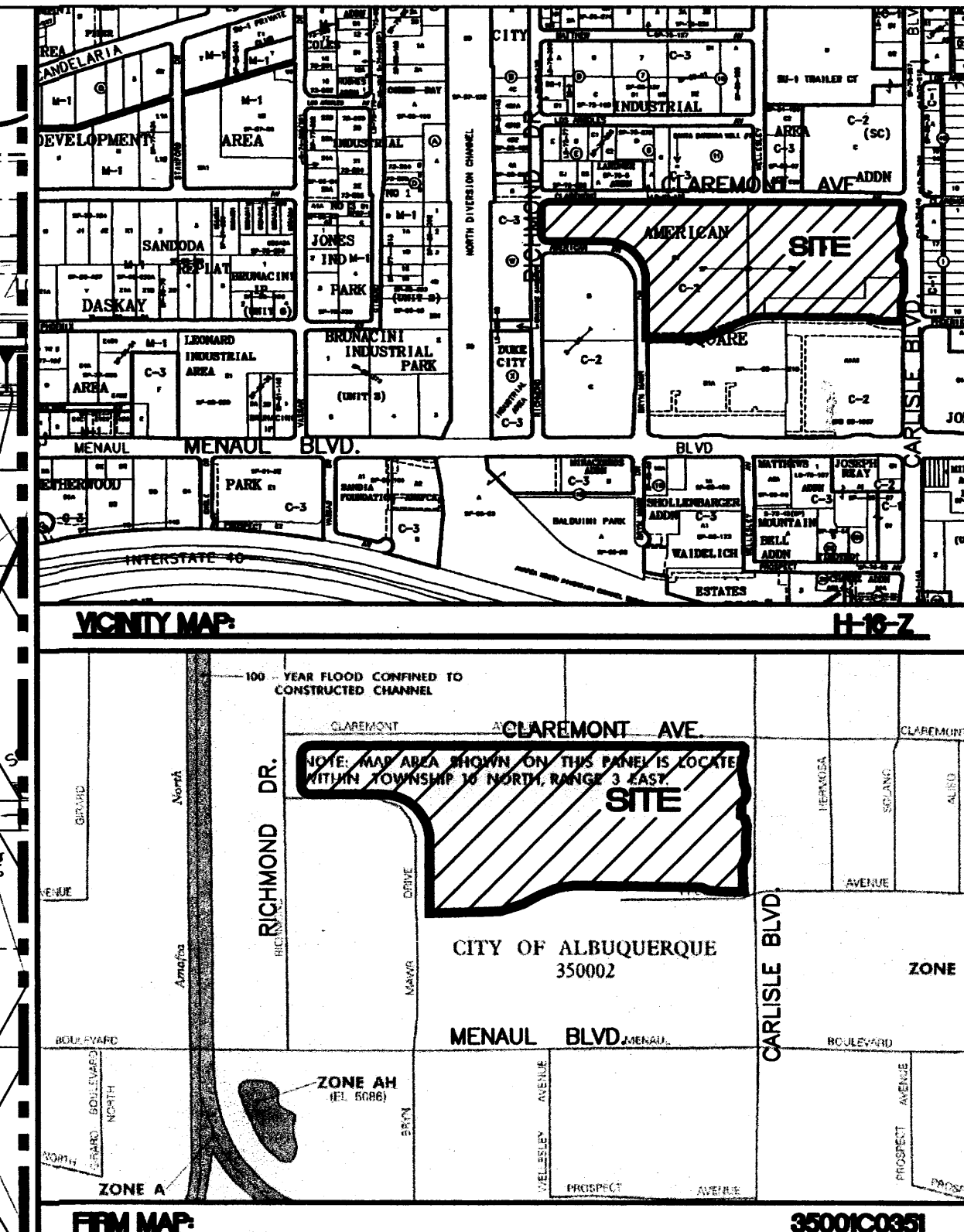
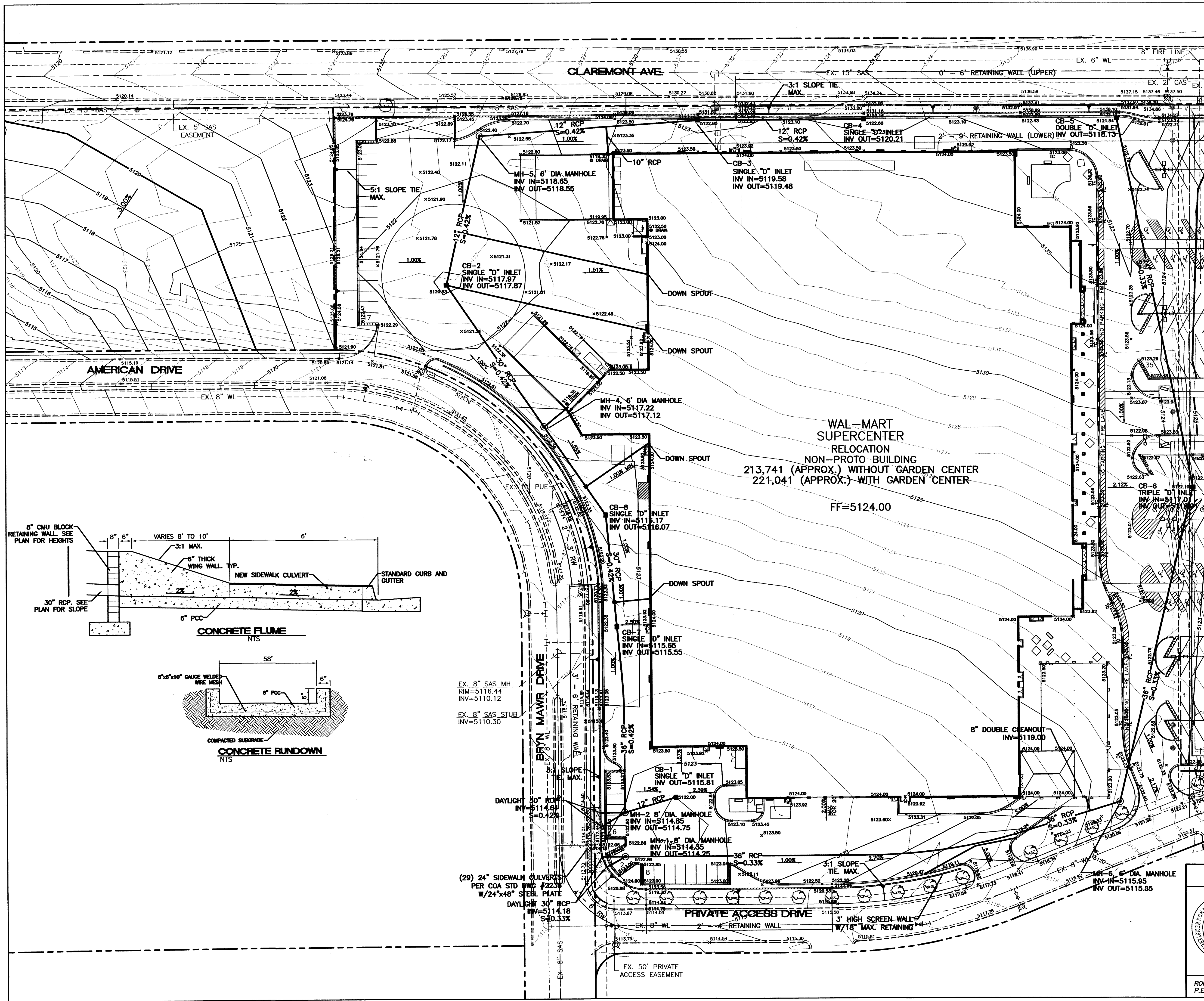
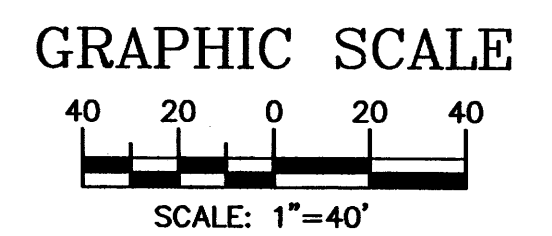
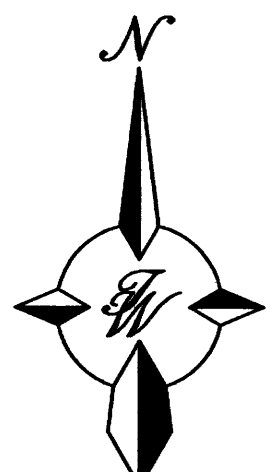




