

CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services Section**

August 8, 2008

Kent Trauernicht, Registered Architect
PO Box 3366
Albuquerque, NM 87190

Re: Certification Submittal for Final Building Certificate of Occupancy for
Advantage Barricades Office Building, [H-16 / D028B]
2231 Phoenix NE
Architect's Stamp Dated 08/06/08

Dear Mr. Trauernicht:

PO Box 1293

The TCL / Letter of Certification submitted on August 8, 2008 is sufficient for acceptance by this office for final Certificate of Occupancy (C.O.). Notification has been made to the Building and Safety Section.

Albuquerque

Sincerely,

NM 87103

Nilb E. Salgado-Fernandez, P.E.
Senior Traffic Engineer
Development and Building Services
Planning Department

www.cabq.gov

c: Engineer
Hydrology file
CO Clerk



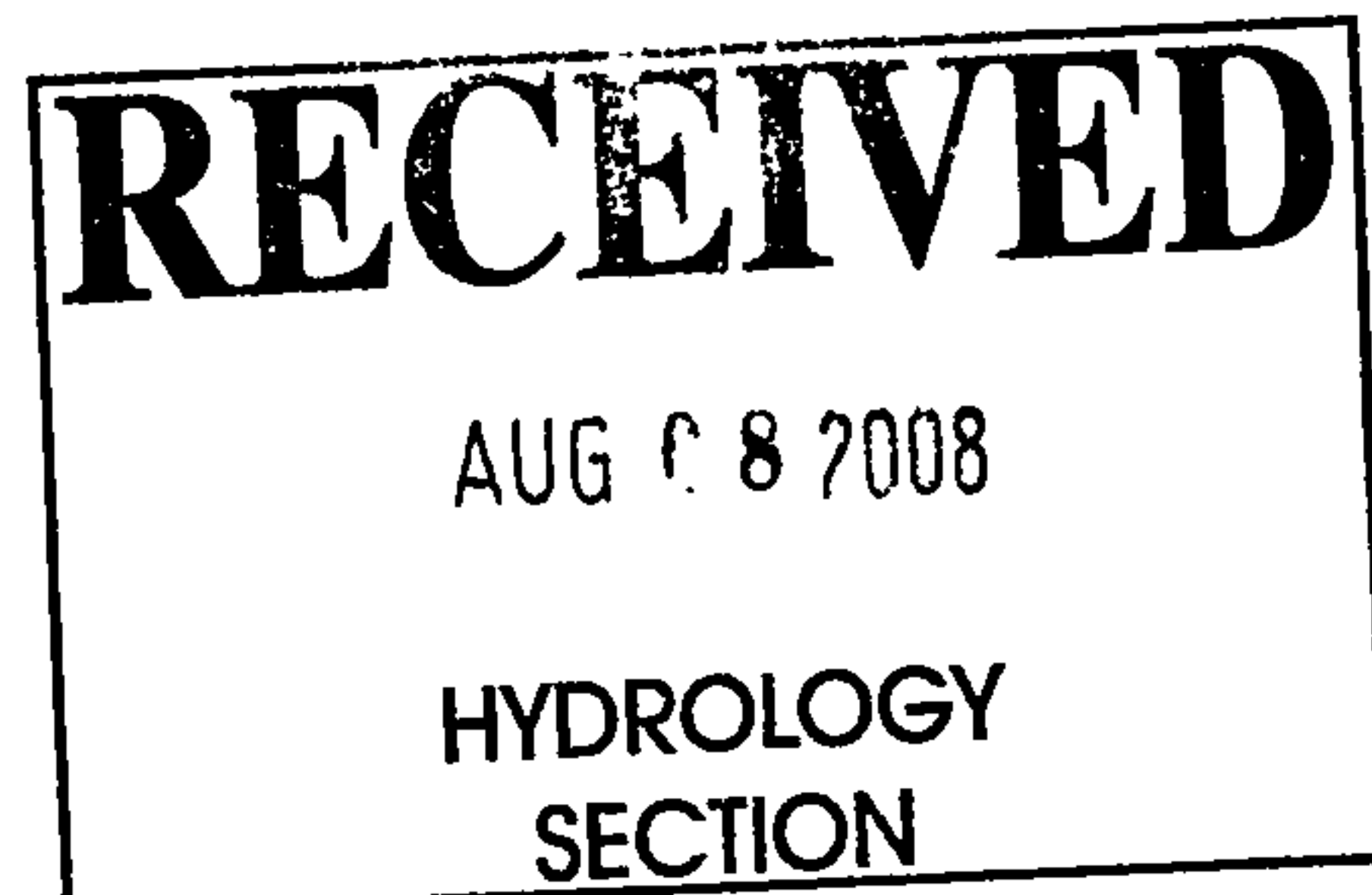
P. O. B O X 3 3 6 6
ALBUQUERQUE, NM 87190
T: (505) 281 - 9560
F: (505) 286 - 1055
C: (505) 259 - 7919
aktarch@earthlink.net

August 6, 2008

City of Albuquerque
Public Works Department
Transportation Development Services
600 2nd Street NW
Albuquerque, NM 87102

RE: Traffic Circulation Layout – Certification (Reply to City Letter dated July 18, 2008)
COA BP# 0709040
Advantage Barricade Office Building
2231 Phoenix Ave. NE
Albuquerque, NM 87107

The new building replaced an existing building on the existing developed site. The building pad is higher than normal in relation to the public sidewalk along Phoenix Ave. Therefore this project provided a connecting walk with steps in lieu of a wheel chair ramp. The Traffic Circulation Layout approval, dated June 12, 2007, was based upon this condition.



CITY OF ALBUQUERQUE



Planning Department
Transportation Development Services Section

July 18, 2008

Kent Trauernicht, Registered Architect,
AKT Architects, LLC
P.O. Box 3366
Albuquerque, NM 87190

Re: Approval of Temporary Certificate of Occupancy (C.O.) for
Advantage Barricade Office Building, [H-16 / D028B]
2231 Phoenix NE
Architect's Stamp Dated 06/30/08

Dear Mr. Trauernicht:

Based on the information provided on your submittal dated July 18, 2008, the above referenced project is approved for a 90-day Temporary C.O.

A Temporary C.O. has been issued allowing the outstanding sidewalk connection (sidewalk connection from street to onsite needs to be ADA accessible as approved by TCL Site Plan which is different from Site Plan submitted with note 26) issues to be completed within this time period. When these remaining issues have been fully completed, are in substantial compliance, and a final Certification for Transportation has been resubmitted to the City's Hydrology office for approval, a Permanent C.O. will be issued.

The Certification package for Final C.O. must include an exact copy of the approved TCL, or signed off D.R.B. Site Plan, which is in each of the two City Permit Plan Sets—the contractor's City field set and the City's plan set in the basement of the Plaza Del Sol building. Package also must include a letter of certification on designer's letterhead-stamped with his seal, signed, and dated. Submit package along with fully completed Drainage Information Sheet to front counter personnel for log in and evaluation by Transportation.

If you have any questions, please call me at 924-3630.

Sincerely,

Nilo Z. Salgado-Fernandez, P.E.
Senior Traffic Engineer
Development and Building Services
Planning Department

C. Engineer
Hydrology file
CO Clerk

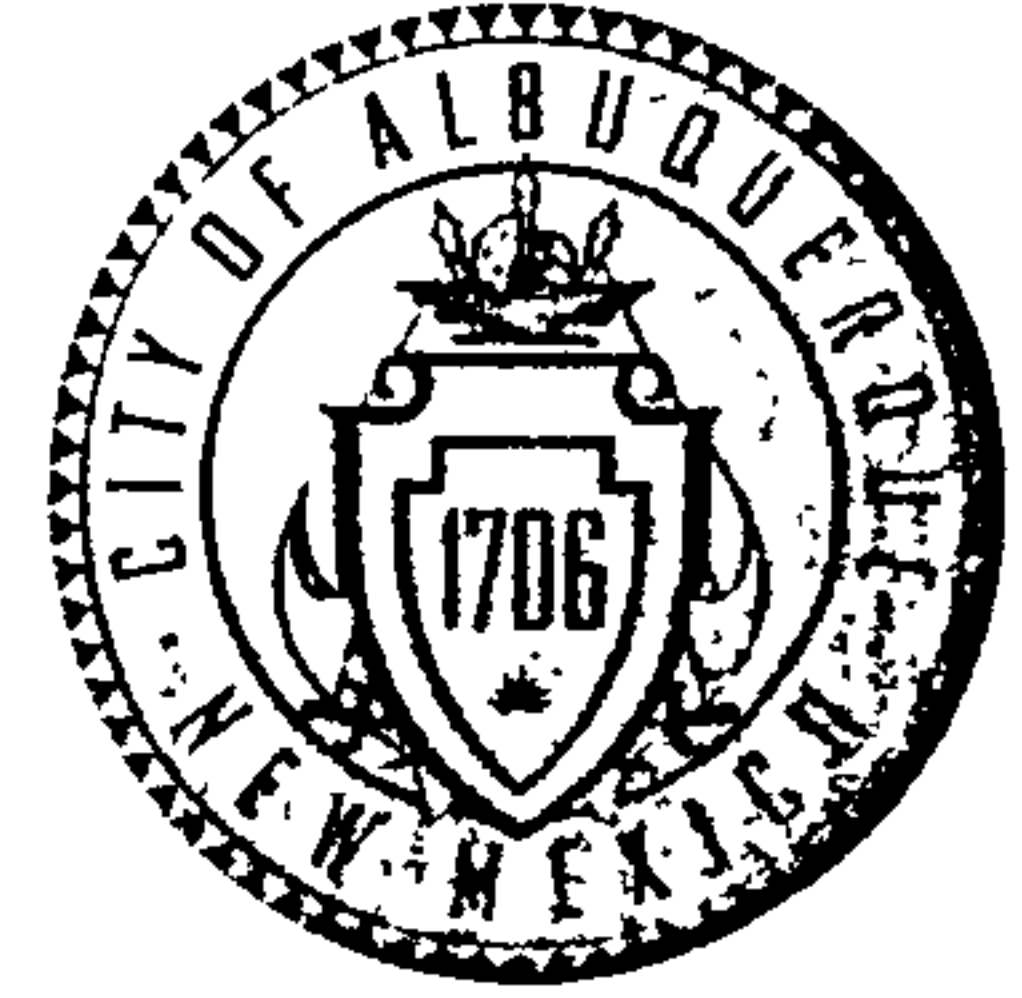
PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services Section**

July 18, 2008

Kent Trauernicht, Registered Architect,
AKT Architects, LLC
P.O. Box 3366
Albuquerque, NM 87190

Re: Approval of Temporary Certificate of Occupancy (C.O.) for
Advantage Barricade Office Building, [H-16 / D028B]
2231 Phoenix NE
Architect's Stamp Dated 06/30/08

Dear Mr. Trauernicht:

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If you have any questions, please call me at 924-3630.

