

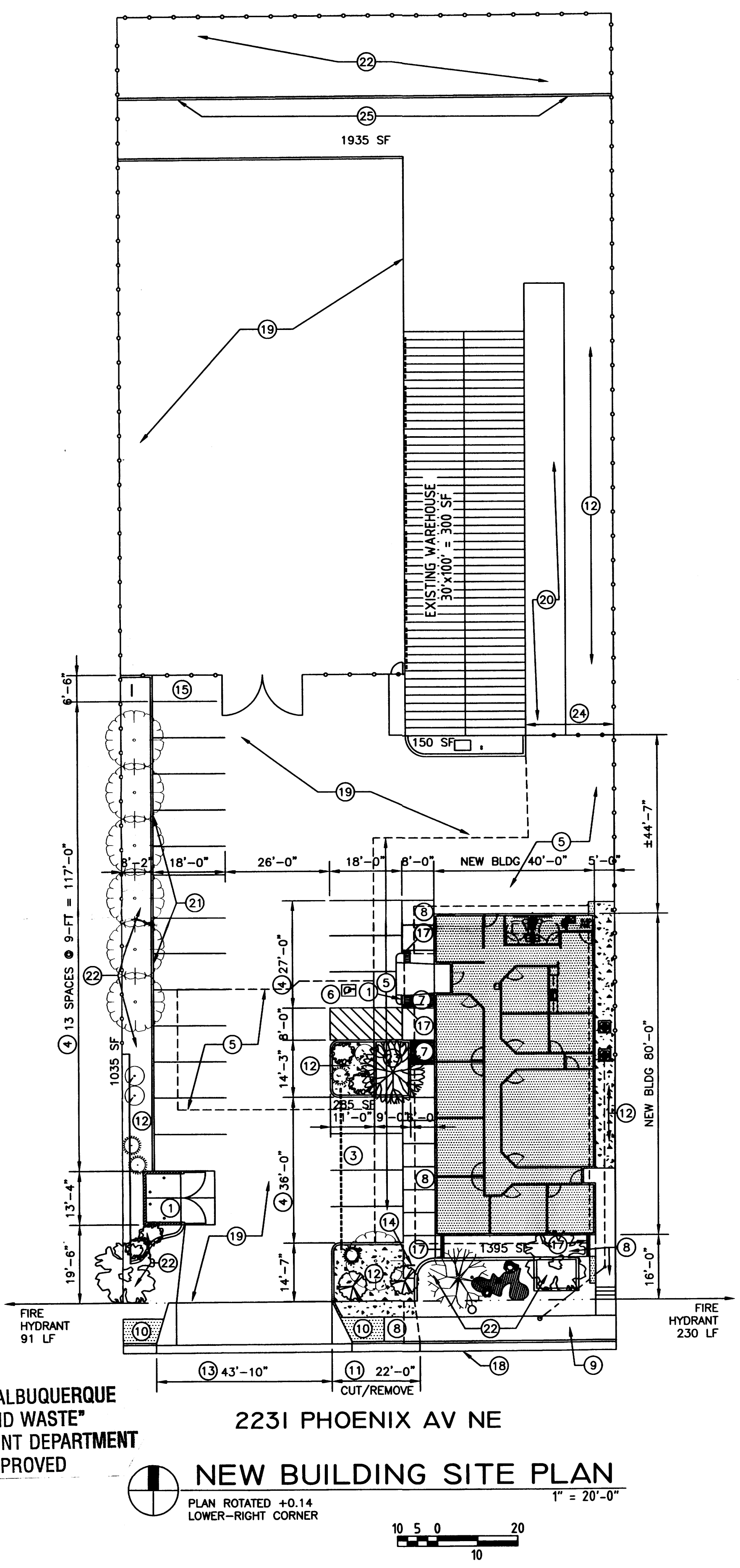
- GENERAL NOTES**
1. Provide cuts in curbing and landscape drainage swales as required by the grading and drainage plan.
  2. All earthwork and site preparation shall comply with the GRADING AND DRAINAGE PLAN.
  3. Contractor shall remove all existing site improvements, utilities, excavated and plant materials, and shall dispose of them as required by the plans and specs.
  4. All exterior concrete shall be 3000 PSI @ 28 days.

- LANDSCAPE NOTES:**
1. ALL LANDSCAPE EDGING SHALL STEEL PREFINISHED GREEN, 1/8" X 4" WITH ACCESSORIES AS REQ'D.
  2. ALL PLANTERS OR PLANTED AREAS SHALL BE FILLED SO THAT THE ROCK MULCH IS FLUSH WITH THE TOP OF ADJACENT CURB OR CONCRETE WALK.
  3. SEE DETAIL FOR TREE PLANTING.
  4. SEE DETAIL FOR SHRUB PLANTING.
  5. WEED BARRIER FABRIC SHALL BE BY DeWITT, (800) 888-9869. POLYPROPYLENE, 4 OZ, BLACK WITH GREEN STRIPE, 5.28 MILS THICK.
- NOTE: INSTALL IRRIGATION CONTROLLER AS DIRECTED BY THE OWNER.
- NOTE: INSTALL IRRIGATION SYSTEM AS SPECIFIED. MUELLERIST IRRIGATION CO., RAIN BIRD SPRINKLER MFG. CORP., THE TORO CO., IRRIGATION DIV., OR WEATHER-MATIC DIV./TELISO INDUSTRIES. IRRIGATION SHALL BE INSTALLED AS REQUIRED BY PLANT MATERIAL TYPE AND LOCATION. COVERAGE SHALL BE 95% AT TURF AND 85% AT BEDDED PLANTS.

- SITE DEMOLITION PLAN KEYED NOTES**
1. REMOVE EXISTING BUILDING, FOUNDATION, AND ASSOCIATED IMPROVEMENTS AS REQUIRED BY THE NEW BUILDING PROJECT.
  2. CUT AND REMOVE EXISTING RAISED PLANTER AS REQUIRED TO INSTALL NEW EAST PLANTER WALL PER NEW BUILDING PROJECT.
  3. CUT AND REMOVE EXISTING CONCRETE AND ASSOCIATED LANDSCAPING AND PREP FOR NEW ASPHALT INFILL.
  4. CUT AND REMOVE EXISTING CURB CUT AS REQUIRED TO INSTALL NEW CURB CUT AND HANDICAP RAMP. PATCH BACK TO MATCH EXISTING.
  5. EXISTING PORTABLE BUILDINGS TO BE REMOVED BY OWNER. CONTRACTOR SHALL REMOVE EXISTING UTILITIES AND CAP AS REQUIRED BY PROJECT.
  6. REMOVE EXISTING SOLID WASTE ENCLOSURE AND CONCRETE PAD INT IT'S ENTIRETY, FOR INSTALLATION OF NEW ENCLOSURE AND PAD. PATCH TO MATCH EXISTING.
  7. EXISTING CHAINLINK FENCING TO REMAIN. PATCH TO MATCH EXISTING, AS REQUIRED BY PROJECT.
  8. EXISTING WOOD FENCING TO REMAIN. PATCH TO MATCH EXISTING, AS REQUIRED BY PROJECT.
  9. EXISTING WROUGHT IRON FENCING TO REMAIN. PATCH TO MATCH EXISTING, AS REQUIRED BY PROJECT.
  10. EXISTING LANDSCAPING TO REMAIN.
  11. EXISTING CONCRETE WALK TO REMAIN. PATCH BACK TO MATCH EXISTING AS REQUIRED BY PROJECT.
  12. EXISTING UTILITIES, SEE SITE UTILITIES PLAN FOR RELATED WORK.
  13. EXISTING ASPHALT PAVING, CUT, REMOVE, AND PATCH BACK TO MATCH EXISTING AS REQUIRED BY THE PROJECT, SEE GRADING AND DRAINAGE PLAN.

- GENERAL DEMOLITION/REMODEL NOTES**
- A THE BUSINESS SHALL REMAIN OPEN DURING THE REMODELING. ALL WORK SHALL BE COORDINATED WITH THE OWNER. ALL WORK AREAS SHALL BE BARRICADED DURING CONSTRUCTION TO PROTECT EXISTING AREAS FROM DUST, DEBRIS, OR ANY OTHER HAZARDS.
  - B SEE ALL DRAWINGS FOR REMOVALS AND REMODEL WORK. NOTIFY THE ARCHITECT OF ANY CONDITIONS THAT DO NOT MATCH THE DRAWINGS AND THAT AFFECT THE REMODEL.
  - C COORDINATE REMOVAL, RELOCATION, OR REPLACEMENT OF EXISTING EQUIPMENT AND FIXTURES WITH THE OWNER.
  - D ALL DEMOLITION DEBRIS SHALL BE DISPOSED OF AT AN APPROVED LAND FILL AREA. THE CONSTRUCTION AREAS SHALL BE KEPT CLEAN AT ALL TIMES.
  - E SEE SITE UTILITIES PLAN.