LEGAL DESCRIPTION:
Lots One and Two, Wal-Mart Addition AND Lot "A", Block Twenty-One, Valley View Addition, Wal-Mart Stores East, Inc.

NOTES:
SEE SHEET 11 & 12 FOR RETAINING WALL DETAILS.

- LEGEND**
- EXISTING CURB
 - FUTURE IMPROVEMENTS
 - EXISTING BUILDING
 - PROPOSED EXPANSION
 - PROPOSED CURB
 - BOUNDARY LINE
 - GRADE CHANGE
 - PROPOSED GRADE ELEVATION
 - EXISTING GRADE ELEVATION



ENGINEER'S SEAL
RONALD R. BOHANNAN
P.E. #7688

**ALBUQUERQUE WAL-MART
EXPANSION, NM: 831-02**

**GRADING AND
DRAINAGE PLAN - A**

TIERRA WEST, LLC
8509 JEFFERSON NE
ALBUQUERQUE, NEW MEXICO 87113
(505)858-3100

DRAWN BY: BDG
DATE: 04/10/03
2175GR.DWG
SHEET #
6
JOB #
21075

SITE GRADING NOTES

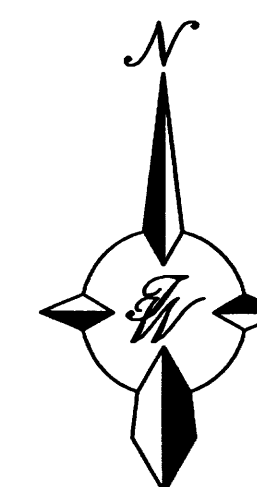
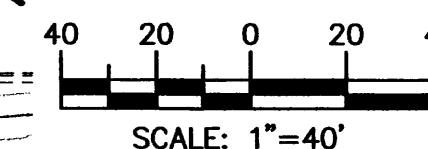
1. THE EARTHWORK FOR ALL BUILDING FOUNDATIONS AND SLABS SHALL BE IN ACCORDANCE WITH ARCHITECTURAL BUILDING PLANS AND SPECIFICATIONS.
2. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
3. ALL CUT OR FILL SLOPES SHALL BE 3:1 OR FLATTER UNLESS OTHERWISE NOTED.
4. PRECAST STRUCTURES MAY BE USED AT CONTRACTORS OPTION.
5. STORM PIPE SHALL BE AS FOLLOWS UNLESS OTHERWISE NOTED:
TYPE 1: RCP, CLASS III PER ASTM C-76, WITH FLEXIBLE PLASTIC BITUMEN GASKETS AT JOINTS.
TYPE 2: SPIRAL RIB METAL PIPE TYPE 1R: GALVANIZED, ALUMINIZED, OR BITUMINOUS COATED AS SPECIFIED ON CONSTRUCTION DRAWINGS. ONLY PERMITTED WHEN SPECIFICALLY INDICATED ON CONSTRUCTION DRAWINGS. PIPE ENDS SHALL BE RE-CORRUGATED AND INSTALLED WITH SEMI-CORRUGATED HUGGER-TYPE BANDS AND "O" RING GASKETS IN ACCORDANCE WITH PIPE MANUFACTURER'S INSTALLATION REQUIREMENTS. SPIRAL RIB METAL PIPE MUST COMPLY WITH ASTM A 760 TYPE 1R, ACCEPTABLE MANUFACTURER: CONTECH, INC., ULTRA FLO OR ULTRA FLO II, CALDWELL CULVERT CO., "SMOOTH RIB", OR APPROVED EQUAL.
TYPE 3: POLY VINYL CHLORIDE (PVC) IN ACCORDANCE WITH ASTM D 1784
6. EXISTING DRAINAGE STRUCTURES TO BE INSPECTED AND REPAIRED AS NEEDED, AND EXISTING PIPES TO BE CLEANED OUT TO REMOVE ALL SILT AND DEBRIS.
7. EXISTING GRADE CONTOUR INTERVALS SHOWN AT 1 FOOT INTERVALS.
8. PROPOSED GRADE CONTOUR INTERVALS SHOWN AT 1 FOOT INTERVALS.
9. IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
10. ALL STORM PIPE ENTERING STRUCTURES SHALL BE GROUTED TO ASSURE CONNECTION AT STRUCTURE IS WATERTIGHT.
11. ALL STORM SEWER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT, AND SHALL HAVE TRAFFIC BEARING LIDS. MANHOLES IN UNPAVED AREAS SHALL BE 6" ABOVE FINISH GRADE. LIDS SHALL BE LABELED "STORM SEWER".
12. THE CONTRACTOR SHALL ADHERE TO ALL TERMS & CONDITIONS AS OUTLINED IN THE GENERAL N.P.D.E.S. PERMIT FOR STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
13. CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.
14. CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
15. TOPOGRAPHIC INFORMATION TAKEN FROM A TOPOGRAPHIC SURVEY BY ANY LAND SURVEYORS, IF CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, HE SHALL HAVE MADE, AT HIS EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR AND SUBMIT IT TO THE OWNER FOR REVIEW.
16. ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE 4 INCHES OF TOPSOIL. CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL SLOPES 3:1V OR STEEPER. CONTRACTOR SHALL USE NATIVE SEEDING IN DISTURBED AREAS IN ACCORDANCE WITH CITY/COUNTY SPECIFICATIONS UNTIL A HEALTHY STAND OF VEGETATION IS OBTAINED.
17. CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME.
18. ALL STORM STRUCTURES SHALL HAVE A SMOOTH UNIFORM POURED MORTAR INVERT FROM INVERT IN TO INVERT OUT.
19. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL UTILITIES AND NOTIFYING THE APPROPRIATE UTILITY COMPANY PRIOR TO BEGINNING CONSTRUCTION.
20. CONTRACTOR SHALL VERIFY HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING STORM SEWER STRUCTURES, PIPES, AND ALL UTILITIES PRIOR TO CONSTRUCTION.
21. SITEWORK SHALL MEET OR EXCEED WAL-MART SITE SPECIFICATIONS.
22. ALL CONCRETE TO HAVE A MINIMUM 28 DAY COMPRESSION STRENGTH OF 3000 PSI.
23. CONTRACTOR SHALL REFER TO GEOTECHNICAL INVESTIGATION PREPARED BY KLEINFELDER, PROJECT #59-000045 8/21/2000. (FOR INFORMATION ONLY)

CAUTION:
EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.