Sincerely,


Nilo E. Salgado-Fernandez, P.E.
Senior Traffic Engineer
Development and Building Services
Planning Department

c. Engineer
Hydrology file
CO Clerk



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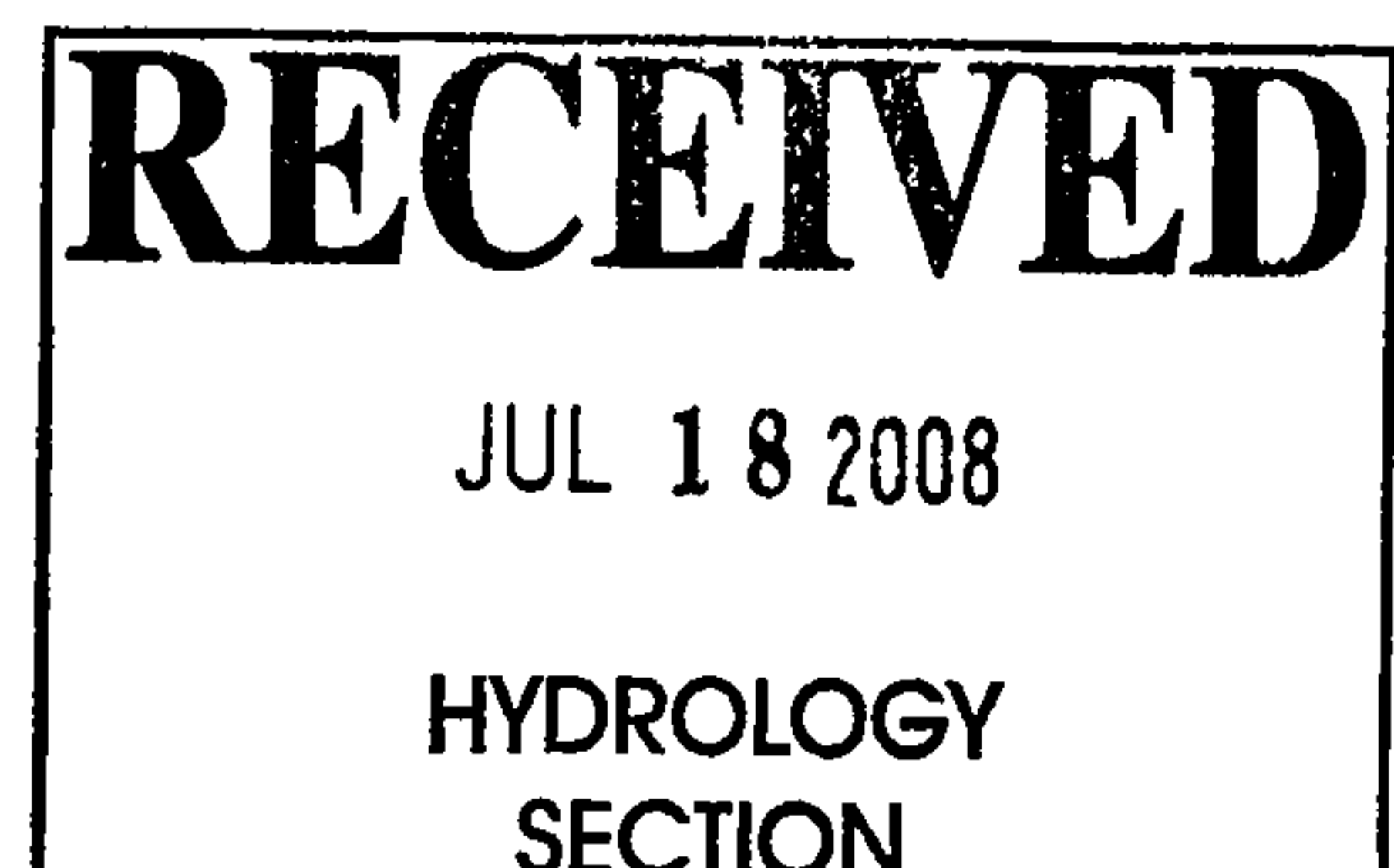
June 30, 2008

City of Albuquerque
Public Works Department
Transportation Development Services
600 2nd Street NW
Albuquerque, NM 87102

RE: Traffic Circulation Layout – Certification
COA BP# 0709040
Advantage Barricade Office Building
2231 Phoenix Ave. NE
Albuquerque, NM 87107

I have visited the completed project and to the best of my knowledge and information it appears to be in substantial compliance with the intent of the design concepts and the "Traffic Circulation Layout", as approved by the City, June 12, 07. Minor site changes may have occurred during the construction of this project but have no adverse impact to the site and its ability to comply with the approved plan. Those relying upon this record are advised to obtain independent verification of its accuracy before using it for any other purpose.

This document neither expresses nor implies a warranty.



DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 12/2005)

H-16/DOZ83

PROJECT TITLE: New Office for Advantage Barricade ZONE MAP: H-16-2
 DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: Parcel "Z-1-A" of Daskac Subdivision
 CITY ADDRESS: 2231 Phoenix Ave NE 87107

ENGINEERING FIRM: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

OWNER: Advantage Barricade CONTACT: Jim Key
 ADDRESS: 2231 Phoenix NE PHONE: 883-5114
 CITY, STATE: Alb. NM 87107 ZIP CODE: 87107

ARCHITECT: AKT Architects CONTACT: Kent Travernicht
 ADDRESS: PO Box 3366 PHONE: 281-9560
 CITY, STATE: Alb. NM 87190 ZIP CODE: 87190

SURVEYOR: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

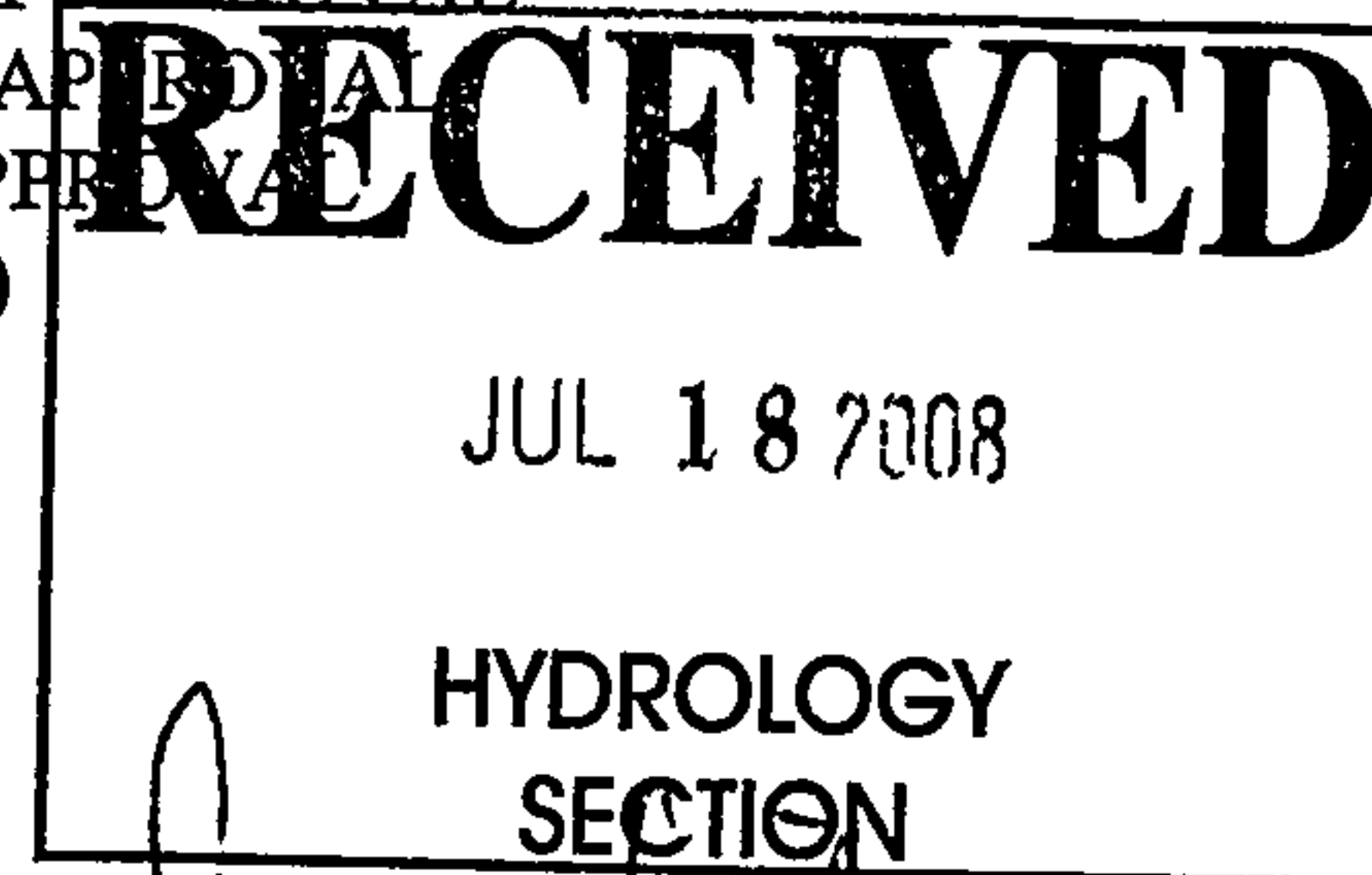
CONTRACTOR: Richardson & Richardson CONTACT: Jim Wilson
 ADDRESS: 4100 Main NE PHONE: 881-2268
 CITY, STATE: Alb. NM ZIP CODE: 87107