CITY OF ALBUQUERQUE  
"SOLID WASTE"  
MANAGEMENT DEPARTMENT  
APPROVED



**ZONING DATA**

LEGAL: PARCEL "Z-1-A" OF DASKAY SUBDIVISION,  
PLAT BOOK 90C FOLIO 306  
ADDRESS: 2231 PHOENIX AV NE 87107  
SITE AREA: 0.8463 ACRES (36,864.83 SF)  
ZONING: M-1 LIGHT MANUFACTURING (ATLAS PAGE H-16-Z)  
ALLOWABLE BLDG HEIGHT: 36-FT

REQUIRED SETBACKS (PER 0-1 ZONING):  
FRONT: 5-FT  
SIDE: 0-FT  
REAR: 0-FT

BUILDING AREA: 3200 SF

PROVIDED ON-SITE PARKING: 20 SPACES + 1 MOTORCYCLE SPACE (INCLUDES 1 HC-VAN SPACE)  
REQUIRED PARKING (NEW OFFICE): 3200 SF / 200 = 16 SPACE  
REQUIRED PARKING (EXISTING WAREHOUSE): 3000 SF / 2000 = 2 SPACES  
REQUIRED ON-SITE PARKING: 18 SPACES

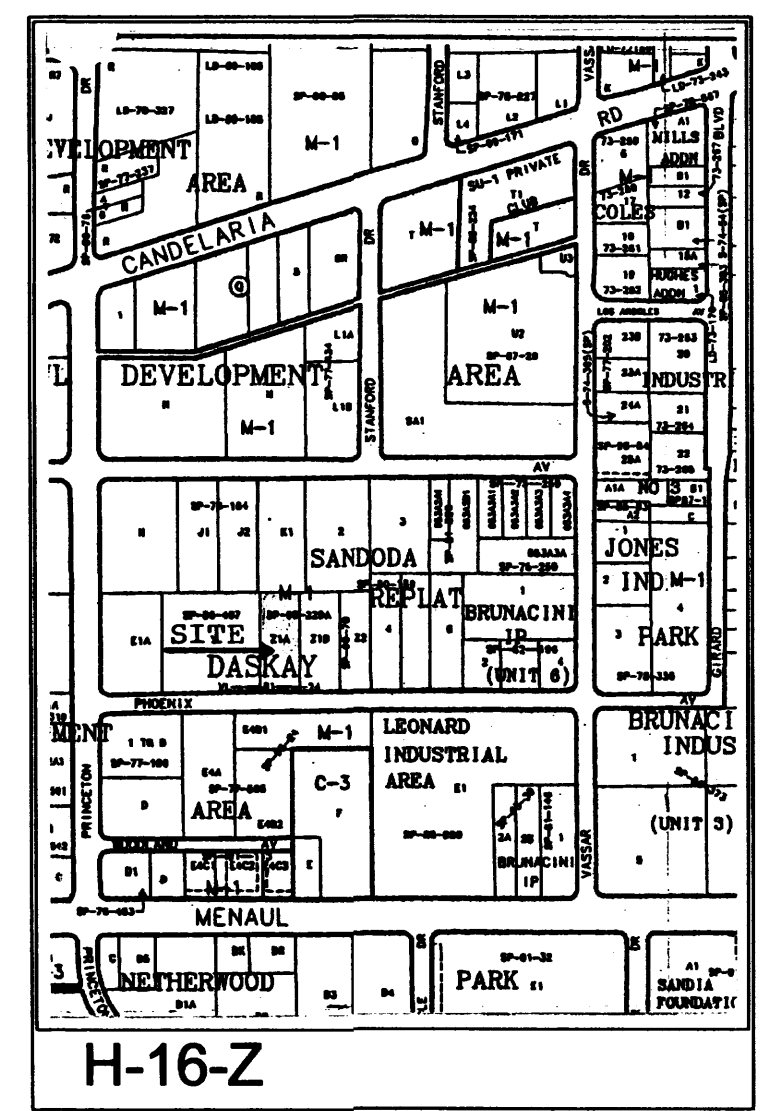
NET LOT AREA (GROSS - BLDG): 36,860 - 6200 = 30,660 SF  
REQUIRED ON-SITE LANDSCAPING: 4600 SF (15% OF 30,660 SF/NET)  
PROVIDED ON-SITE LANDSCAPING: 4800 SF

- KEYED NOTES**
1. Dumpster enclosure, see sheet AS-004. Replace existing dumpster with 4-YD on casters. Pick-up requires 2-man crew.
  2. Handicapped parking sign, see detail.
  3. 3" PVC pipe under pavement for installing irrigation lines. Stub line up inside building for irrigation controller, location per owners direction.
  4. Two coats traffic paint. Markings shall be 4" wide striping (yellow on conc, white on asphalt), as shown throughout the paved areas as shown.
  5. Asphalt paving, as required by revised site layout, see L/A-003. Install to match existing, patch to match existing.
  6. Handicapped parking symbol, see detail. City of Albuquerque standard detail 2426.
  7. Handicap ramp, see detail F/A-003. All ramps shall comply with ADA requirements, 60-inch min. width, 1:12 max slope, 4" max slope at side flares. The full width and depth of all ramps shall be scored per ADA for tactile warning surfacing.
  8. Concrete walk, as shown, per COABQ standard detail 2430.
  9. Existing concrete walk to remain.
  10. Install wheelchair ramp per City of Albuquerque standard detail 2426, unidirectional ramp with ADA type truncated dome tactile warning system on ramp surface.
  11. Cut and remove existing driveway as required to install new concrete driveway as shown, per COABQ standard detail 2425. See grading and drainage plan. Driveway must comply with all current ADA standards, and shall have a 3-FT wide pedestrian access path with a maximum 2% cross slope.
  12. New landscaped area, see landscaping plan and J&K/A-003.
  13. Existing driveway to remain, patch back to match as required at face of revised driveway.
  14. Bicycle rack, see detail.
  15. 4' x 8' motorcycle parking space with minimum 12" x 18" sign designating "MOTORCYCLE PARKING". Mount on sign standard with bottom of sign no less 48" above finish grade.
  16. Steel landscape edging all along north property line for barrier between properties, see landscaping note, this sheet.
  17. Trench drain with steel cover in concrete walk, see detail.
  18. Existing curb and gutter to remain, patch to match existing as required by renovation.
  19. Existing asphalt to remain, patch to match as required.
  20. Existing concrete paving to remain.
  21. Cut edge of existing asphalt paving as required to install new concrete curb, patch to match existing, typical.
  22. Existing landscape area to remain.
  23. Existing raised planter with tree to remain install new retaining wall as required, see detail.
  24. Install chainlink fence to match existing wall as required, see detail.
  25. Retaining wall across property as shown, see detail.

NEW LANDSCAPED AREAS

TRAFFIC CIRCULATION LAYOUT  
APPROVED

Signed: *[Signature]* Date: 6/12/07



**akt architects, LLC**

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ALBUQUERQUE, NM 87190  
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F: (505) 286-1055  
C: (505) 259-7919  
aktarch@earthlink.net

CONSULTANT

**KENT TRAUERWICHT**  
STATE OF NEW MEXICO  
REGISTERED ARCHITECT  
1285

**PROJECT**  
**NEW OFFICE BUILDING FOR ADVANTAGE BARRICADE AND ROADMARKS, LLC**

**PROJECT ADDRESS**  
**2231 PHOENIX AV NE ALBUQUERQUE, 87107**

MARK	DATE	DESCRIPTION

**PROJECT NO:**  
COPYRIGHT AKT ARCHITECTS, LLC

Public Infrastructure sheets on these plans for information only and not part of approval. Separate DRC/Permit approval and Work Order required.

**EXISTING/DEMO SITE PLANS**

**RECEIVED**  
JUN 12 2007  
HYDROLOGY SECTION

**AS-001**



**Location**  
Parcel Z-1-A of Daskay Subdivision, is located at 2231 Phoenix Avenue NE and contains ±.085 acres. See attached portion of Vicinity Map H-16-Z for exact location.

**Purpose**  
The purpose of this drainage report is to present a grading and drainage solution for the proposed sites. We are requesting rough grading approval and building permit.

**Existing Drainage Conditions**  
This site is fully developed and drains from north to south. There is minor offsite runoff which enters from the slopes to the north. The offsite runoff enters the site and drain south to Phoenix Avenue. No other offsite runoff enters this. This site at existing conditions (based on 100-year, 6-hour storm) generates a runoff of 3.82 cfs. According to FIRM map number 35001C0351E, map revised November 19, 2003, the site does not fall within a 100-year floodplain.

**Proposed Conditions and On-Site Drainage Management Plan**  
The owners are proposing to remove the very southern building and replace it with a new building. Therefore, the drainage offsite and on-site will remain the same. No additional runoff is being generated. The owners are intending to keep existing structures as much as possible such as pavement, curbing, landscaping, etc.).

**Calculations**  
City of Albuquerque, Development Process Manual, Section 22.2, Hydrology Section, was used for runoff calculations. See this plan for AHYMO input and Summary output files.

I SHAHAB BIAZAR, NMPE, OF THE ADVANCED ENGINEERING, LLC HEREBY CERTIFY THAT PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 06/19/2007. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY ME OR UNDER MY DIRECT SUPERVISION AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR Final Certificate of Occupancy.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

SHAHAB BIAZAR, NMPE #13479 DATE 7/1/08



### BASIN AREA

BASIN	AREA (SF)	AREA (AC)	AREA (MI <sup>2</sup> )
ON-SITE	36,828.87	0.8455	0.001321

### EXISTING / HISTORICAL

BASIN	Q-100 (CFS)	Q-10 (CFS)	TREATMENT
	(CFS)	(CFS)	A, B, C, D
ON-SITE	1.32	2.48	100% , 0% , 0% , 0%

### EXISTING / DEVELOPED

BASIN	Q-100 (CFS)	Q-10 (CFS)	TREATMENT
	(CFS)	(CFS)	A, B, C, D
ON-SITE	1.32	2.48	0% , 5% , 5% , 90%

\* ZONE 2

100-YEAR, 6-HR STORM (UNDER HISTORICAL CONDITIONS)

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10-YEAR, 6-HR STORM (UNDER HISTORICAL CONDITIONS)

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\* ON-SITE  
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100-YEAR, 6-HR STORM (UNDER PROPOSED CONDITIONS)

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\* ON-SITE  
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10-YEAR, 6-HR STORM (UNDER PROPOSED CONDITIONS)

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RAIN ONE=1.34 IN RAIN SIX=1.57 IN  
RAIN DAY=1.83 IN DT=0.03333 HR

\* ON-SITE  
COMPUTE NM HYD ID=1 HYD NO=113.1 AREA=0.001321 SQ MI  
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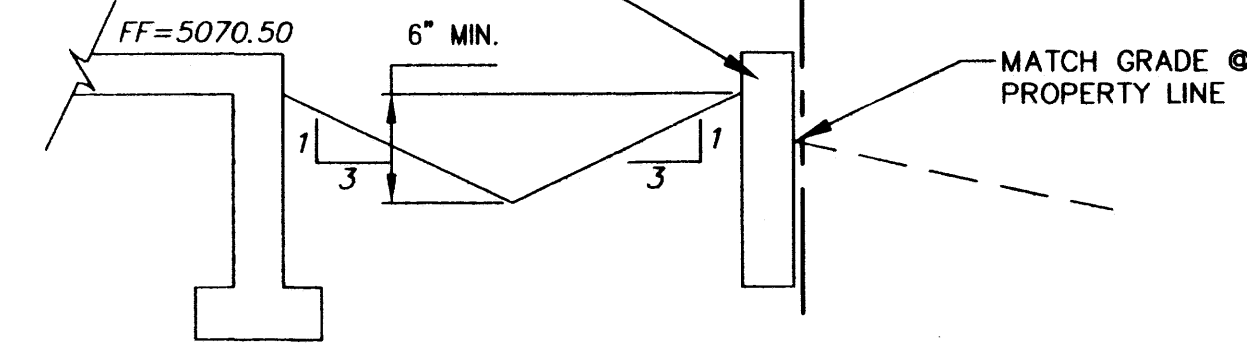
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18" MAX. HEADER WALL  
(BUILD AS NEEDED TO MAINTAIN  
GRADE @ PROPERTY LINE).