LEGEND

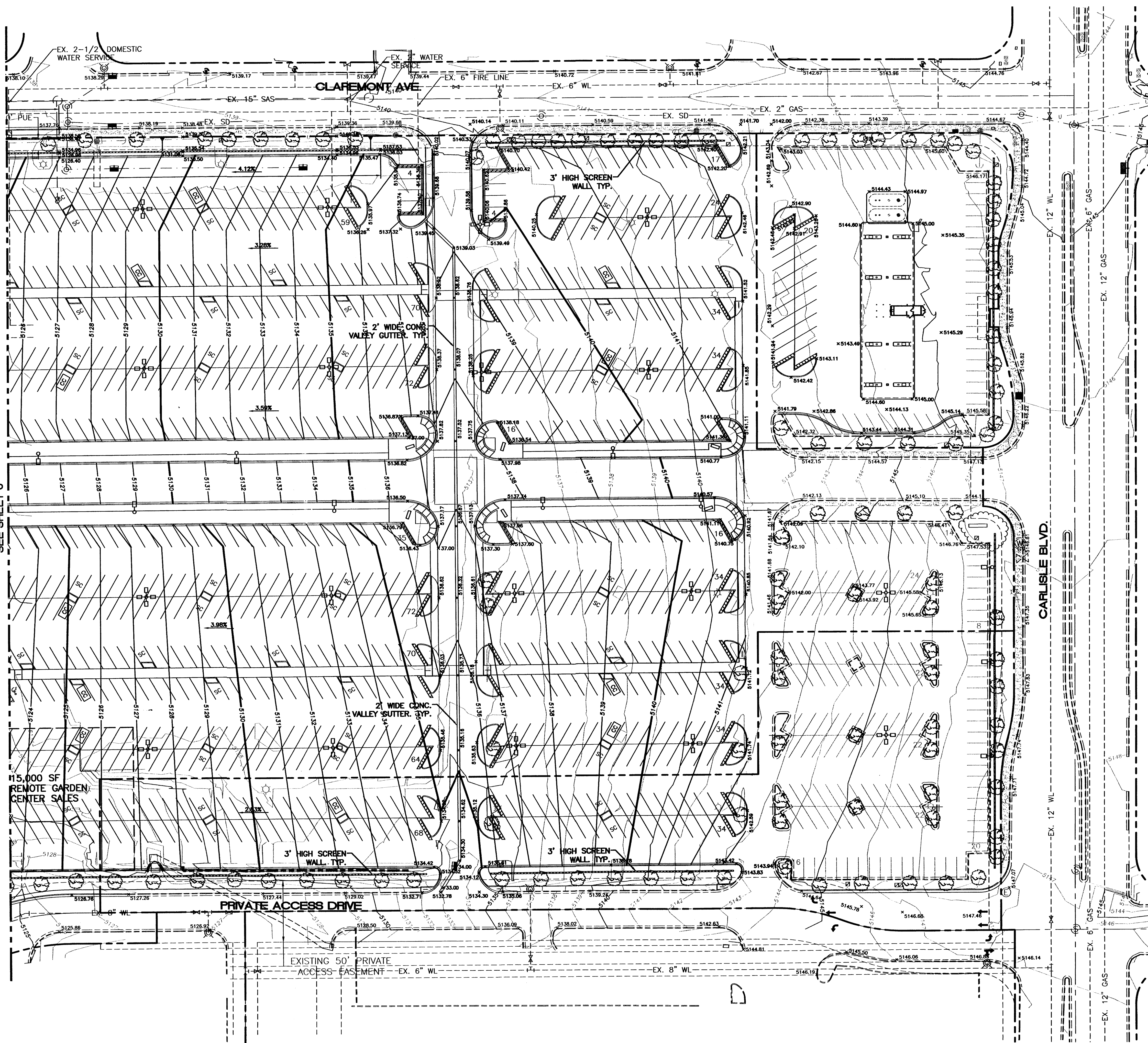
- EXISTING CURB
- FUTURE IMPROVEMENTS
- EXISTING BUILDING
- PROPOSED EXPANSION
- PROPOSED CURB
- BOUNDARY LINE
- GRADE CHANGE
- x 5257.73 PROPOSED GRADE ELEVATION
- x 5257.18 EXISTING GRADE ELEVATION

GRAPHIC SCALE



MATCHLINE
SEE SHEET 6

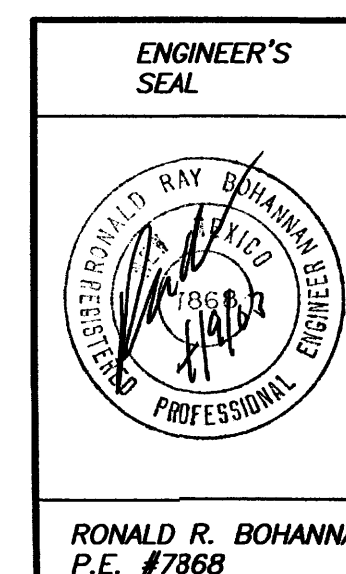
CARLISLE BLVD.