TYPE OF SUBMITTAL:
☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☒ TRAFFIC CIRCULATION LAYOUT
☐ ENGINEER'S CERT (TCL)
☐ ENGINEER'S CERT (DRB SITE PLAN)
☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL SOUGHT:
☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TEMP)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED:
☐ YES
☐ NO
☐ COPY PROVIDED

DATE SUBMITTED: 7.18.08 BY: James Wilson



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

CITY OF ALBUQUERQUE



June 12, 2007

Kent Trauernicht, R.A.
AKT Architects
P.O. Box 3366
Albuquerque, NM 87190

Re: Advantage Office Building, 2231 Phoenix Avenue NE, Traffic Circulation Layout
Architect's Stamp dated 6-12-07 (H16-D28B)

Dear Mr. Trauernicht,

The TCL submittal received 6-12-07 is approved for Building Permit. The plan is stamped and signed as approved. A copy of this plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation. **Public infrastructure or work done within City Right-of-Way shown on these plans is for information only and is not part of approval. A separate DRC and/or other appropriate permits are required to construct these items.**

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

If a temporary CO is needed, a copy of the original TCL that was stamped as approved by the City will be needed. This plan must include a statement that identifies the outstanding items that need to be constructed or the items that have not been built in "substantial compliance," as well as the signed and dated stamp of a NM registered architect or engineer. Submit this TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

When the site is completed and a final C.O. is requested, use the original City stamped approved TCL for certification. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3306.

Sincerely,

Kristal D. Metro, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: File

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(Rev. 12/2005)

PROJECT TITLE: Advantage Office Building ZONE MAP/DRG. FILE # H-16-Z
DRB#: N/A EPC#: N/A WORK ORDER#: _____

LEGAL DESCRIPTION: Parcel Z-1-A Daskay Subdivision
CITY ADDRESS: 2231 Phoenix Av NE 87107

ENGINEERING FIRM: _____
ADDRESS: _____
CITY, STATE: _____
CONTACT: _____
PHONE: _____
ZIP CODE: _____

OWNER: Advantage Barricade
ADDRESS: 2231 Phoenix Av NE
CITY, STATE: Albuquerque
CONTACT: Jim Key
PHONE: 934-1851
ZIP CODE: 87107

ARCHITECT: AKT Architects
ADDRESS: 55 Camino Del Senador
CITY, STATE: Tijeras
CONTACT: Kent Trauernicht
PHONE: 281-9560
ZIP CODE: 87059

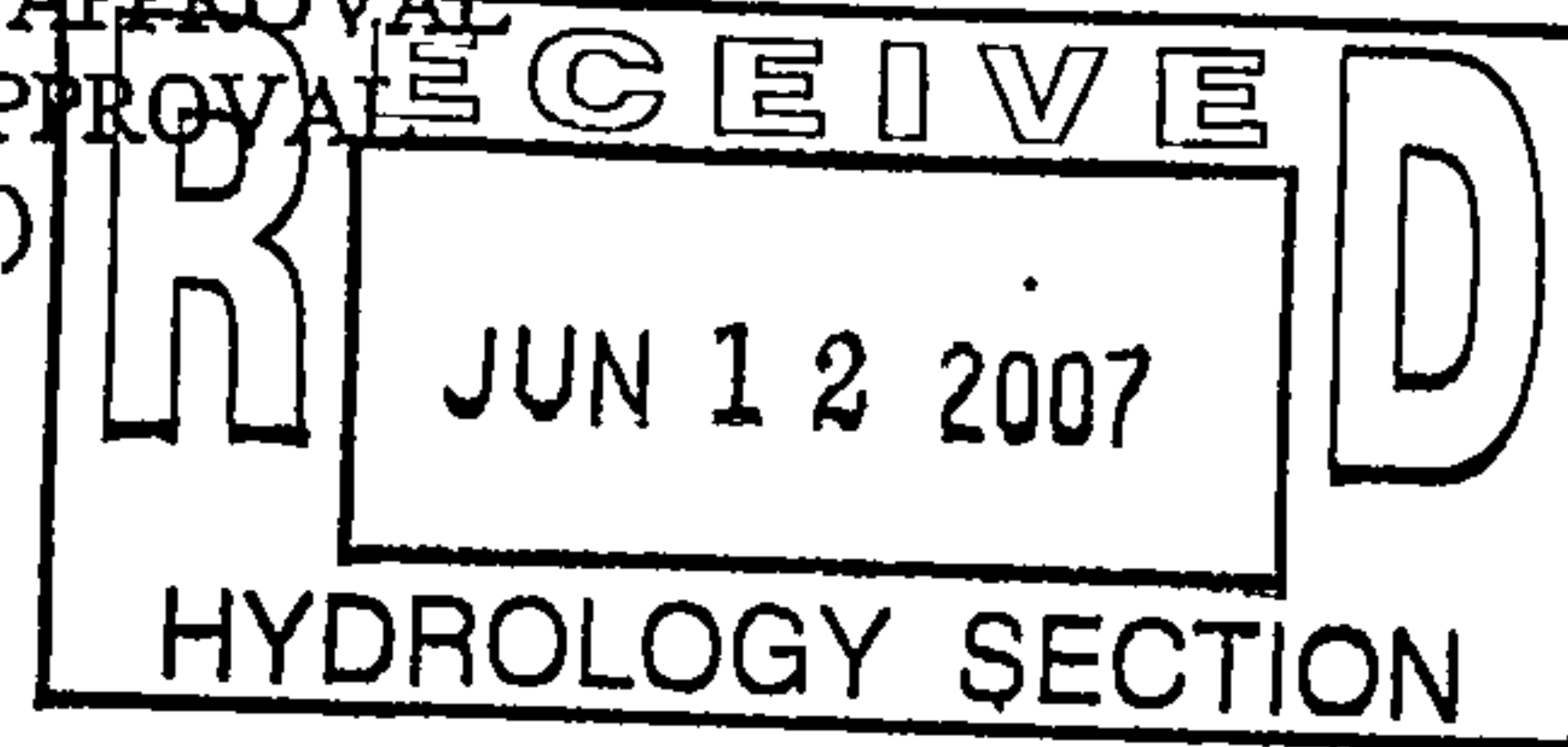
SURVEYOR: _____
ADDRESS: _____
CITY, STATE: _____
CONTACT: _____
PHONE: _____
ZIP CODE: _____

CONTRACTOR: _____
ADDRESS: _____
CITY, STATE: _____
CONTACT: _____
PHONE: _____
ZIP CODE: _____

TYPE OF SUBMITTAL:
☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☒ X TRAFFIC CIRCULATION LAYOUT
☐ ENGINEER'S/ARCHITECT'S CERT (TCL)
☐ ENGINEER'S CERT (DRB SITE PLAN)
☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:
☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TEMP)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED:
☒ X YES
☐ NO
☐ COPY PROVIDED



SUBMITTED BY: Kent Trauernicht DATE: June 12 2007

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. Drainage Report: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

CITY OF ALBUQUERQUE



June 27, 2008

Shahab Biazar, P.E.
Advanced Engineering & Consulting, LLC
4416 Anaheim Avenue NE
Albuquerque, NM 87113

**Re: Advantage Office Building, 2231 Phoenix Ave. NE,
(H-16/D028B)**

Approval of Permanent Certificate of Occupancy,

Engineer's Stamp Dated: 6-19-07

Certification dated: 7-01-2008

Mr. Biazar:

PO Box 1293

Based upon the information provided in your submittal received 7/01/08, the above referenced certification is approved for Permanent Certificate of Occupancy release by Hydrology.

Albuquerque

If you have any questions, you can contact me at 924-3982.