### SECTION A-A

NS

#### GENERAL NOTES:

1. ADD 5000 TO SPOT ELEVATIONS TO SHOW TRUE ELEVATION.
2. CONTOUR INTERVAL IS ONE (1) FOOT.
3. ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE CONTROL STATION CANDELARIA HAVING AN ELEVATION OF 5080.85 (NAVOD88) FEET ABOVE SEA LEVEL.
4. UTILITIES SHOWN HEREON ARE IN THEIR APPROXIMATE LOCATION BASED ONLY ON ABOVE GROUND EVIDENCE FOUND IN THE FIELD AND AS-BUILT INFORMATION PROVIDED BY THE CLIENT. UTILITIES SHOWN HEREON, WHETHER INDICATED AS ABANDONED OR NOT, SHALL BE VERIFIED BY OTHERS FOR EXACT LOCATION AND/ OR DEPTH PRIOR TO EXCAVATION OR DESIGN CONSIDERATIONS.
5. THIS IS NOT A BOUNDARY SURVEY, BEARINGS ARE ASSUMED, DISTANCES AND FOUND PROPERTY CORNERS ARE FOR INFORMATIONAL PURPOSES ONLY.
6. SLOPES ARE AT 3:1 MAXIMUM.
7. DRIVE PAD CONSTRUCTION TO BE DONE BASED ON THE CITY STD. DWG. NUMBER 2425.

#### NOTICE TO CONTRACTORS

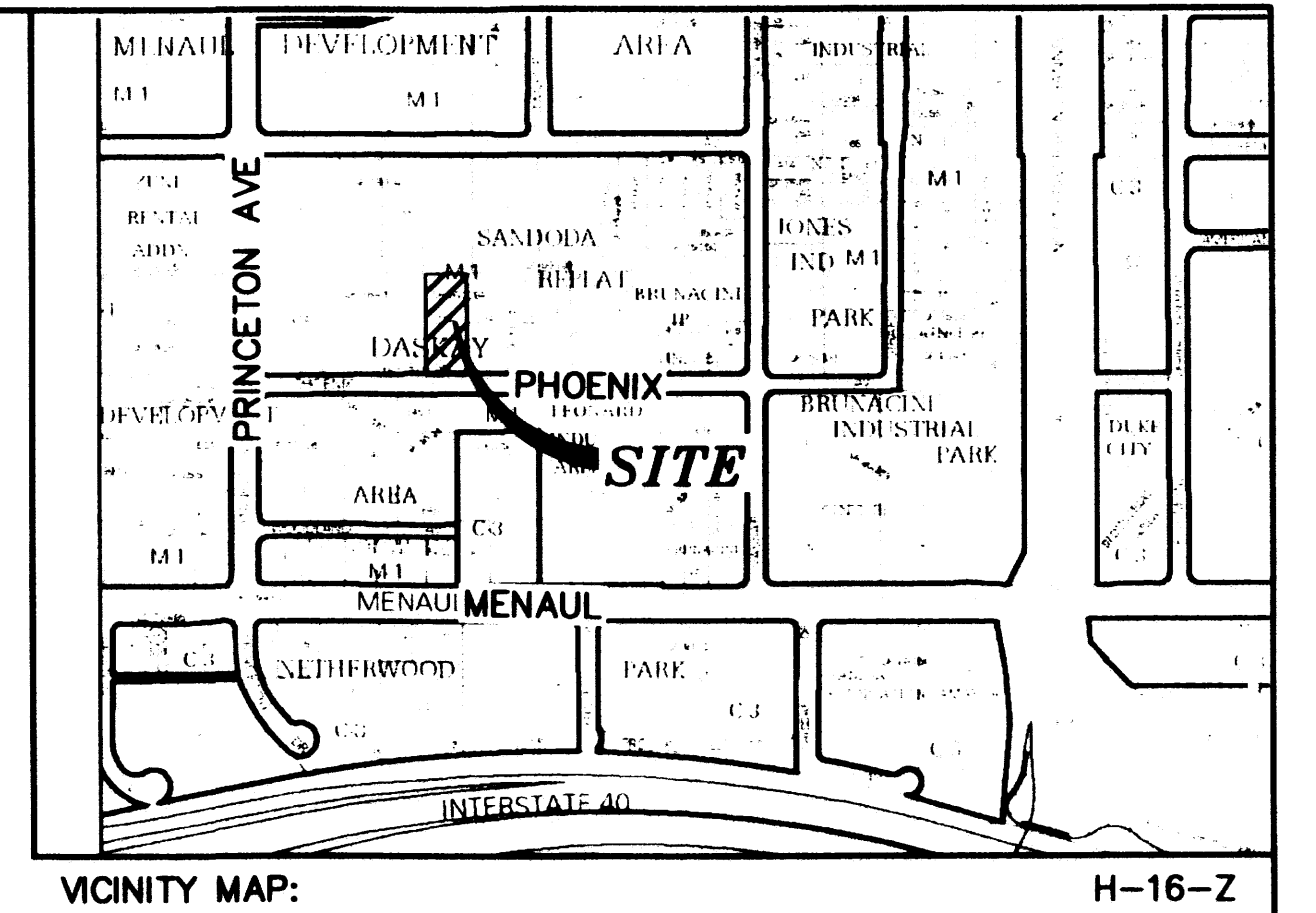
1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

#### EROSION CONTROL PLAN AND POLLUTION PREVENTION NOTES

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
3. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL STORM RUNOFF ON SITE.
4. REPAIR OF DAMAGED FACILITIES AND CLEAN-UP OF SEDIMENT ACCUMULATION ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.
6. ALL THE DISTURBED AREAS MUST BE REVEGETATED.

NOTE:  
CONTRACTOR TO ASSURE  
POSITIVE DRAINAGE TO ANY  
SECTION OF SITE BEING  
CONSTRUCTED

MODIFY EXISTING ENTRANCE  
MATCH EXISTING FLOWLINES  
PROPOSED DRIVE ENTRANCE  
PER C.O.A. STD. DWG 2426



VICINITY MAP:

H-16-Z

#### LEGAL DESCRIPTION:

PARCEL "Z-1-A" OF DASKAY SUBDIVISION. PLAT BOOK 90C FOLIO 306  
ADDRESS: 2231 PHONIX AVE NE 87107  
SITE AREA: 0.8449 ACRES (36,802.06 SF)  
ZONED M-1 LIGHT MANUFACTURING

#### LEGEND

EXISTING SAS MANHOLE
EXISTING METER
EXISTING VALVE W/BOX
EXISTING FIRE HYDRANT
EXISTING AIR RELEASE VALVE
EXISTING REDUCER
EXISTING SANITARY SEWER LINE
EXISTING WATER LINE
EXISTING CURB & GUTTER
PROPOSED CURB & GUTTER
EXISTING CONTOUR (MAJOR)
EXISTING CONTOUR (MINOR)
BOUNDARY LINE
EASEMENT
LIMITS OF TOP OF EXISTING SLOPE
PROPOSED SIDEWALK
PROPOSED GRADE
PROPOSED SPOT ELEVATION
EXISTING GRADE
EXISTING POWER LINES
EXISTING FENCE
100-YEAR WSEL (FROM HEC-RAS OUTPUT)
EXISTING FENCE
FLOODPLAIN LIMITS FROM FEMA MAP
EXISTING DRAIN WALL
PROPOSED RETAINING WALL
PROPOSED EXTENDED STEM WALL
TOP OF RETAINING WALL
TOP OF FOOTING
TOP OF EXTENDED STEM WALL
TOP OF FOOTING
EXISTING DROP INLET
EXISTING STREET LIGHT
EXISTING ANCHOR
EXISTING POWER POLE



SHAHAB BIAZAR  
P.E. #13479

4416 ANAHEIM AVE., NE  
ALBUQUERQUE, NEW MEXICO 87113  
(505)899-5570

2231 PHONIX AVENUE N.E.  
GRADING AND DRAINAGE PLAN

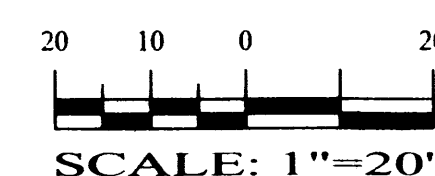
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200720-GR.DWG	SBB	06-01-2007	

RECEIVED

JUL 01 2008

HYDROLOGY  
SECTION

#### GRAPHIC SCALE



SCALE: 1"=20'

ROUGH GRADING APPROVAL

DATE



**Location**  
Parcel Z-1-A of Daskay Subdivision, is located at 2231 Phoenix Avenue NE and contains 0.845 acres. See attached portion of Vicinity Map H-16-Z for exact location.

**Purpose**  
The purpose of this drainage report is to present a grading and drainage solution for the proposed sites. We are requesting rough grading approval and building permit.

**Existing Drainage Conditions**  
This site is fully developed and drains from north to south. There is minor offsite runoff which enters from the slopes to the north. The offsite runoff enters the site and drain south to Phoenix Avenue. No other offsite runoff enters this. This site at existing conditions (based on 100-year, 6-hour storm) generates a runoff of 3.82 cfs. According to FIRM map number 35001C0351E, map revised November 19, 2003, the site does not fall within a 100-year floodplain.

**Proposed Conditions and On-Site Drainage Management Plan**  
The owners are proposing the remove the very southern building and replace it with a new building. Therefore, the drainage offsite and on-site will remain the same; No additional runoff is being generated. The owners are intending to keep existing structures as much as possible such as pavement, curbing, landscaping, etc.).

