Mexico 67105

2. Please refer to the correct zone atlas page on the vicinity map.

3. The drivenad must comply with all current ADA standards. All drivenations are provided in the correct and an experience of the correct and are provided in the correct and are provide

1. Please show the location of the nearest driveway on the adjacent lot.

- 3. The drivepad must comply with all current ADA standards. All driveways must have a 3-foot wide pedestrian access path. This path must have a cross slope of no greater than 2%. In addition, all wheelchair ramps located within the public right of way must have truncated domes.
- 4. Include two copies of the traffic circulation layout at the next submittal.

www.cabq.gov

If you have any questions, you can contact me at 924-3981.

Kristal D. Metro, P.E.

Sincerely,

Senior Engineer, Planning Dept.

Development and Building Services

C: File

H-16/D28B

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (Rev. 12/2005)

PROJECT TITLE: Advantage Office Building DRB#: N/A EPC#: N/A	ZONE MAP/DRG. FILE: # <u>· C-16-Z</u>
DRB#: EPC#: EPC#:	WORK ORDER#:
LEGAL DESCRIPTION: Parcel Z-1-A Daskay Subo	ivierion
CITY ADDRESS: 2231 Phoenix Av NE 87107	· · · · · · · · · · · · · · · · · · ·
ENGINEERING FIRM:	CONTACT:
ADDRESS:	PHONE:
CITY, STATE:	ZIP CODE:
OWNER: Advantage Barricade	· · · · · · · · · · · · · · · · · · ·
ADDRESS: 2231 Phoenix Av NE	CONTACT: Jim Key
CITY, STATE: Albuquerque	PHONE: 934-1851 ZIP CODE87107
•	•
ARCHITECT: AKT Architects.	CONTACT: Kent Trauernicht
ADDRESS: <u>55 Camino Del Senador</u> CITY, STATE: <u>Tijeras</u>	PHONE: <u>281-9560</u> .
orra, brain, <u>Tilleras</u>	ZIP CODE:87059
SURVEYOR:	CONTACT:
ADDRESS: .	PHONE:
CITY, STATE:	ZIP CODE:
CONTRACTOR:	_ CONTACT:
ADDRESS:	PHONE:
CITY, STATE:	
TYPE OF SUBMITTAL: CHECK	X TYPE OF APPROVAL SOUGHT:
DRAINAGE REPORT	SIA/FINANCIAL GUARANTEE RELEASE
DRAINAGE PLAN 1st SUBMITTAL	PRELIMINARY PLAT APPROVAL
DRAINAGE PLAN RESUBMITTAL	S. DEV. PLAN FOR SUR'D APPROVAT
CONCEPTUAL G & D PLAN.	S. DEV. FOR BLDG. PERMIT APPROVAL
GRADING PLAN	SECTOR PLAN APPROVAL
EROSION CONTROL PLAN	FINAL PLAT APPROVAL
ENGINEER'S CERT (HYDROLOGY)	OFOUNDATION PERMIT APPROVAL " "
CLOMR/LOMR	BUILDING PERMIT APPROVAL
X TRAFFIC CIRCULATION LAYOUT	_CERTIFICATE OF OCCUPANCY (PERM)
ENGINEER'S/ARCHITECT'S CERT (TCL)	_CERTIFICATE OF OCCUPANCY (TEMP)
ENGINEER'S CERT (DRB SITE PLAN)	_ GRADING PERMIT APPROVAL
OTHER	_PAVING PERMIT APPROVAL
•	WORK ORDER APPROVAL
	_OTHER (SPECIFY)
ΨΔς Δ Ρρφ_ήρεςταν αφουντών	
WAS A PRE-DESIGN CONFERENCE ATTENDED:	NAY 0 8 2007
X YES	
NO CORY DROWNED (	
COPY PROVIDED HOUSE	HYDROLOGY SECTION
SUBMITTED BY: Kent Trauernicht	DATE: May 8, 2007

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

- 1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
- 2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
- 3. Drainage Report: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

NOTE 8. DIMEN SION SW WOTH 10 Which Specification? ADD NOTE; ALL W.C. RAMPS WILL ROW. TO INCLUDE TRUNCATED DOMES. 11,13 - ENSURE ADA ACCESS 15 MAINTAINED ACROSS DRIVE.

DEFINE WIDTHS OF PARKING STALLS. SHOW DRIVE PADS TO WEST of SITE.