115,000 SF
REMOTE GARDEN
CENTER SALES

PRIVATE ACCESS DRIVE

EXISTING 50' PRIVATE
ACCESS EASEMENT - EX. 6" WL



**ALBUQUERQUE WAL-MART
EXPANSION, NM: 831-02**

**GRADING AND
DRAINAGE PLAN - B**

TERRA WEST, LLC
8509 JEFFERSON NE
ALBUQUERQUE, NEW MEXICO 87113
(505) 858-3100

DRAWN
BY BDG

DATE
04/10/03

2175GR.DWG

SHEET #

6A

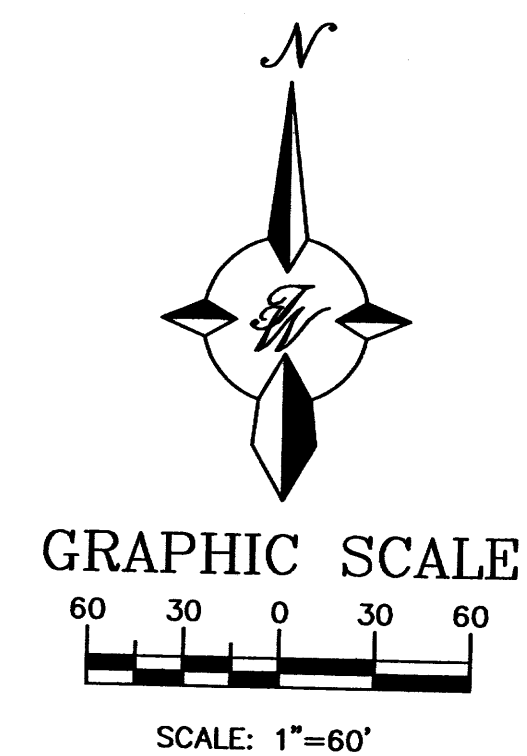
JOB #
21075

C-3 ZONING

C-2 ZONING

CLAREMONT AVE

CLAREMONT AVE

WAL-MART
OUT LOT 2
1.66 ACWAL-MART
OUT LOT 1
1.19 ACWAL-MART
SUPERCENTER
RELOCATION
NON-PROTO BUILDING
213,741 (APPROX.) WITHOUT GARDEN CENTER
221,041 (APPROX.) WITH GARDEN CENTERTRACT D
5.3147 ACRES
VACATE LOT
C-2 ZONINGEX. 8" SAS MH
NW=5116.44
NW=5110.12
EX. 8" SAS SUB
NW=5110.50

PRIVATE ACCESS DRIVE

TRACT B
9.6229 ACRES
EXISTING SHOPPING CENTER

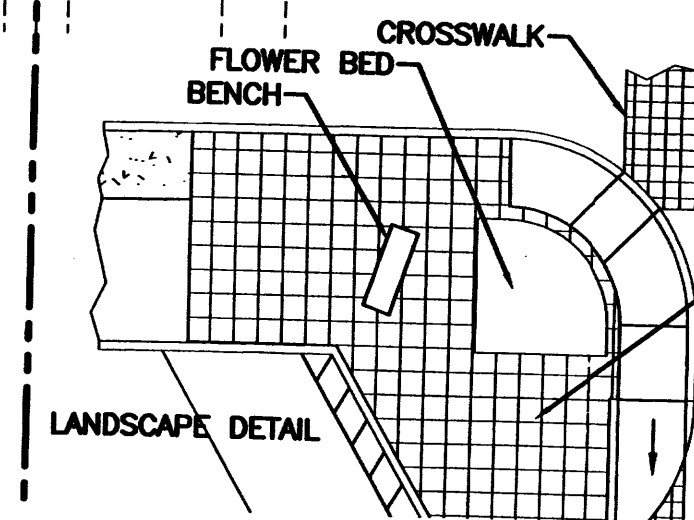
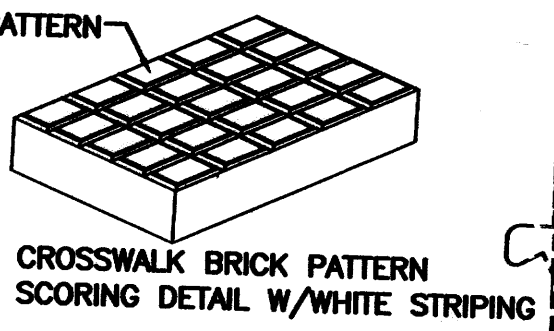
JOINT USE AREA PARKING DATA

PARKING WITHIN PARCEL I	11
PARKING WITHIN PARCEL II	34
PARKING WITHIN PARCEL III	48
PARKING WITHIN PARCEL IV	136
TOTAL SPACE WITHIN JOINT USE AREAS	229

SITE PARKING REQUIRED W/20% BUS CREDIT	834
10% BUS BAY CREDIT	
5% BUS SHELTER CREDIT	
5% BUS CREDIT, OVER 5 AC SITE	
SITE PARKING PROVIDED	1063
SITE PARKING PROVIDED MINUS JOINT USE	831

LEGEND

-----	EXISTING CURB & GUTTER
-----	BOUNDARY LINE
-----	EASEMENT
-----	PROPOSED EASEMENT
-----	PROPOSED SCREEN WALL
-----	PROPOSED RETAINING WALL
-----	PROPOSED SIDEWALK
-----	PROPOSED BOLLARD
-----	PROPOSED PEDESTRIAN CROSSWALK
-----	PROPOSED CART CORRALS
-----	ASSOCIATE PARKING AREA
	BIKE RACK
□	BIKE LOCKER
□-□	PROPOSED LIGHT POLE
	PARCELS WITHIN JOINT USE AREAS

TRACT A
9.1503 ACRES
EXISTING RETAIL STORE
C-2 ZONINGBRICK PATTERN SAME
AS CROSSWALK

SHEET INDEX

1. SITE PLAN FOR SUBDIVISION
2. SITE PLAN FOR BUILDING PERMIT - A
3. SITE PLAN FOR BUILDING PERMIT - B
4. LANDSCAPE PLAN
5. ELEVATIONS
- 5A. ELEVATIONS
6. GRADING AND DRAINAGE PLAN - A
- 6A. GRADING AND DRAINAGE PLAN - B
7. MASTER UTILITY PLAN - A
- 7A. MASTER UTILITY PLAN - B
8. DETAILS
9. DETAILS
10. DETAILS
11. DETAILS
12. DETAILS