**Calculations**  
City of Albuquerque, Development Process Manual, Section 22.2, Hydrology Section, was used for runoff calculations. See this plan for AHYMO input and Summary output files.

#### BASIN AREA

BASIN	AREA (SF)	AREA (AC)	AREA (MI <sup>2</sup> )
ON-SITE	36,828.87	0.8455	0.001321

#### EXISTING / HISTORICAL

BASIN	Q-100 (CFS)	Q-10 (CFS)	TREATMENT
	(CFS)	(CFS)	A, B, C, D
ON-SITE	1.32	2.48	100%, 0%, 0%, 0%

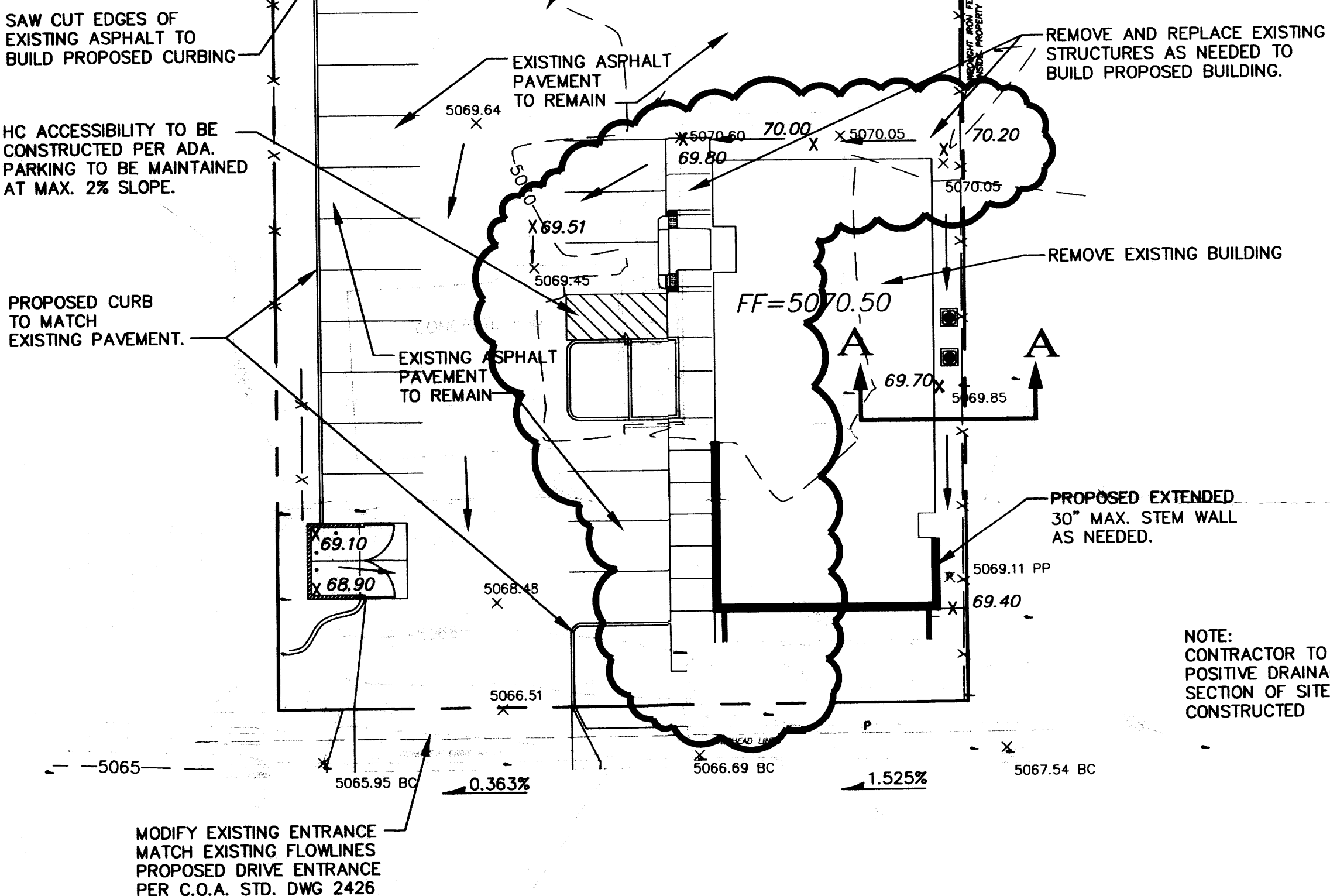
#### EXISTING / DEVELOPED

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	(CFS)	(CFS)	A, B, C, D
ON-SITE	1.32	2.48	0%, 5%, 5%, 90%

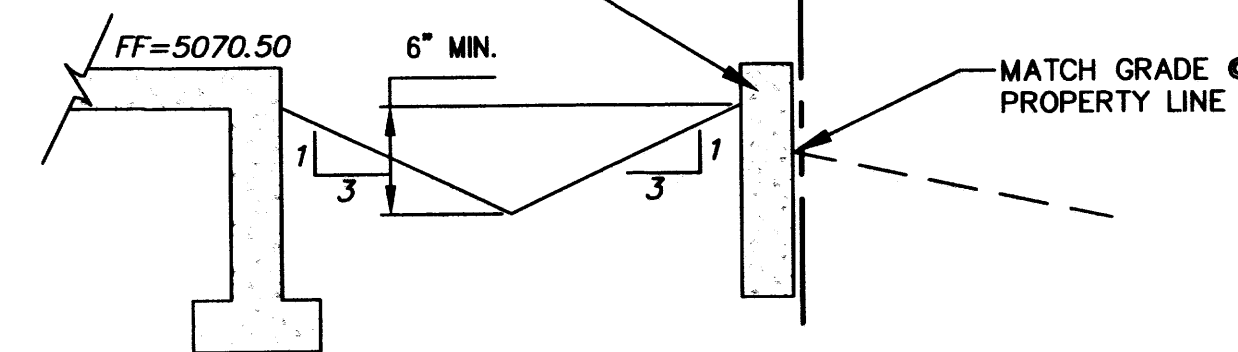
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\*\*\*\*\*  
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\*\*\*\*\*  
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RAIN DAY=2.75 IN DT=0.03333 HR  
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\* ON-SITE  
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\*\*\*\*\*  
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\*\*\*\*\*  
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TP=0.1333 HR MASS RAINFALL=-1  
\*\*\*\*\*  
\* 100-YEAR, 6-HR STORM (UNDER PROPOSED CONDITIONS)  
\*\*\*\*\*  
START RAINFALL TIME=0.0  
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RAIN DAY=2.75 IN DT=0.03333 HR  
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COMPUTE NM HYD ID=1 HYD NO=112.0 AREA=0.001321 SQ MI  
PER A=0.00 PER B=5.00 PER C=5.00 PER D=90.00  
TP=0.1333 HR MASS RAINFALL=-1  
\*\*\*\*\*  
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\*\*\*\*\*  
START RAINFALL TIME=0.0  
TYPE=1 RAIN QUARTER=0.0 IN  
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RAIN DAY=1.83 IN DT=0.03333 HR  
\*\*\*\*\*  
\* ON-SITE  
COMPUTE NM HYD ID=1 HYD NO=113.1 AREA=0.001321 SQ MI  
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AHYMO PROGRAM SUMMARY TABLE (AHYMO\_97) -  
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HYDROGRAPH		ID	ID	AREA	DISCHARGE	VOLUME		TO	PER	=	1	
COMMAND	IDENTIFICATION	NO.	NO.	(SQ MI)	(CFS)	(AC-FT)	(INCHES)	(HOURS)	ACRE	NOTATION		
START										TIME=	.00	
RAINFALL	TYPE= 1									RAIN6=	2.350	
COMPUTE	NM HYD	103.00	-	1	.00132	1.32	.037	.53121	1.533	1.565	PER IMP=	.00
START										TIME=	.00	
RAINFALL	TYPE= 1									RAIN6=	1.570	
COMPUTE	NM HYD	113.00	-	1	.00132	.32	.009	.12517	1.533	.374	PER IMP=	.00
START										TIME=	.00	
RAINFALL	TYPE= 1									RAIN6=	2.350	
COMPUTE	NM HYD	112.00	-	1	.00132	3.82	.141	1.99749	1.500	4.520	PER IMP=	90.00
START										TIME=	.00	
RAINFALL	TYPE= 1									RAIN6=	1.570	
COMPUTE	NM HYD	113.10	-	1	.00132	2.48	.088	1.24199	1.500	2.935	PER IMP=	90.00
FINISH												



18" MAX. HEADER WALL  
(BUILD AS NEEDED TO MAINTAIN  
GRADE @ PROPERTY LINE).