NM 87103

Sincerely,

Timothy E. Sims
Plan Checker-Hydrology, Planning Dept
Development and Building Services

www.cabq.gov

C: CO Clerk--Katrina Sigala
file

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(Rev. 12/05)

PROJECT TITLE: 2231 PHOENIX AVENUE N.E. ZONE ATLAS/DRG. FILE #: H16 / D28B
DRB #: _____ EPC #: _____ WORK ORDER #: _____

LEGAL DESCRIPTION: PARCEL "Z-1-A" OF DASKAY SUBDIVISION
CITY ADDRESS: 2231 PHOENIX AVE NE 87107

ENGINEERING FIRM: Advanced Engineering and Consulting, LLC CONTACT: Shahab Biazar
ADDRESS: 4416 Anaheim Ave., NE PHONE: (505) 899-5570
CITY, STATE: Albuquerque, New Mexico ZIP CODE: 87113

OWNER: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

ARCHITECT: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

SURVEYOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

CONTRACTOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1ST SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☒ ENGINEER'S CERTIFICATION (HYDROLOGY)
☐ CLOMR / LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ ENGINEER/ARCHITECT CERT (TCL)
☐ ENGINEER/ARCHITECT CERT (DRB S.P.)
☐ ENGINEER/ARCHITECT CERT (AA)
☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL SOUGHT:

☐ SIA / FINANCIAL GUARANTEE RELEASE
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☐ S. DEV. PLAN FOR SUB'D. APPROVAL
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
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☐ CERTIFICATE OF OCCUPANCY (TEMP.)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY) _____

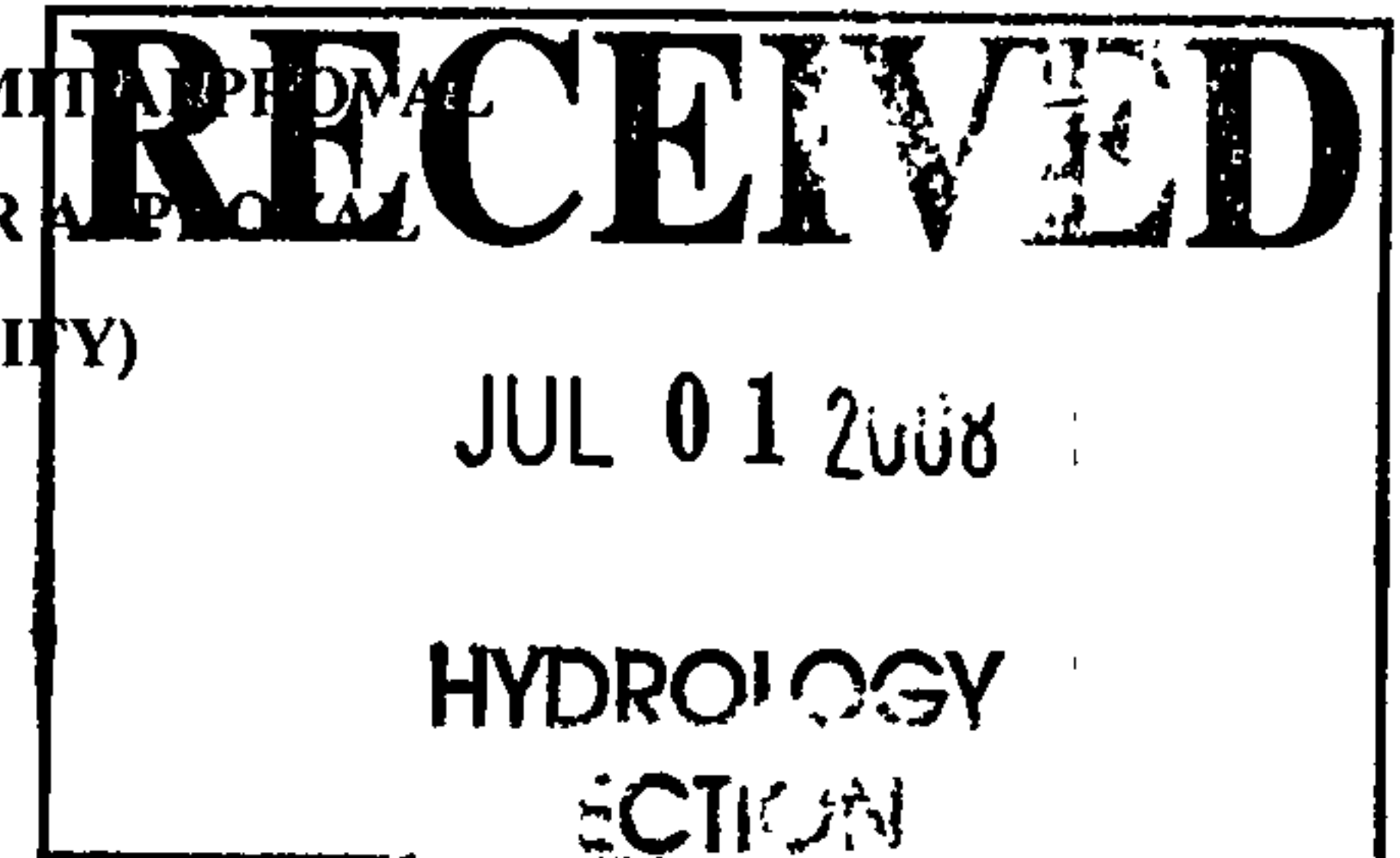
WAS A PRE-DESIGN CONFERENCE ATTENDED:

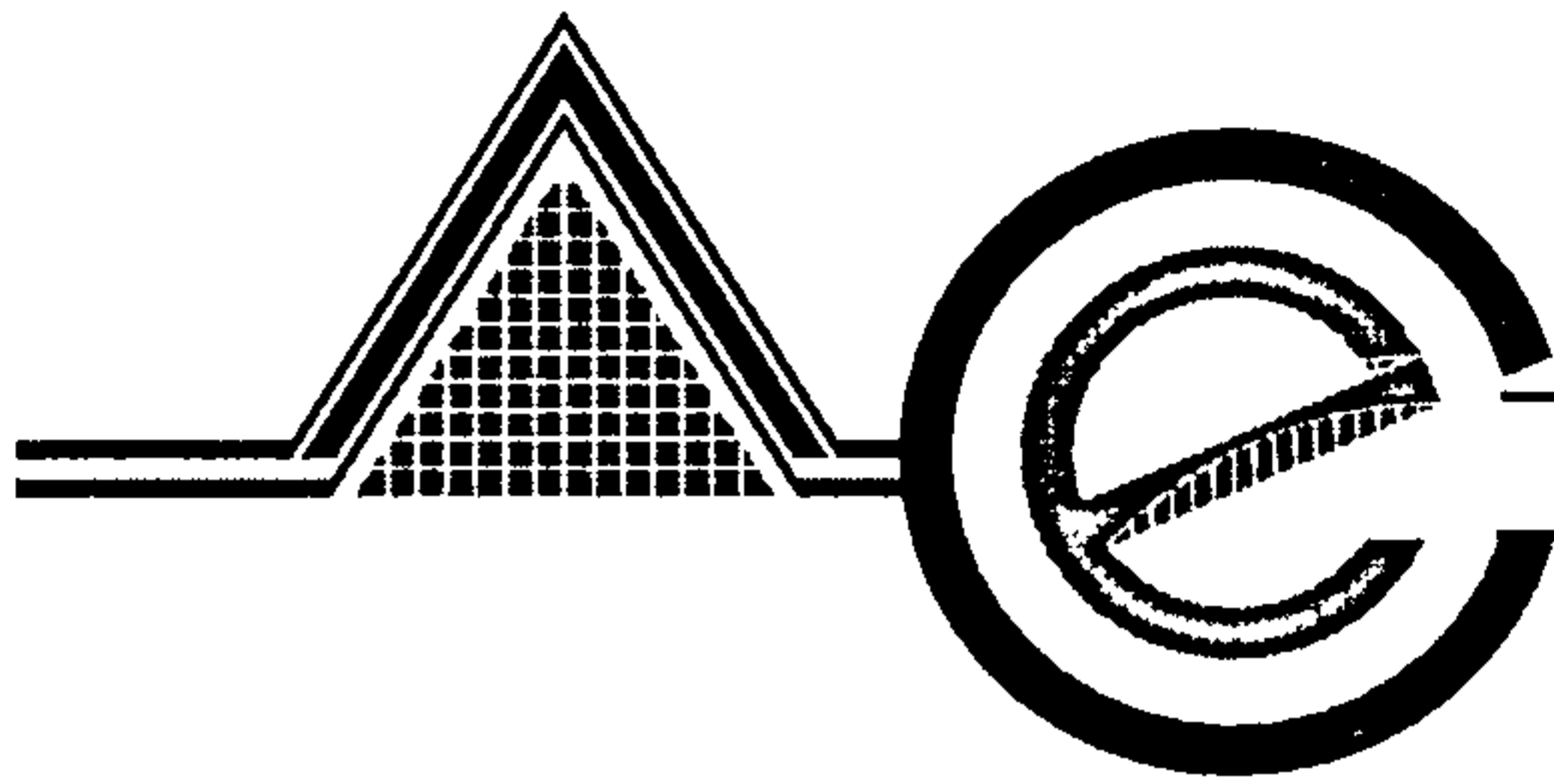
☐ YES
☒ NO
☐ COPY PROVIDED

DATE SUBMITTED: 07 / 01 / 2008 BY: Shahab Biazar, P.E.

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittals may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5).
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or containing five (5) acres or more.