PROJECT NUMBER

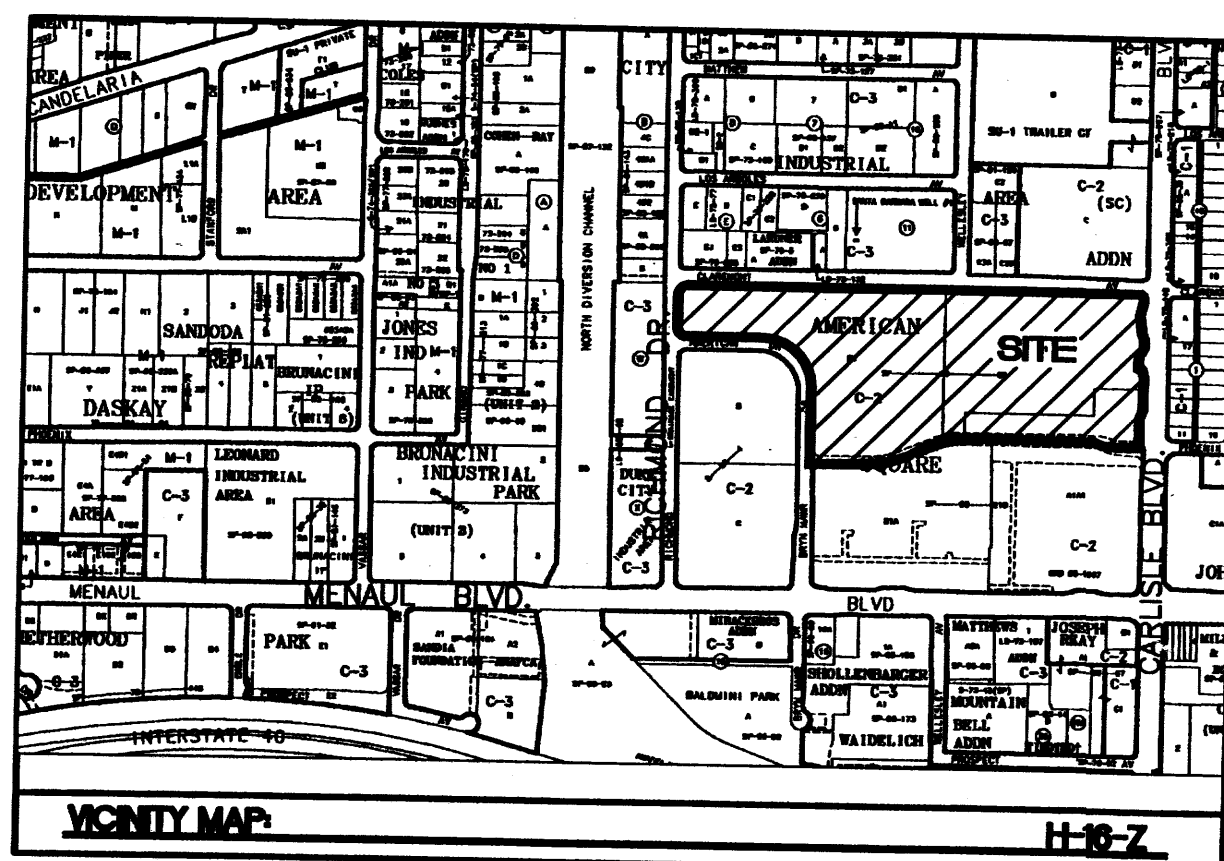
This plan is consistent with the specific site development plan approved by the Environmental Planning Commission (EPC) and that the findings and conditions in the Official Notice of Decision have been complied with.

SITE DEVELOPMENT PLAN

Traffic Engineer, Transportation Division	Date
Parks & General Services Department	Date
Public Works, Water Utilities Division	Date
City Engineer, Engineering Division / AMAFCA	Date
Solid Waste	Date
APPROVAL AND CONDITIONAL ACCEPTANCE: as specified by the Development Process Manual.	
City Planner, Albuquerque / Bernalillo County Planning Division	Date
PLN2 (10706) 4/96	

SITE DATA

PROPOSED USAGE:	PROPOSED EXPANSION
EXISTING ZONING:	C-2
LOT AREA:	
WAL-MART TRACT	20.5988 AC
OUT LOT 1	1.1916 AC
OUT LOT 2	1.6593 AC
TOTAL:	23.4497± AC.
BUILDING AREA:	
WITH GARDEN CENTER	221,041 SF
WITHOUT GARDEN CENTER	213,741 SF
LANDSCAPING:	
PROVIDED:	93,989 SF
REQUIRED:	86,340 SF
PARKING PROVIDED:	1059 SPACES
PARKING REQUIRED: RETAIL AREA	1042 SPACES
PARKING REQUIRED: GARDEN CENTER (7,300 SF)	18 SPACES
PARKING REQUIRED: STORAGE AREA (5,300 SF)	3 SPACES
TOTAL PARKING REQUIRED W/20% BUS CREDIT:	834 SPACES
PARKING RATIO: WITHOUT GARDEN CENTER	4.95
HC PARKING PROVIDED:	23 SPACES (4 VAN)
HC PARKING REQUIRED:	20 SPACES
BIKE SPACES PROVIDED:	4 SPACES VAN ACCESSIBLE
BIKE SPACES REQUIRED:	30 SPACES
	27 SPACES