#### SECTION A-A

NS

#### GENERAL NOTES:

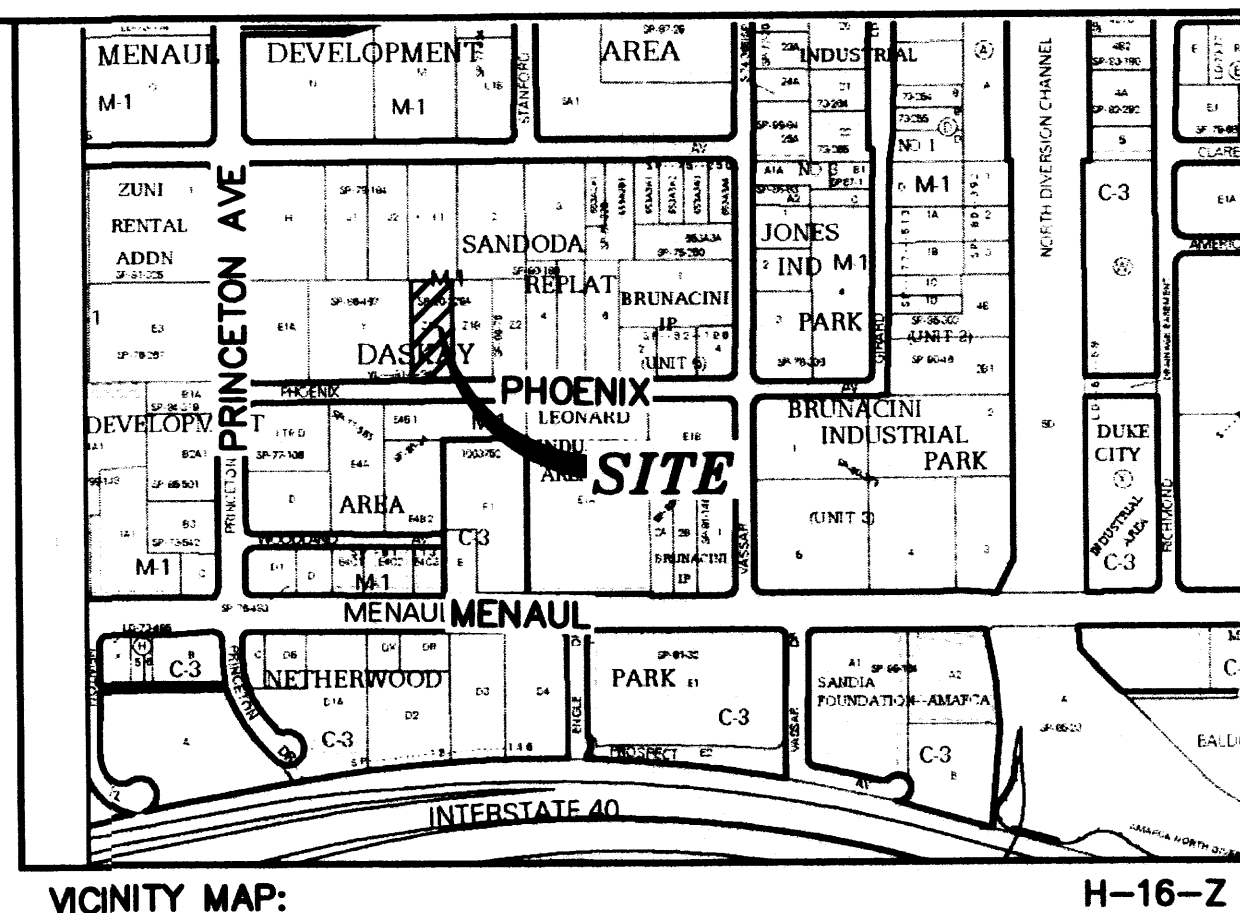
1. ADD 5000 TO SPOT ELEVATIONS TO SHOW TRUE ELEVATION.
2. CONTOUR INTERVAL IS ONE (1) FOOT.
3. ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE CONTROL STATION CANDELARIA HAVING AN ELEVATION OF 5090.85 (NAVOD88) FEET ABOVE SEA LEVEL.
4. UTILITIES SHOWN HEREON ARE IN THEIR APPROXIMATE LOCATION BASED ONLY ON ABOVE GROUND EVIDENCE FOUND IN THE FIELD AND AS-BUILT INFORMATION PROVIDED BY THE CLIENT. UTILITIES SHOWN HEREON, WHETHER INDICATED AS ABANDONED OR NOT, SHALL BE VERIFIED BY OTHERS FOR EXACT LOCATION AND/ OR DEPTH PRIOR TO EXCAVATION OR DESIGN CONSIDERATIONS.
5. THIS IS NOT A BOUNDARY SURVEY, BEARINGS ARE ASSUMED, DISTANCES AND FOUND PROPERTY CORNERS ARE FOR INFORMATIONAL PURPOSES ONLY.
6. SLOPES ARE AT 3:1 MAXIMUM.
7. DRIVE PAD CONSTRUCTION TO BE DONE BASED ON THE CITY STD. DWG. NUMBER 2425.

#### NOTICE TO CONTRACTORS

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

#### EROSION CONTROL PLAN AND POLLUTION PREVENTION NOTES

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
3. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL STORM RUNOFF ON SITE.
4. REPAIR OF DAMAGED FACILITIES AND CLEAN-UP OF SEDIMENT ACCUMULATION ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.
6. ALL THE DISTURBED AREAS MUST BE REVEGETATED.



VICINITY MAP:

H-16-Z

#### LEGAL DESCRIPTION:

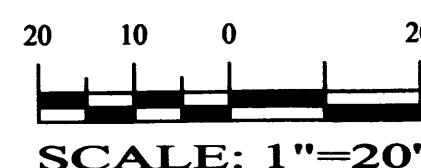
PARCEL "Z-1-A" OF DASKAY SUBDIVISION. PLAT BOOK 90C FOLIO 306  
ADDRESS: 2231 PHONIX AVENUE NE 87107  
SITE AREA: 0.8449 ACRES (36,802.06 SF)

ZONED M-1 LIGHT MANUFACTURING

#### LEGEND

	EXISTING SAS MANHOLE
	EXISTING METER
	EXISTING VALVE W/BOX
	EXISTING FIRE HYDRANT
	EXISTING AIR RELEASE VALVE
	EXISTING REDUCER
	EXISTING SANITARY SEWER LINE
	EXISTING WATER LINE
	EXISTING CURB & GUTTER
	PROPOSED CURB & GUTTER
	EXISTING CONTOUR (MAJOR)
	EXISTING CONTOUR (MINOR)
	BOUNDARY LINE
	EASEMENT
	LIMITS OF TOP OF EXISTING SLOPE
	PROPOSED SIDEWALK
	PROPOSED GRADE
	PROPOSED SPOT ELEVATION
	EXISTING GRADE
	EXISTING POWER LINES
	EXISTING FENCE
	100-YEAR WSEL (FROM HEC-RAS OUTPUT)
	EXISTING FENCE
	FLOODPLAIN LIMITS FROM FEMA MAP
	EXISTING GARDEN WALL
	PROPOSED RETAINING WALL
	PROPOSED EXTENDED STEM WALL
	TOP OF RETAINING WALL
	TOP OF FOOTING
	TOP OF EXTENDED STEM WALL
	TOP OF FOOTING
	EXISTING DROP INLET
	EXISTING STREET LIGHT
	EXISTING ANCHOR
	EXISTING POWER POLE

#### GRAPHIC SCALE



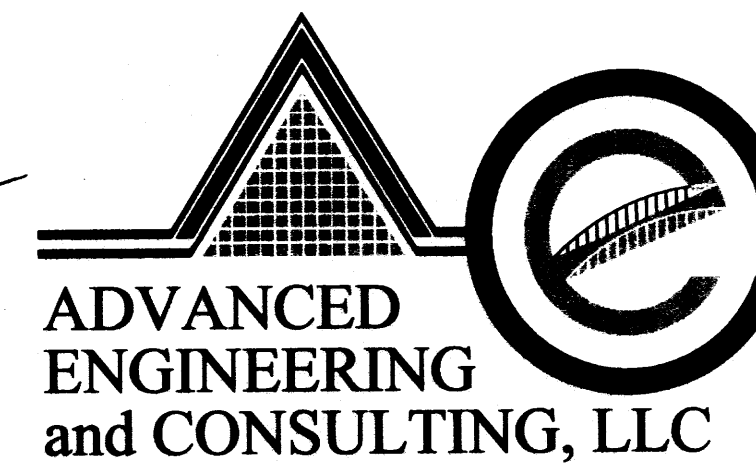
ROUGH GRADING APPROVAL

DATE

SCALE: 1"=20'



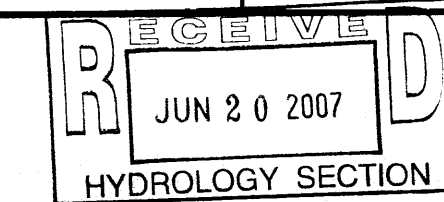
SHAHAB BIAZAR  
P.E. #19197



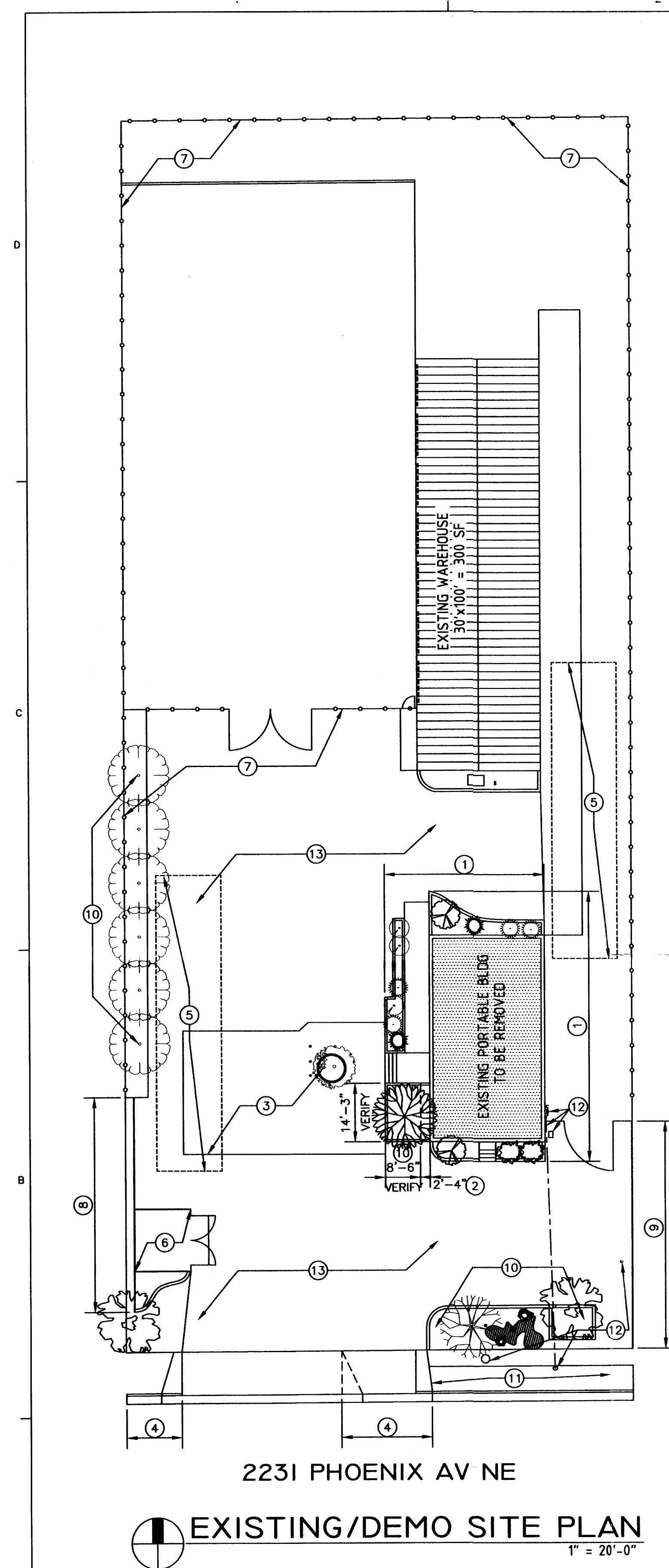
4416 ANAHEIM AVE. NE  
ALBUQUERQUE, NEW MEXICO 87113  
(505) 899-5570

#### 2231 PHONIX AVENUE N.E. GRADING AND DRAINAGE PLAN

DRAWING:	DRAWN BY:	DATE:	SHEET #
200720-GR.DWG	SBB	06-01-2007	







#### GENERAL NOTES

- Provide cuts in curbing and landscape drainage swales as required by the grading and drainage plan.
- All earthwork and site preparation shall comply with the GRADING AND DRAINAGE PLAN.
- Contractor shall remove all existing site improvements, utilities, excavated and plant materials, and shall dispose of them as required by the plans and specs.
- All exterior concrete shall be 3000 PSI @ 28 days.