ADVANCED ENGINEERING and CONSULTING, LLC

*Consulting
Design
Development
Management
Inspection
Surveying*

July 1, 2008

Mr. Bradley L. Bingham, P.E.
Sr. Engineer, Planning Dept.
Development and Building Services
600 Second Street NW
Albuquerque, New Mexico 87102

RE: FINAL CERTIFICATION OF OCCUPANCY FOR 2231 PHOENIX AVENUE N.E.
(H16/D28B)

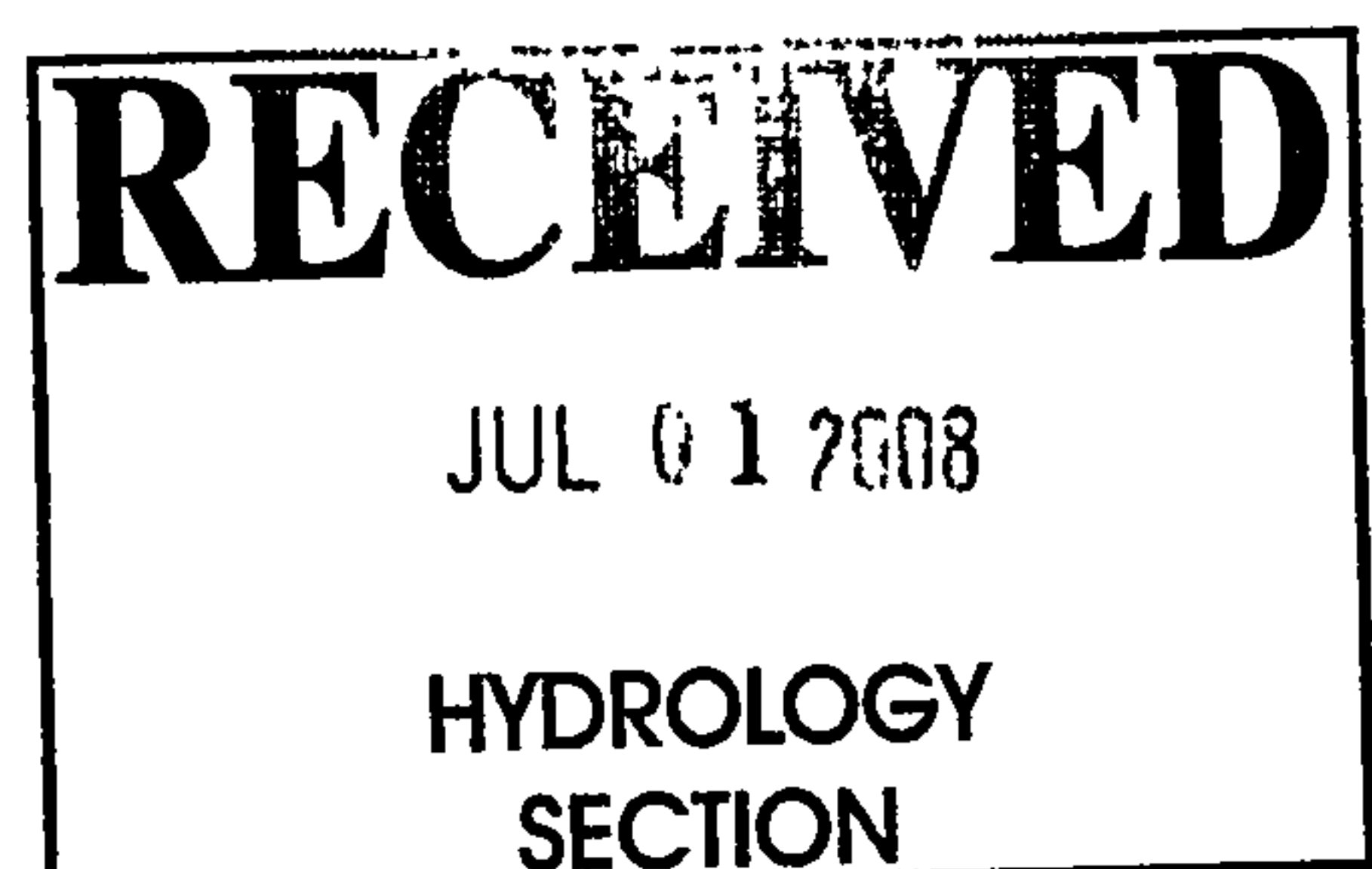
Dear Mr. Bingham:

This letter is in request of Final Certification of Occupancy for the above mentioned project. I Shahab Biazar, NMPE, of the Advanced Engineering, LLC hereby certify that project has been graded and will drain in substantial compliance with and design intent of the approved plan dated 06/19/2007. See enclosed plan for as-built grades.

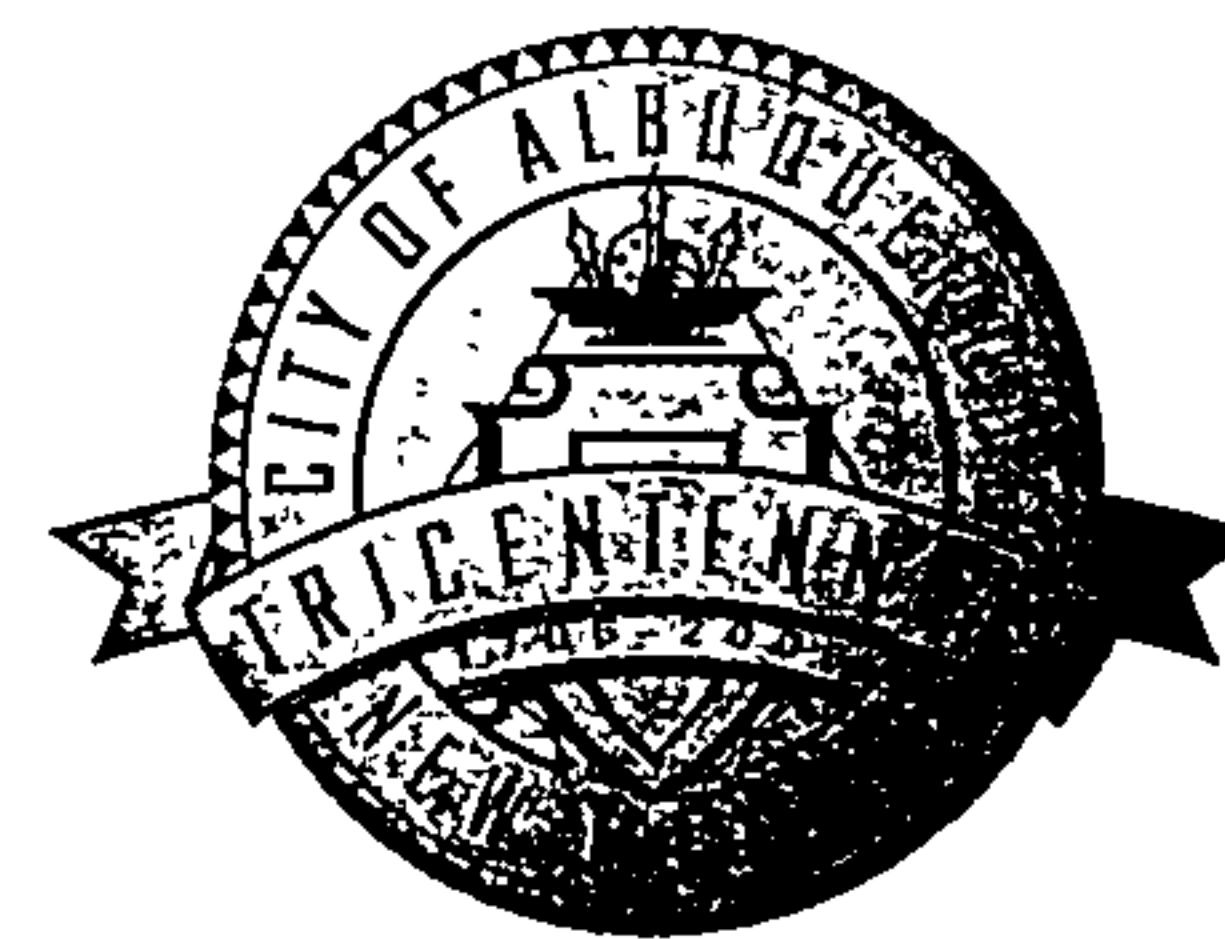
Please contact me if there are any questions or concerns regarding this submittal.

Sincerely yours,

Shahab Biazar, P.E.



CITY OF ALBUQUERQUE



July 20, 2007

Shahab Biazar PE
Advanced Engineering and Consulting
4416 Anaheim Ave NE
Albuquerque, NM 87113

**Re: Advantage Office Building Grading and Drainage Plan
Engineer's Stamp dated 6-19-07 (H16/D28B)**

Dear Mr. Biazar,

P.O. Box 1293

Based upon the information provided in your submittal dated 6-20-07, the above referenced report is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

Albuquerque

Also, prior to Certificate of Occupancy release, Engineer Certification of the grading plan per the DPM checklist will be required.