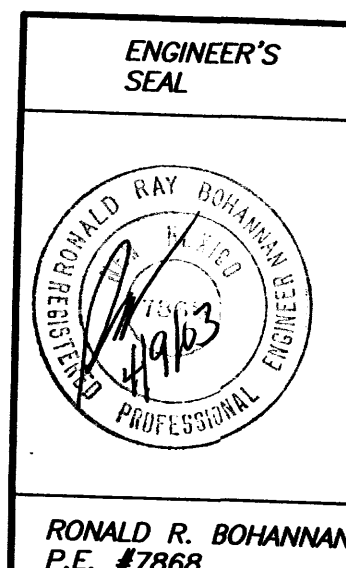


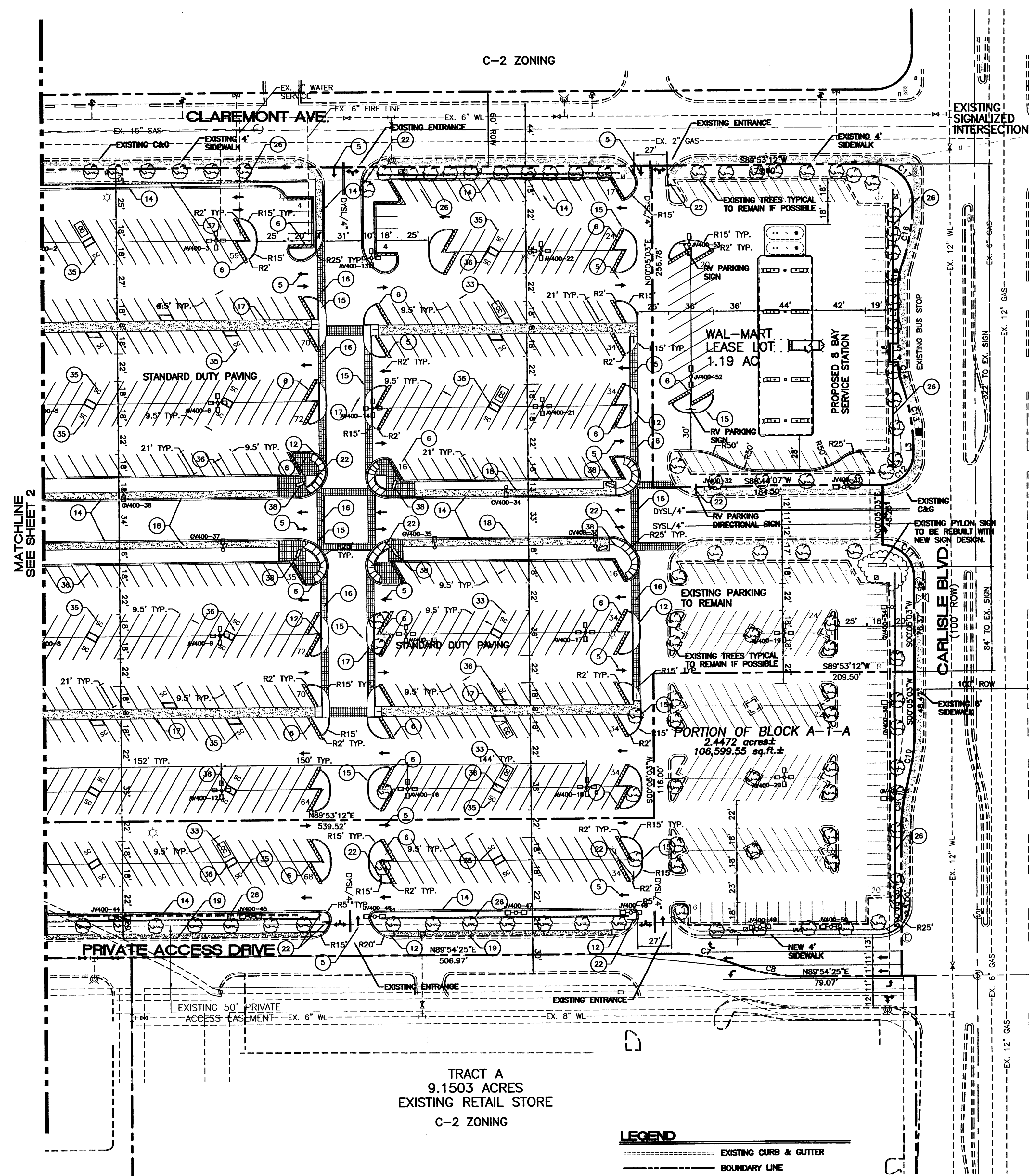
LEGAL DESCRIPTION:
BLOCK E1 AND F1, AMERICAN SQUARE.