#### LANDSCAPE NOTES:

- ALL LANDSCAPE EDGING SHALL STEEL PREFINISHED GREEN, 1/8" X 4" WITH ACCESSORIES AS REQ'D.
- ALL PLANTERS OR PLANTED AREAS SHALL BE FILLED SO THAT THE ROCK MULCH IS FLUSH WITH THE TOP OF ADJACENT CURB OR CONCRETE WALK.
- SEE DETAIL FOR TREE PLANTING.
- SEE DETAIL FOR SHRUB PLANTING.
- WEED BARRIER FABRIC SHALL BE BY DEWITT, (800) 888-9669, POLYPROPYLENE, 4 OZ, BLACK WITH GREEN STRIPE, 5.28 MILS THICK

NOTE: INSTALL IRRIGATION CONTROLLER AS DIRECTED BY THE OWNER

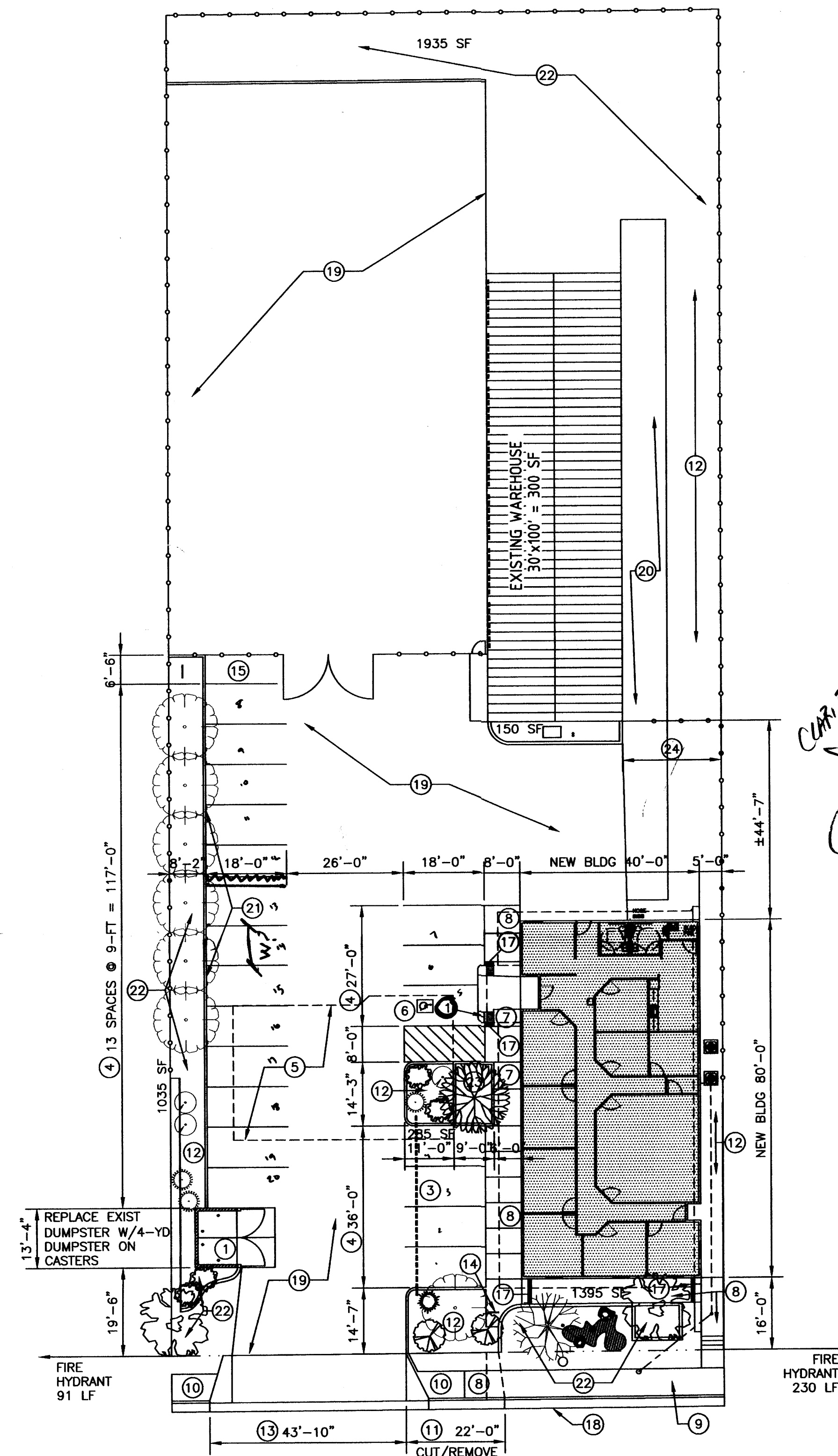
NOTE: INSTALL IRRIGATION SYSTEM AS SPECIFIED. MUELLER IRRIGATION CO., RAIN BIRD SPRINKLER MFG. CORP., THE TORO CO., IRRIGATION DIV., OR WEATHER-MATIC DIV./TELSO INDUSTRIES. IRRIGATION SHALL BE INSTALLED AS REQUIRED BY PLANT MATERIAL TYPE AND LOCATION. COVERAGE SHALL BE 95% AT TURF AND 85% AT BEDDED PLANTS.

#### SITE DEMOLITION PLAN KEYED NOTES

- REMOVE EXISTING BUILDING, FOUNDATION, AND ASSOCIATED IMPROVEMENTS AS REQUIRED BY THE NEW BUILDING PROJECT.
- CUT AND REMOVE EXISTING RAISED PLANTER AS REQUIRED TO INSTALL NEW EAST PLANTER WALL PER NEW BUILDING PROJECT.
- REMOVE EXISTING CONCRETE AND ASSOCIATED LANDSCAPING AND PREP FOR NEW ASPHALT INFILL.
- CUT AND REMOVE EXISTING CURB CUT AS REQUIRED TO INSTALL NEW CURB CUT AND HANDICAP RAMP. PATCH BACK TO MATCH EXISTING.
- EXISTING PORTABLE BUILDINGS TO BE REMOVED BY OWNER. CONTRACTOR SHALL REMOVE EXISTING UTILITIES AND CAP AS REQUIRED BY PROJECT.
- REMOVE EXISTING SOLID WASTE ENCLOSURE AND CONCRETE PAD INT. ITS ENTIRETY, FOR INSTALLATION OF NEW ENCLOSURE AND PAD. PATCH TO MATCH EXISTING.
- EXISTING CHAINLINK FENCING TO REMAIN. PATCH TO MATCH EXISTING, AS REQUIRED BY PROJECT.
- EXISTING WOOD FENCING TO REMAIN. PATCH TO MATCH EXISTING, AS REQUIRED BY PROJECT.
- EXISTING WROUGHT IRON FENCING TO REMAIN. PATCH TO MATCH EXISTING, AS REQUIRED BY PROJECT.
- EXISTING LANDSCAPING TO REMAIN.
- EXISTING CONCRETE WALK TO REMAIN. PATCH BACK TO MATCH EXISTING AS REQUIRED BY PROJECT.
- EXISTING UTILITIES, SEE SITE UTILITIES PLAN FOR RELATED WORK.
- EXISTING ASPHALT PAVING. CUT, REMOVE, AND PATCH BACK TO MATCH EXISTING AS REQUIRED BY THE PROJECT, SEE GRADING AND DRAINAGE PLAN.

#### GENERAL DEMOLITION/REMODEL NOTES

- ALL AREAS ADJACENT TO REQUIRED DEMOLITION AND REMODEL CONSTRUCTION SHALL BE PROTECTED FROM DAMAGE. ANY DAMAGED AREAS SHALL BE REPLACED AND REFINISHED TO MATCH EXISTING.
- COORDINATE REMOVAL, RELOCATION, OR REPLACEMENT OF EXISTING STRUCTURES, EQUIPMENT, AND UTILITIES WITH THE OWNER.
- ALL DEMOLITION DEBRIS SHALL BE DISPOSED IN AN APPROVED LAND FILL AREA. THE CONSTRUCTION AREAS SHALL BE KEPT CLEAN AT ALL TIMES.
- SEE SITE UTILITIES PLAN.