New Mexico 87103

If you have any questions, you can contact me at 924-3986.

www.cabq.gov

Sincerely,

Bradley L. Bingham, PE
Principal Engineer, Planning Dept.
Development and Building Services

C: file

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(Rev. 12/05)

PROJECT TITLE: 2231 PHONIX AVENUE N.E. PHONIX AVE. ADVANTAGE ZONE ATLAS/DRG. FILE #: H16 128B
DRB #: _____ EPC #: OFFICE BLDG. WORK ORDER #: _____

LEGAL DESCRIPTION: PARCEL "Z-1-A" OF DASKAY SUBDIVISIONCITY ADDRESS: 5012231 PHONIX AVE NE 87107ENGINEERING FIRM: Advanced Engineering and Consulting, LLCADDRESS: 4416 Anaheim Ave., NECITY, STATE: Albuquerque, New MexicoCONTACT: Shahab BiazarPHONE: (505) 899-5570ZIP CODE: 87113

OWNER: _____

ADDRESS: _____

CITY, STATE: _____

CONTACT: _____

PHONE: _____

ZIP CODE: _____

ARCHITECT: _____

ADDRESS: _____

CITY, STATE: _____

CONTACT: _____

PHONE: _____

ZIP CODE: _____

SURVEYOR: _____

ADDRESS: _____

CITY, STATE: _____

CONTACT: _____

PHONE: _____

ZIP CODE: _____

CONTRACTOR: _____

ADDRESS: _____

CITY, STATE: _____

CONTACT: _____

PHONE: _____

ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

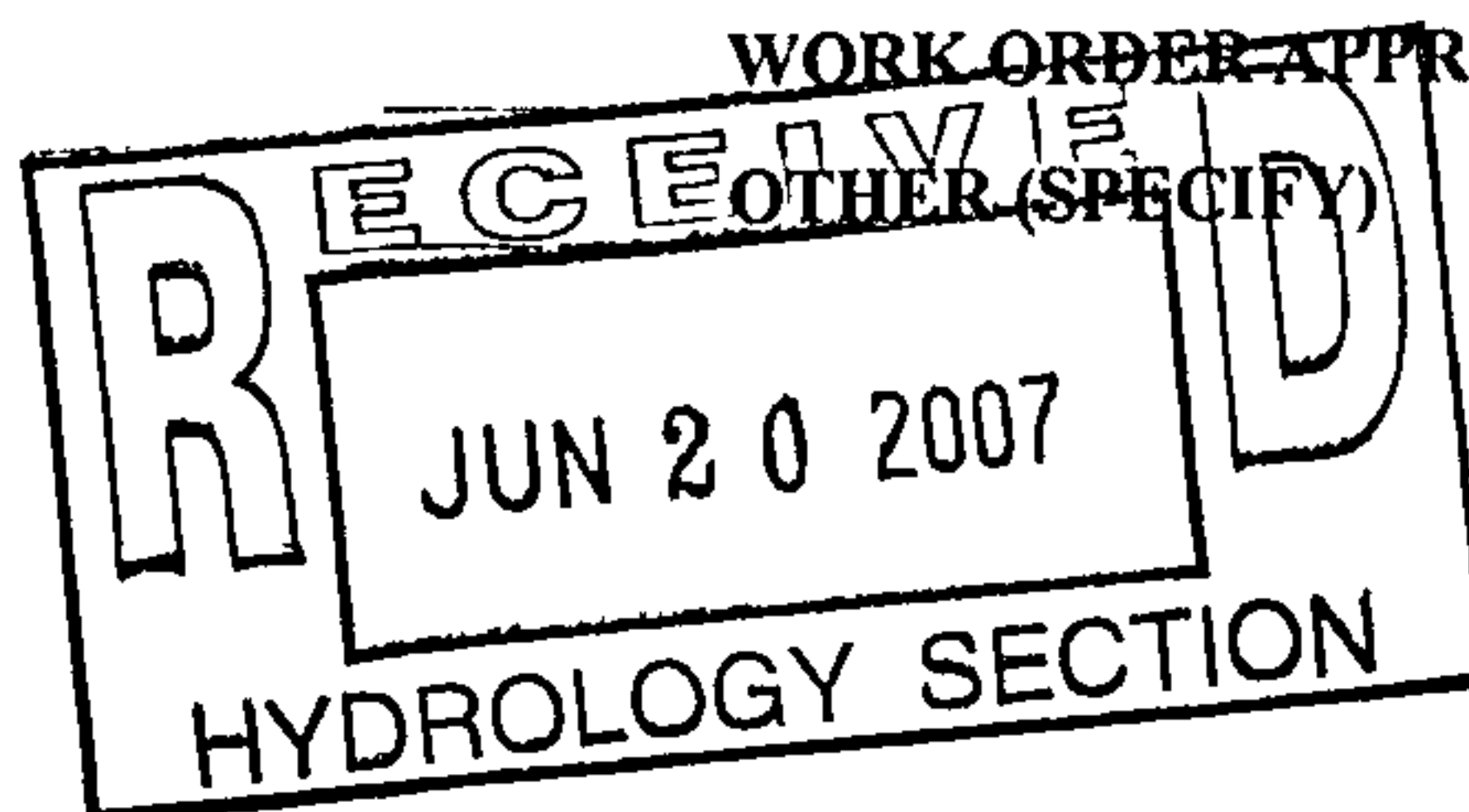
- ☒ DRAINAGE REPORT
☒ DRAINAGE PLAN 1ST SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☒ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
☐ CLOMR / LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ ENGINEER/ARCHITECT CERT (TCL)
☐ ENGINEER/ARCHITECT CERT (DRB S.P.)
☐ ENGINEER/ARCHITECT CERT (AA)
☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
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☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM.)
☐ CERTIFICATE OF OCCUPANCY (TEMP.)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
☒ NO
☐ COPY PROVIDED

DATE SUBMITTED: 06 / 19 / 2007 BY: Shahab Biazar, P.E.

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittals may be required based on the following:

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2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5).
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or containing five (5) acres or more.

ONE STOP SHOP
CITY OF ALBUQUERQUE PLANNING DEPARTMENT
Development & Building Services

PAID RECEIPT

APPLICANT NAME Daskav Subd.
AGENT Advanced Engineering & Consulting, LLC
ADDRESS 4416 Anaheim Ave NE.
PROJECT & APP # _____
PROJECT NAME _____

\$ _____ 441032/3424000 Conflict Management Fee
\$ _____ 441006/4983000 DRB Actions
\$ _____ 441006/4971000 EPC/AA/LUCC Actions & All Appeals
\$ _____ 441018/4971000 Public Notification
\$ 50.⁰⁰ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY***
() Major/Minor Subdivision () Site Development Plan () Bldg Permit
() Letter of Map Revision () Conditional Letter of Map Revision
() Traffic Impact Study
\$ 50.⁰⁰ TOTAL AMOUNT DUE

***NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.

SECURITY WARNING: THE FACE OF THIS DOCUMENT FEATURES A COLORED BACKGROUND AND MICROPRINT BORDERS - THE REVERSE SIDE FEATURES ARTIFICIAL WATERMARKS



ADVANCED
ENGINEERING
and CONSULTING, LLC
4416 ANAHEIM AVENUE, NE
ALBUQUERQUE, NM 87113
(505) 899-5570

NEW MEXICO BANK & TRUST
P.O. BOX 1048
ALBUQUERQUE, NM 87103
(505) 830-8100

PAY TO THE
ORDER OF City of Albuquerque

Fifty and 00/100

City of Albuquerque
P.O. Box 17
Albuquerque, NM 87103-0017

DATE

6/20/2007

\$ **50.00

DOLLARS

MEMO 720-DRN fee

107006541 613 407 61 5494

City Of Albuquerque
Treasury Division

6/20/2007	11:50AM	LOC: ANNX
RECEIPT# 00077255	WS# 008	TRANS# 0027
Account 441006	Fund 0110	
Activity 4983000	TRSDMG	
Trans Amt	\$50.00	
J24 Misc		\$50.00
CK		\$50.00
CHANGE		\$0.00

Thank You

CITY OF ALBUQUERQUE



May 17, 2007

Kent Trauernicht, R.A.
AKT Architects
P.O. Box 3366
Albuquerque, NM 87190

**Re: Advantage Office Building, 2231 Phoenix Avenue NE,
Traffic Circulation Layout
Architect's Stamp dated 5-07-07 (H16-D28B)**

Dear Mr. Trauernicht,

Based upon the information provided in your submittal received 5-08-07, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. Please show the location of the nearest driveway on the adjacent lot.
2. Please refer to the correct zone atlas page on the vicinity map.
3. The drivepad must comply with all current ADA standards. All driveways must have a 3-foot wide pedestrian access path. This path must have a cross slope of no greater than 2%. In addition, all wheelchair ramps located within the public right of way must have truncated domes.
4. Include two copies of the traffic circulation layout at the next submittal.

If you have any questions, you can contact me at 924-3981.

Sincerely,

Kristal D. Metro, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: File

H-16/D28B

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(Rev. 12/2005)

PROJECT TITLE: Advantage Office Building ZONE MAP/DRG. FILE #: C-16-Z
DRB#: N/A EPC#: N/A WORK ORDER#: _____

LEGAL DESCRIPTION: Parcel 7-1-A Daskay Subdivision
CITY ADDRESS: 2231 Phoenix Av NE 87107

ENGINEERING FIRM: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

OWNER: Advantage Barricade
ADDRESS: 2231 Phoenix Av NE
CITY, STATE: Albuquerque

CONTACT: Jim Key
PHONE: 934-1851
ZIP CODE: 87107

ARCHITECT: AKT Architects
ADDRESS: 55 Camino Del Senador
CITY, STATE: Tijeras

CONTACT: Kent Trauernicht
PHONE: 281-9560
ZIP CODE: 87059

SURVEYOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CONTRACTOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