## City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

October 20, 1992

W. Reed Edgel Rodriguez & Associates 12800 San Juan NE Albuquerque, NM 87123

RE: REVISED DRAINAGE PLAN FOR JANICO OFFICES (H16-D28B) ENGINEER'S STAMP DATED 10/15/92.

Dear Mr. Edgel:

Based on the information provided on your October 16, 1992 resubmittal, the above referenced site is approved for Building Permit.

Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

If I can be of further assistance, please feel free to contact me at 768-2667.

Sincerely,

Bernie J. Montoya, CE Engineering Assistant

BJM/d1/WPHYD/3716

xc: Alan Martinez

File:

PUBLIC WORKS DEPARTMENT

#### DRAINAGE INFORMATION SHEET

PROJECT TITLE: W/CO	ZONE ATLAS/DRNG. FILE #: 4-/6/28/
DRB #: EPC #:	WORK ORDER #:
LEGAL DESCRIPTION: PARCEL "Z-/-A", D	
CITY ADDRESS: ZZ31 PHOGYIX AVE	ENUE N.E. CITY
ENGINEERING FIRM: W. KEED EDEC, P.E.	CONTACT: MR. EOSEC
ADDRESS: 601 VASSAR N.E. 87/	OC PHONE: 255-2675
OWNER: JAY/CO	CONTACT: MR. GINERIS
ADDRESS: ZZ3/ PHOEMX AXE. K.	E, PHONE: 263-6399
ARCHITECT:	CONTACT: ·
ADDRESS:	PHONE:
SURVEYOR: TORRES SCHOKES/10G Co	CONTACT: MR. JIM TORRES
ADDRESS: 1570 BRIDGE BCXD-S	'M'- PHONE: 29/-7085
CONTRACTOR: HILL CONSTRUCTION CO	O. CONTACT: LARRY HICL.
ADDRESS:	PHONE: 344-9070
DRAINAGE REPORT DRAINAGE PLAN CONCEPTUAL GRADING & DRAINAGE PLAN GRADING PLAN EROSION CONTROL PLAN ENGINEER'S CERTIFICATION OTHER	ECK TYPE OF APPROVAL SOUGHT:  SKETCH PLAT APPROVAL  PRELIMINARY PLAT APPROVAL  S. DEV. PLAN FOR SUB'D. APPROVAL  S. DEV. PLAN FOR BLDG. PERMIT APPROVAL  SECTOR PLAN APPROVAL  FINAL PLAT APPROVAL  FOUNDATION PERMIT APPROVAL  BUILDING PERMIT APPROVAL  CERTIFICATE OF OCCUPANCY APPROVAL  GRADING PERMIT APPROVAL  PAVING PERMIT APPROVAL  S.A.D. DRAINAGE REPORT  DRAINAGE REQUIREMENTS  OTHER(SPECIFY)
DATE SUBMITTED: Oct. 15, 1992  REED FOREST RE	



## City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

September 15, 1992

W.Reed Edgel Rodriquez & Associates 12800 San Juan NE Albuquerque, New Mexico 87123

RE: DRAINAGE PLAN FOR JANICO OFFICES

(H-16/D28B) ENGINEER'S STAMP DATED SEPTEMBER 8, 1992

Dear Mr. Edgel:

Based on the information provided on your September 4, 1992 resubmittal, the above referenced site is approved for Building Permit.

Please attach a copy this approved plan to the construction sets prior to sign off by Hydrology.

If I can be of further assistance, please feel free to contact me at 768-2667.

Sincerely,

Bernie J. Montoya, C.E.

Engineering Assistant

BJM/ses/WPHYD3536

cc: Alan Martinez

File =

PUBLIC WORKS DEPARTMENT



## City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

August 20, 1992

W. Reed Edgel Rodriquez & Associates 12800 San Juan NE Albuquerque, New Mexico 87123

RE: DRAINAGE PLAN FOR JANICO OFFICES
(H-16/D28B) ENGINEER'S STAMP DATED JULY 31, 1992

Dear Mr. Edgel:

Based on the information provided on your August 13, 1992 submittal, the above referenced site is approved for Building Permit.

Please attach a copy this approved plan to the construction sets prior to sign off by Hydrology.

If I can be of further assistance, please feel free to contact me at 768-2667.

Sincerely,

Samie Montaya, C.E.

Engineering Assistant

BJM/ses/WPHYD3536

cc: Alan Martinez

PUBLIC WORKS DEPARTMENT