#### ZONING DATA

LEGAL: PARCEL "Z-1-A" OF DASKAY SUBDIVISION, PLAT BOOK 90C FOLIO 306  
ADDRESS: 2231 PHOENIX AV NE 87107  
SITE AREA: 0.8463 ACRES (36,864.83 SF)  
ZONING: M-1 LIGHT MANUFACTURING (ATLAS PAGE H-16-Z)  
ALLOWABLE BLDG HEIGHT: 36-FT

REQUIRED SETBACKS (PER 0-1 ZONING):  
FRONT: 5-FT  
SIDE: 0-FT  
REAR: 0-FT

BUILDING AREA: 3200 SF

PROVIDED ON-SITE PARKING: 20 SPACES + 1 MOTORCYCLE SPACE (INCLUDES 1 HC-VAN SPACE)

REQUIRED PARKING (NEW OFFICE): 3200 SF / 200 = 16 SPACE

REQUIRED PARKING (EXISTING WAREHOUSE): 3000 SF / 2000 = 2 SPACES

REQUIRED ON-SITE PARKING: 18 SPACES

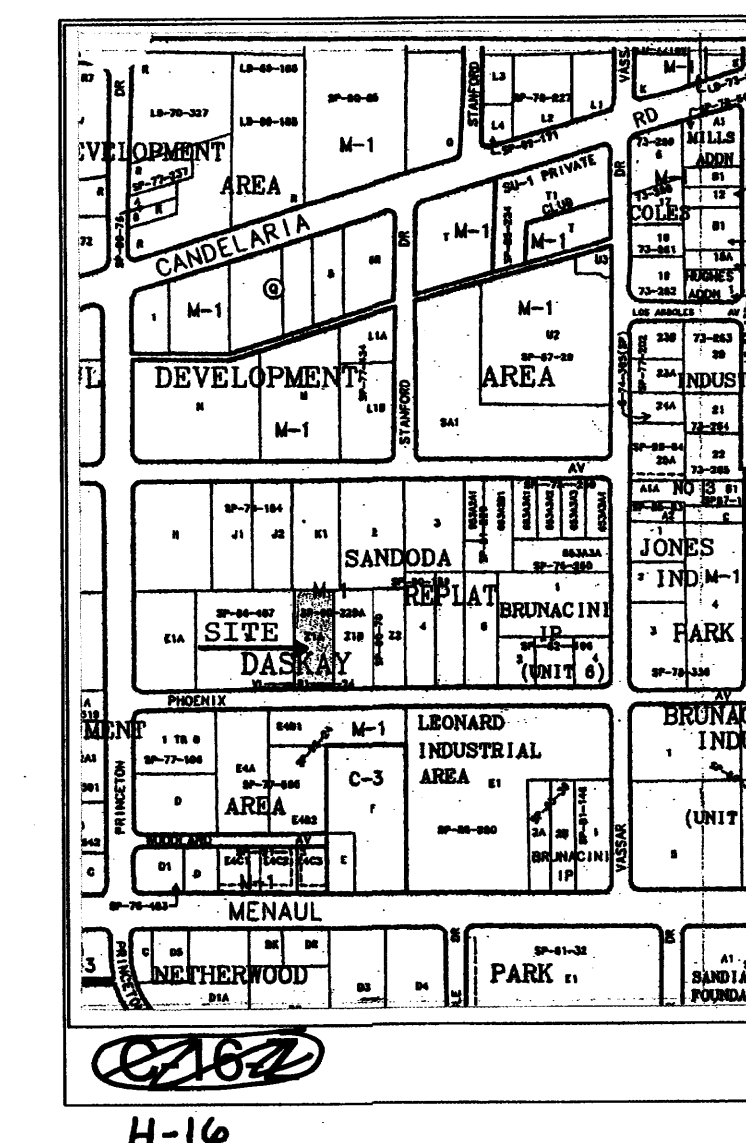
NET LOT AREA (GROSS - BLDG): 36,860 - 6200 = 30,660 SF

REQUIRED ON-SITE LANDSCAPING: 4600 SF (15% OF 30,660 SF/NET)

PROVIDED ON-SITE LANDSCAPING: 4800 SF

#### KEYED NOTES

- Dumpster pad, see detail sheet.
- Handicapped parking sign, see detail.
- 3" PVC pipe under pavement for installing irrigation lines. Stub line up inside building for irrigation controller, location per owners direction.
- Two coats traffic paint. Markings shall be 4" wide striping (yellow on conc, white on asphalt), as shown throughout the paved areas as shown.
- Asphalt paving, see L/A-003. Install to match existing at area replacing removed concrete pad.
- Handicapped parking symbol, see detail. City of Albuquerque standard detail 2426.
- Handicap ramp, per COABQ standard detail 2441, see F/A-003. All ramps shall comply with ADA requirements, 60"-inch min. width, 1:12 max slope, 1:10 max slope at side flares. The full width and depth of all ramps shall be scored per ADA for detectable warning surfacing.
- Concrete walk, as shown, per COABQ standard detail 2430.
- Existing concrete walk to remain.
- Install wheelchair ramp per City of Albuquerque standard details 2426 and 2427. Needs truncated domes.
- Cut and remove existing driveway as required to install new concrete driveway as shown, per COABQ standard detail 2425. See grading and drainage plan.
- Landscaped area, see landscaping plan and J&K/A-003.
- Existing driveway to remain, patch back to match as required at face of revised driveway.
- Bicycle rack, see detail.
- 4' x 8' motorcycle parking space with minimum 12" x 18" sign designating "MOTORCYCLE PARKING". Mount on sign standard with bottom of sign no less 48" above finish grade.
- Steel landscape edging all along north property line for barrier between properties, see landscaping note, this sheet.
- Trench drain with steel cover in concrete walk, see detail.
- Existing curb and gutter to remain, patch to match existing as required by renovation.
- Existing asphalt to remain, patch to match as required.
- Existing concrete paving to remain.
- Cut edge of existing asphalt paving as required to install new concrete curb, patch to match existing, typical.
- Existing landscape area to remain.
- Existing raised planter with tree to remain install new retaining wall as required, see detail.
- Install chainlink fence to match existing wall as required, see detail.



**akt architects, LLC**  
P.O. BOX 3366  
ALBUQUERQUE, NM 87106  
T: (505) 281-9560  
F: (505) 286-1055  
C: (505) 259-7919  
aktarch@earthlink.net

CONSULTANT

**Kent Trauernicht**  
STATE OF NEW MEXICO  
KENT TRAURNICHT  
No. 1285  
5/1/07  
REGISTERED ARCHITECT

PROJECT  
**NEW OFFICE BUILDING FOR ADVANTAGE BARRICADE AND ROADMARKS, LLC**

PROJECT ADDRESS  
2231 PHOENIX AV NE  
ALBUQUERQUE, 87107

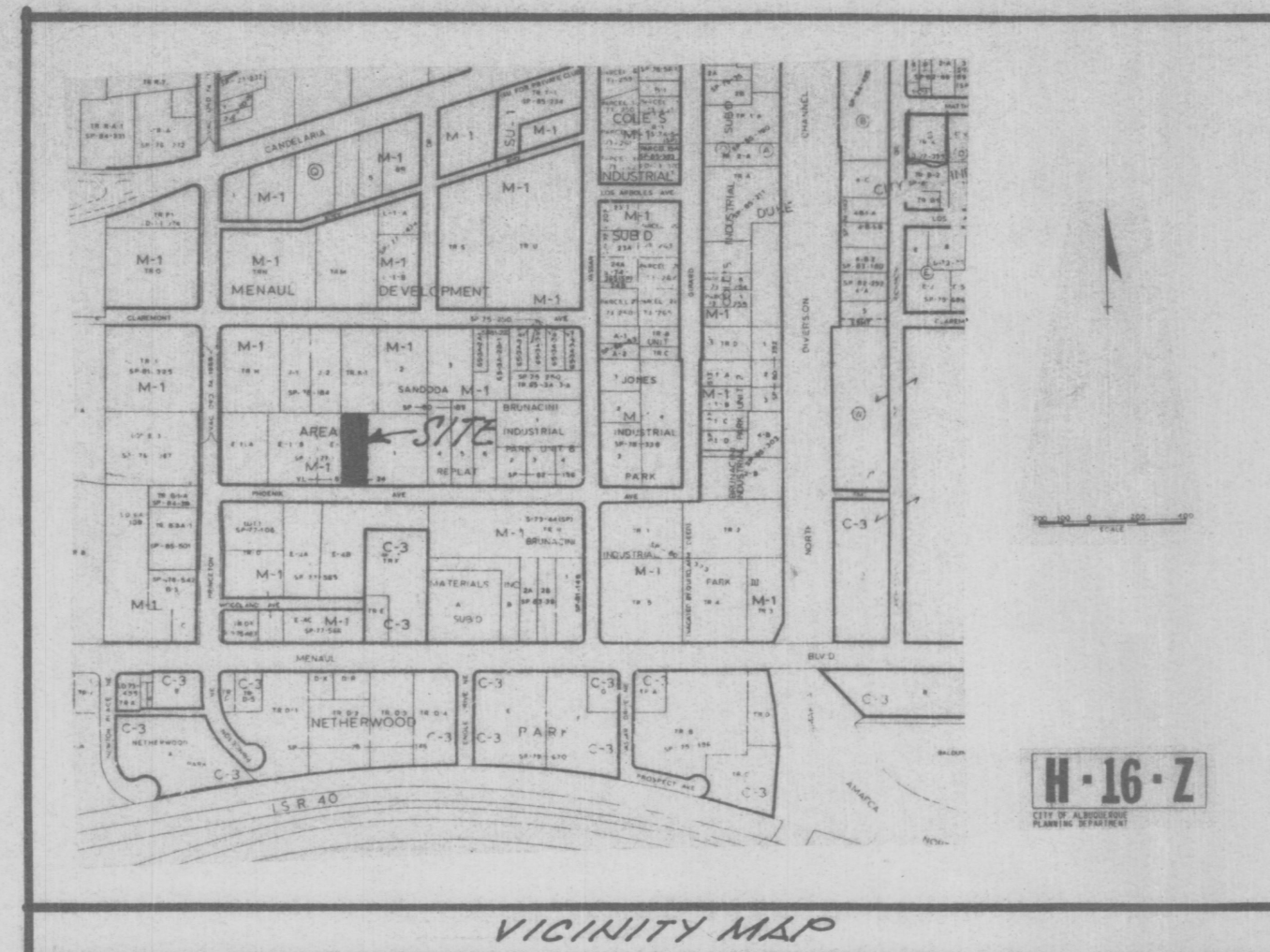
MARK DATE DESCRIPTION  
ISSUE DATE:

PROJECT NO:  
COPYRIGHT AKT ARCHITECTS, LLC  
SHEET TITLE

**EXISTING/DEMO SITE PLANS**

**AS-001**





- LEGEND:**
- T.C. = 63.02 = TOP OF CURB ELEVATION
  - R = 62.35 = CURB FIN LINE ELEVATION
  - = EXISTING OR PROPOSED CONCRETE
  - - - - - = EXISTING CONTOUR
  - - - - - = PROPOSED CONTOUR (EXISTING)
  - - - - - = EXISTING FENCE, PROPOSED
  - - - - - = PROPOSED SPOT ELEVATION
  - - - - - = PROPOSED LIMIT OF NEW PAVING

#### GENERAL NOTES:

- 1.) NO PERIMETER BOUNDARY CORNERS HAVE BEEN FIELD ESTABLISHED PER THIS SURVEY OF THE SUBJECT PROPERTY.
- 2.) NO SEARCH HAS BEEN MADE FOR EASEMENTS OF RECORD WITHIN THE SUBJECT SITE OTHER THAN THOSE SHOWN ON THE PLAT OF RECORD.
- 3.) REFER TO "ARCHITECTURAL SITE PLAN" FOR FIELD LAYOUT OF THE PROPOSED IMPROVEMENTS.
- 4.) TOPOGRAPHY SURVEY OBTAINED BY "TRANSIT-STADIA" METHOD.