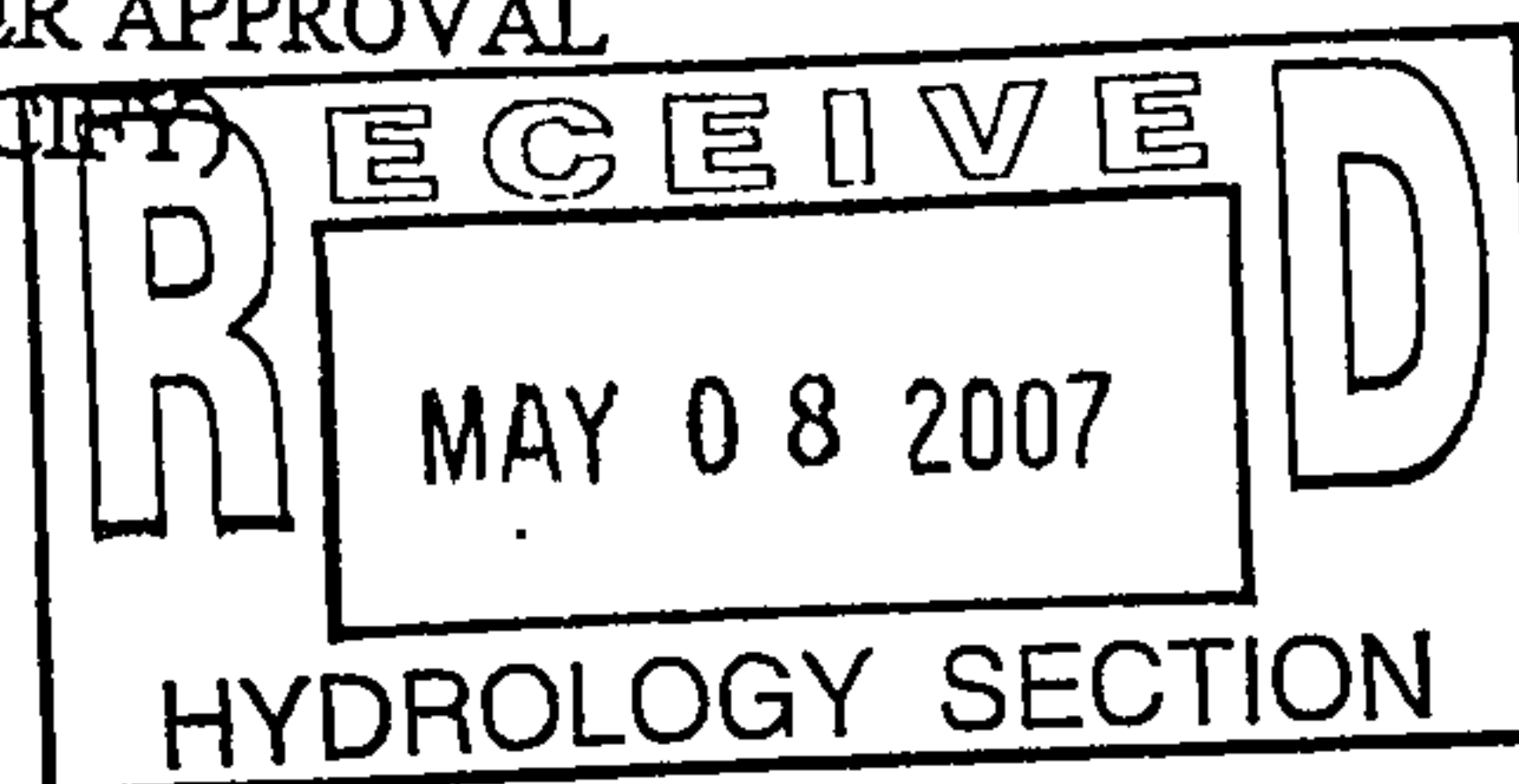
TYPE OF SUBMITTAL:
☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☒ TRAFFIC CIRCULATION LAYOUT
☐ ENGINEER'S/ARCHITECT'S CERT (TCL)
☐ ENGINEER'S CERT (DRB SITE PLAN)
☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:
☐ SLA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☒ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TEMP)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY)

REFERENCE
CORRECT
ZONE MAP

WAS A PRE-DESIGN CONFERENCE ATTENDED:

☒ YES
☐ NO
☐ COPY PROVIDED



SUBMITTED BY: Kent Trauernicht

DATE: May 8, 2007

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

NOTE

8. DIMENSION SW WIDTH

10. WHICH SPECIFICATION? ADD NOTE: ALL W.C. RAMPS W/ ROW. TO INCLUDE TRUNCATED DORIES.

11, 13 - ENSURE ADA ACCESS IS MAINTAINED ACROSS DRIVE.
"3' @ 2% CROSS SLOPE"

DEFINE WIDTHS OF PARKING STALLS.

SHOW DRIVE PADS TO WEST OF SITE.



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

October 20, 1992

W. Reed Edgel
Rodriguez & Associates
12800 San Juan NE
Albuquerque, NM 87123

RE: REVISED DRAINAGE PLAN FOR JANICO OFFICES (H16-D28B) ENGINEER'S
STAMP DATED 10/15/92.

Dear Mr. Edgel:

Based on the information provided on your October 16, 1992 resubmittal, the
above referenced site is approved for Building Permit.

Please attach a copy of this approved plan to the construction sets prior to
sign-off by Hydrology.

If I can be of further assistance, please feel free to contact me at 768-2667.

Sincerely,

Bernie J. Montoya, CE
Engineering Assistant

BJM/d1/WPHYD/3716

xc: Alan Martinez
File:

PUBLIC WORKS DEPARTMENT

DRAINAGE INFORMATION SHEET

PROJECT TITLE: JANICO ZONE ATLAS/DRNG. FILE #: H-16/28B
DRB #: _____ EPC #: _____ WORK ORDER #: _____
LEGAL DESCRIPTION: PARCEL "Z-1-A", DASKAY SUBDIVISION
CITY ADDRESS: 2231 PHOENIX AVENUE N.E. CITY
ENGINEERING FIRM: W. REED EDGEL, P.E. CONTACT: MR. EDGEL
ADDRESS: 601 VASSAR N.E. 87106 PHONE: 255-2675
OWNER: JANICO CONTACT: MR. GINERIS
ADDRESS: 2231 PHOENIX AVE. N.E. PHONE: 263-6399
ARCHITECT: ? CONTACT: _____
ADDRESS: _____ PHONE: _____
SURVEYOR: TORRES SURVEYING CO. CONTACT: MR. JIM TORRES
ADDRESS: 1570 BRIDGE BLVD. S.W. PHONE: 291-7085
CONTRACTOR: HILL CONSTRUCTION CO. CONTACT: LARRY HILL
ADDRESS: ? PHONE: 344-9070

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT
☒ DRAINAGE PLAN
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERTIFICATION
☐ OTHER

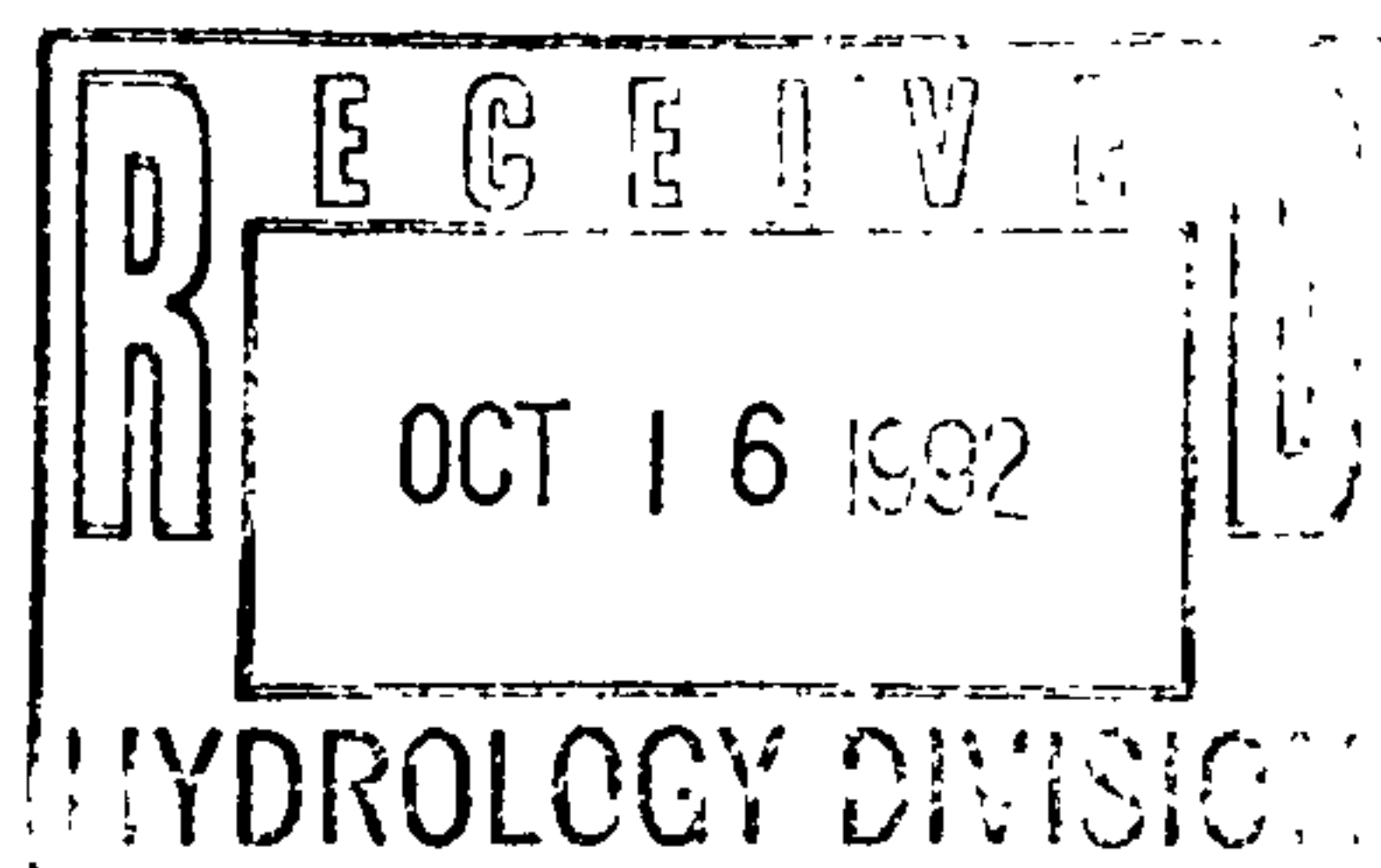
PRE-DESIGN MEETING:

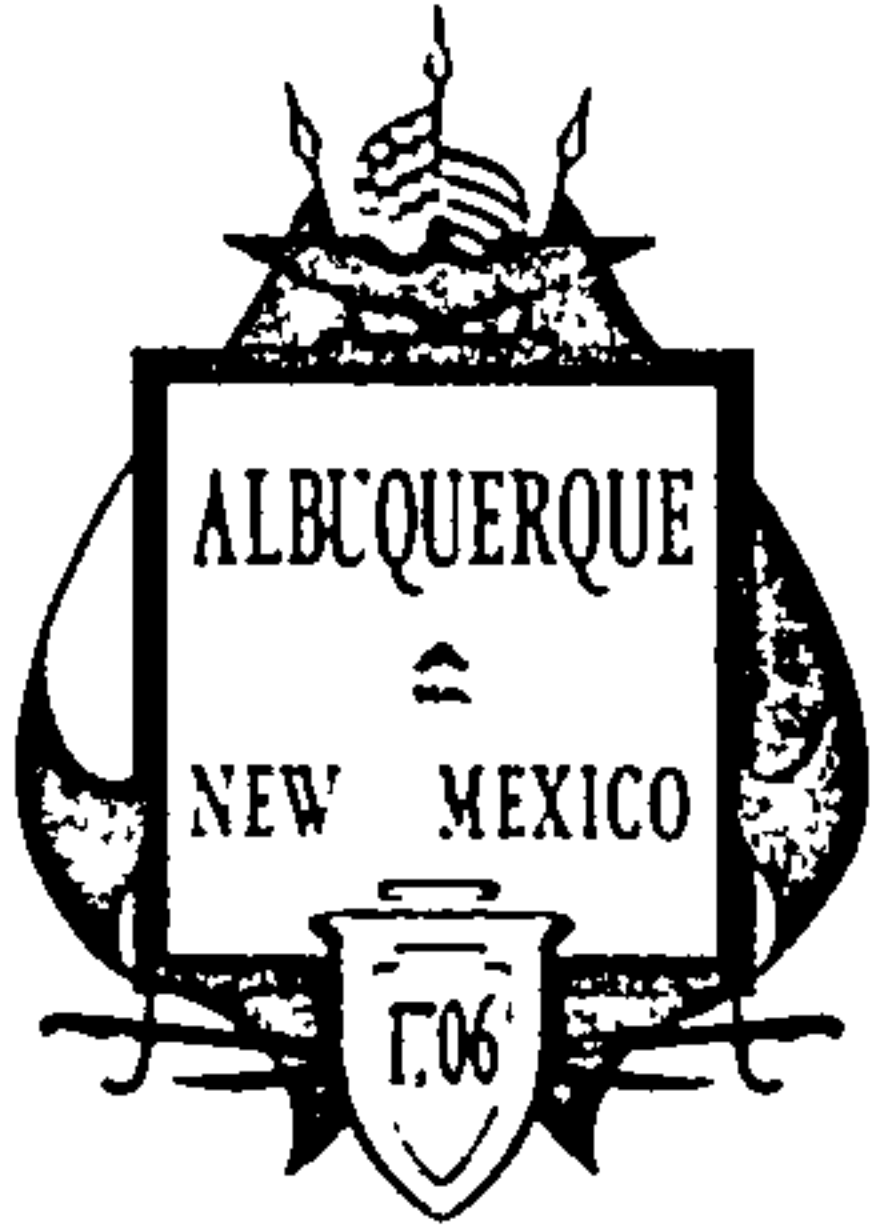
☒ YES
☐ NO
☐ COPY PROVIDED

CHECK TYPE OF APPROVAL SOUGHT:

☐ SKETCH PLAT APPROVAL
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D. APPROVAL
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY APPROVAL
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ S.A.D. DRAINAGE REPORT
☐ DRAINAGE REQUIREMENTS
☐ OTHER _____ (SPECIFY)

DATE SUBMITTED: OCT. 15, 1992
BY: W. REED EDGEL, P.E.





City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

September 15, 1992

W.Reed Edgel
Rodriguez & Associates
12800 San Juan NE
Albuquerque, New Mexico 87123

RE: DRAINAGE PLAN FOR JANICO OFFICES
(H-16/D28B) ENGINEER'S STAMP DATED SEPTEMBER 8, 1992

Dear Mr. Edgel:

Based on the information provided on your September 4, 1992 resubmittal, the above referenced site is approved for Building Permit.

Please attach a copy this approved plan to the construction sets prior to sign off by Hydrology.

If I can be of further assistance, please feel free to contact me at 768-2667.

Sincerely,

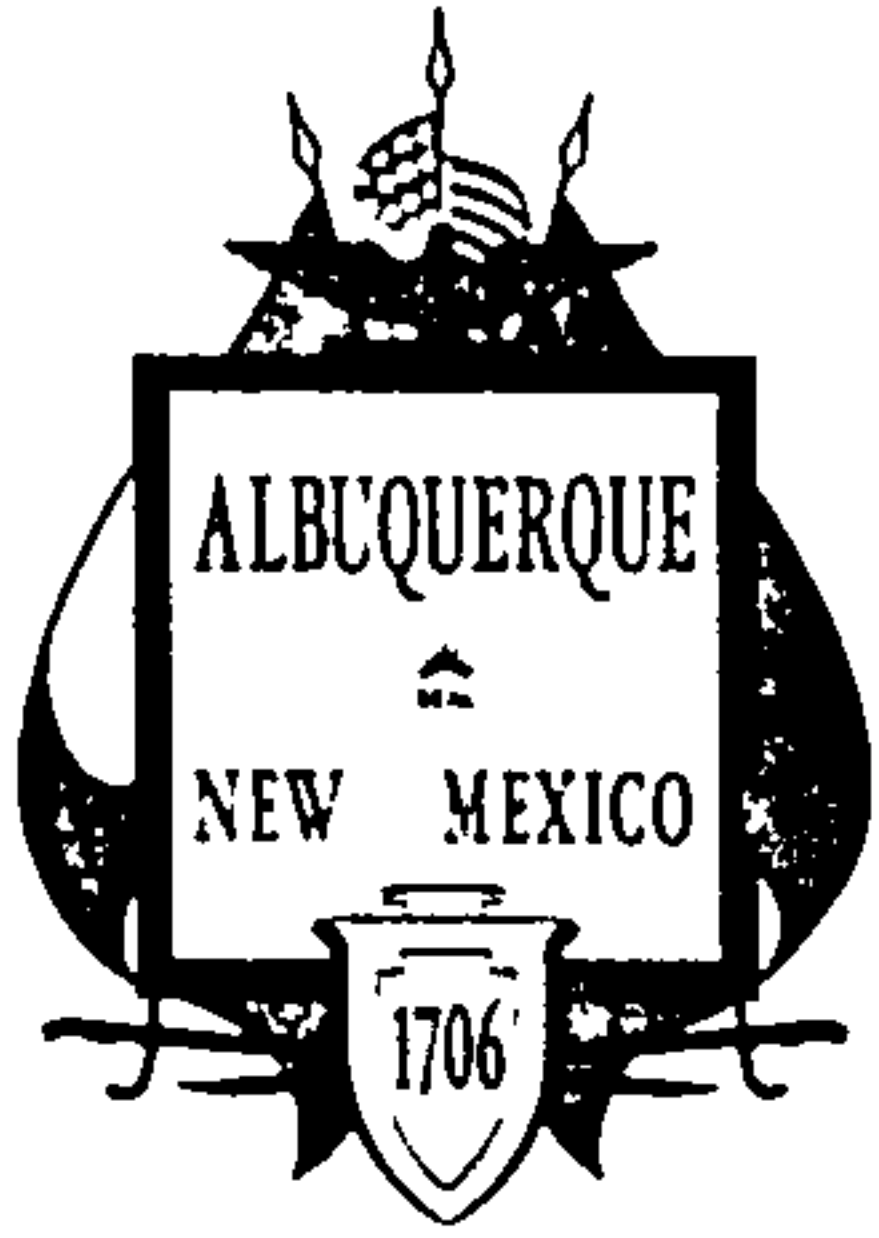
Bernie J. Montoya

Bernie J. Montoya, C.E.
Engineering Assistant

BJM/ses/WPHYD3536

cc: Alan Martinez
File

PUBLIC WORKS DEPARTMENT



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

August 20, 1992

W. Reed Edgel
Rodriguez & Associates
12800 San Juan NE
Albuquerque, New Mexico 87123

RE: DRAINAGE PLAN FOR JANICO OFFICES
(H-16/D28B) ENGINEER'S STAMP DATED JULY 31, 1992

Dear Mr. Edgel:

Based on the information provided on your August 13, 1992 submittal, the above referenced site is approved for Building Permit.

Please attach a copy this approved plan to the construction sets prior to sign off by Hydrology.

If I can be of further assistance, please feel free to contact me at 768-2667.

Sincerely,

Bernie J. Montoya

Bernie J. Montoya, C.E.
Engineering Assistant

BJM/ses/WPHYD3536

cc: Alan Martinez
File

PUBLIC WORKS DEPARTMENT