#### NOTICE TO CONTRACTOR:

- 1.) AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
- 2.) ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH "CONTRACT DOCUMENTS FOR CITY WIDE UTILITIES AND CASH PAVING NO. 31".
- 3.) TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE ( 765-1234 ), FOR LOCATION OF EXISTING OF SURFACE AND SUBSURFACE UTILITIES.
- 4.) PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS; SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY FOR THE PROJECT.

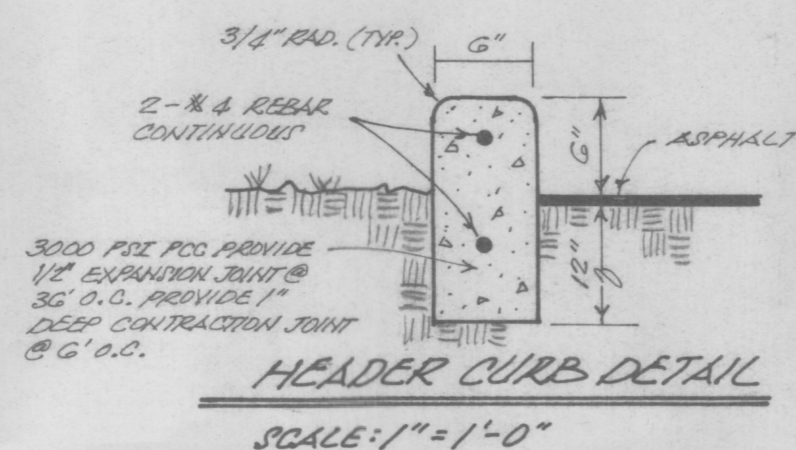
**LEGAL DESCRIPTION:** PARCEL "2-1-A" OF THE DASKAY SUBDIVISION, TO THE CITY OF ALBUQUERQUE, NEW MEXICO, (PLAT FILED: 12-27-90).

#### BENCH MARK REFERENCE:

NMSHC STATION "I-25-22", M.S.L.D. ELEVATION = 5068.575; PROJECT BENCH MARK AS SHOWN ON THE PLAN HEREON.

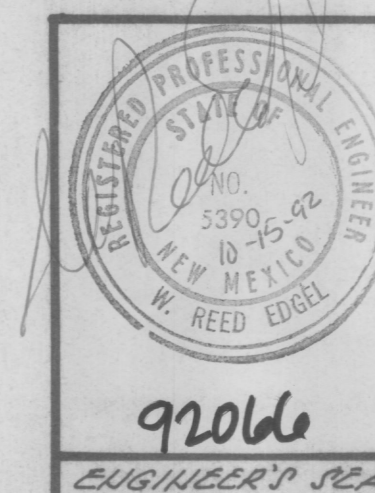
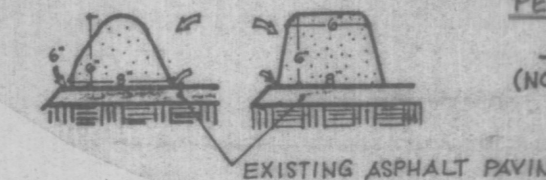
#### NOTE:

- (A) = PROPOSED LANDSCAPED AREA (PER ARCHITECT'S PLAN)
- (B) = PROPOSED 6" CONCRETE HEADER CURBING (OPTIONAL "PERMA-CURBS", SEE DETAIL & SPEC'S).
- (C) = PROVIDE 18" MINIMUM OPENING FOR ALLOWING SURFACE DRAINAGE TO CONTINUE



#### TECHNICAL SPECIFICATIONS FOR "PERMA-CURBS" :

CURBS SHALL BE MACHINE EXTRUDED PERMA-CURB OF THE SHAPE AND DIMENSIONS TO SUITE CLIENT REQUIREMENTS. THE CONCRETE USED FOR PERMA-CURB SHALL BE A SPECIAL NO SLUMP, DESIGN MIX ATTAINING APPROXIMATELY 3,500 LB. STRENGTH IN 28 DAYS. PERMA-CURBS SHALL BE A DENSE, UNIFORM TEXTURE. COLD JOINTS SHALL BE INSTALLED EVERY 15 LINEAL FEET. PERMA-CURBS SHALL IMMEDIATELY BE SPRAYED WITH SEALER TO ATTAIN THE MAXIMUM MOISTURE RETENTION. PERMA-CURBS SHALL BE BONDED TO ASPHALT AND/OR CONCRETE SURFACES WITH EPOXY RESIN OR CSS 1 BITUMENS IN ACCORDANCE WITH MANUFACTURE'S RECOMMENDATIONS, TO ASSURE A STRONG MOISTURE PROOF BOND. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH GOOD CONSTRUCTION PRACTICE.



#### CONSTRUCTION NOTES:

- 1.) TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE AT 765-1234 FOR LOCATION OF EXISTING UTILITIES.
- 2.) PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL POTENTIAL OBSTRUCTIONS; SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM OF DELAY.
- 3.) ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- 4.) ALL CONSTRUCTION WITHIN CITY RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE STANDARDS AND PROCEDURES.

#### EROSION CONTROL MEASURES:

THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR MANAGEMENT FOR STORM RUN-OFF DURING CONSTRUCTION; HE SHALL INSURE THAT THE FOLLOWING MEASURES ARE TAKEN:

- 1.) ADJACENT PROPERTY SHALL BE PROTECTED AT ALL TIMES BY CONSTRUCTION OF BERMS, DIKES, SWALES, PONDS, AND OTHER TEMPORARY GRADING AS REQUIRED TO PREVENT STORM RUNOFF FROM LEAVING THE SITE AND ENTERING ADJACENT PROPERTIES.
- 2.) ADJACENT PUBLIC RIGHT-OF-WAYS SHALL BE PROTECTED AT ALL TIMES FROM STORM WATER RUNOFF FROM THE SITE. NO SEDIMENT BEARING WATER SHALL BE PERMITTED TO ENTER PUBLIC STREETS.
- 3.) THE CONTRACTOR SHALL IMMEDIATELY AND THOROUGHLY REMOVE ANY AND ALL SEDIMENT WITHIN PUBLIC STREETS THAT HAS BEEN ERODED FROM THE SITE AND DEPOSITED THERE.

#### DRAINAGE COMMENTS:

AS SHOWN ON THE VICINITY MAP HEREON, THE SUBJECT PROPERTY IS LOCATED ON THE NORTH SIDE OF PHOENIX AVENUE N.E. BETWEEN PRINCETON AVENUE N.E. AND VASSAR AVENUE N.E., IN THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.

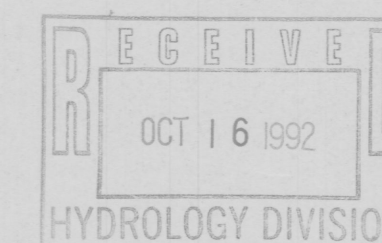
THE SUBJECT SITE IS, (1.) IN IT'S PRESENT CONDITION 100% IMPERVIOUS, (2.) NOT LOCATED WITHIN A DESIGNATED FLOOD PLAIN, (3.) NOT LOCATED ADJACENT TO AN ARTIFICIAL OR NATURAL WATER COURSE, (4.) HAS NO DRAINAGE EASEMENTS AT THE PRESENT TIME, (5.) IN IT'S DEVELOPED CONDITION WILL REDUCE RUNOFF FROM 3.75 CFS TO 3.44 CFS BECAUSE OF THE PROPOSED LANDSCAPED AREAS, (6.) THE FREE DISCHARGE OF SAID DEVELOPED RUNOFF WILL NOT ADVERSELY AFFECT DOWN-STREAM PROPERTIES.

#### DRAINAGE CALCULATIONS:

RATIONAL METHOD:  $Q_{100} = CIA$   
 6-HR. 100-YR. RAINFALL = 2.2 IN.  
 $T_c = \text{TEN (10) MINUTES MINIMUM}$   
 $"I" = (2.2) (6.84) (10)^{-0.51} = 4.65 \text{ IN./HR.}$   
 SITE AREA = 36,863.0 SQ. FT. = 0.85 AC. (100% IMPERVIOUS WITH CONC./ASPHALT)  
 $Q_{100} = 0.95 \times 4.65 \times 0.85 = 3.75 \text{ CFS}$

#### PROPOSED CONDITIONS:

BUILDING ROOF AREA = 4,800.0 SQ. FT. = 0.11 AC. =  $13\% \times (C=0.90) = 0.12$   
 CONCRETE/ASPHALT AREA = 28,169.0 SQ. FT. = 0.65 AC. =  $76\% \times (C=0.95) = 0.72$   
 LANDSCAPED AREA = 3,894.0 SQ. FT. = 0.09 AC. =  $11\% \times (C=0.25) = 0.03$   
 SUM "C" = 0.87  
 $Q_{100} = 0.87 \times 4.65 \times 0.85 = 3.44 \text{ CFS}$  \*\* 3.44 CFS < 3.75 CFS



REVISED  
**DRAINAGE PLAN**  
 FOR PROPOSED  
**JANICO OFFICES**  
 (2231 PHOENIX AVENUE N.E.)  
 ALBUQUERQUE, NEW MEXICO  
 AUGUST, 1992  
 (REVISION: 03-04-92/GR) / REVISION: OCT. 15, 1992)