ALBUQUERQUE WAL-MART
EXPANSION, NM: 850-03SITE PLAN FOR
SUBDIVISION

TERRA WEST, LLC
8509 JEFFERSON NE
ALBUQUERQUE, NEW MEXICO 87113
(505)858-3100

DRAWN BY BDG
DATE 04/09/03
2175SPS1.DWG
SHEET # 1
JOB # 21075



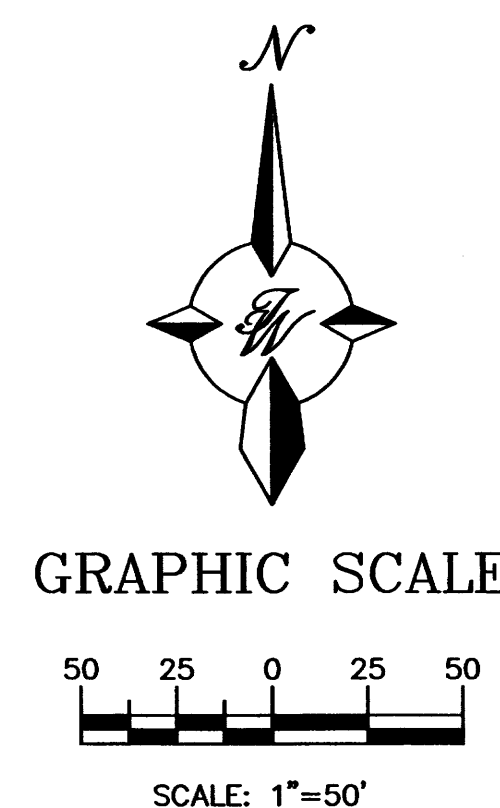


LINE	LENGTH	BEARING
L3	4.80	S00°05'03"W
L4	7.00	N89°54'59"W
L5	7.00	N89°54'59"W
L6	15.01	N00°05'01"E
L7	45.00	S00°05'03"W
L8	25.00	S00°04'55"W

CURVE	LENGTH	RADIUS	TANGENT	DELTA	CHORD BEARING	CHORD LENGTH
C1	47.03	30.00	29.91	89°49'14"	S45°11'58"E	42.36
C2	39.35	25.00	25.08	90°11'01"	S44°47'42"W	35.41
C3	363.71	232.00	231.29	89°49'25"	N45°12'05"W	327.59
C4	39.35	25.00	25.08	90°10'33"	S44°47'56"W	35.41
C5	178.52	470.00	90.35	21°45'46"	N79°00'18"E	177.45
C6	66.53	175.00	33.67	21°46'56"	S79°00'57"W	66.13
C7	54.13	150.00	27.36	20°40'34"	N79°45'18"W	53.84
C8	54.13	150.00	27.36	20°40'34"	S79°45'18"E	53.84
C9	40.75	150.00	20.50	15°33'55"	S07°52'01"W	40.62
C10	40.75	150.00	20.50	15°33'55"	N07°52'01"E	40.62
C11	39.27	25.00	25.00	90°00'01"	N44°54'56"W	35.36
C12	39.27	25.00	25.00	90°00'00"	N45°05'03"E	35.36
C13	52.22	150.00	26.38	19°56'48"	N09°53'20"W	51.96
C14	17.41	50.00	8.79	19°57'01"	S09°53'13"E	17.32
C15	17.41	50.00	8.79	19°57'01"	S10°03'20"W	17.32
C16	52.22	150.00	26.38	19°56'48"	N10°03'28"E	51.96
C17	47.23	30.00	30.11	90°12'10"	N45°00'43"W	42.50

LEGEND
EXISTING CURB & GUTTER
BOUNDARY LINE
EASEMENT
PROPOSED EASEMENT
PROPOSED SCREEN WALL
PROPOSED RETAINING WALL
PROPOSED SIDEWALK
PROPOSED BOLLARD
PROPOSED PEDESTRIAN CROSSWALK
PROPOSED CART CORRAL
ASSOCIATE PARKING AREA
BIKE RACK
BIKE LOCKER

PAINT STRIPING LEGEND
 SWSL/4" - SINGLE WHITE SOLID LINE / 4" WIDE
 SYSL/4" - SINGLE YELLOW SOLID LINE / 4" WIDE EACH
 DYSL/4" - DOUBLE YELLOW SOLID LINE / 4" WIDE EACH
 SYSL/10" - SINGLE YELLOW SOLID LINE / 10" WIDE
 SWDL/4" - SINGLE WHITE DASHED LINE / 4" WIDE
 SWSL/24" - SINGLE WHITE SOLID LINE / 24" WIDE



- SITE LEGEND**
- 6" WIDE FIRE LANE WITH 6" WIDE PAINTED TRAFFIC RED STRIPING AT 45° TYPICAL CURB TO BE PAINTED TRAFFIC RED AT THESE LOCATIONS. (SHT 9 OF 12)
 - "NO PARKING-FIRE LANE" PAINTED TRAFFIC YELLOW ON PAVEMENT AT 80° O.C. LETTERS TO BE A MINIMUM 2'-0" TALL. (SHT 9 OF 12)
 - "YIELD" PAINTED YELLOW ON PAVEMENT TYPICAL. (SHT 8 OF 12)
 - PROVIDE (2) 4" WIDE YELLOW STRIPES @ 10' O.C. x 130' LONG CENTER ON DOCK DOORS
 - PAINTED DIRECTIONAL ARROW TYPICAL. (SHT 8 OF 12)
 - 2'-0" LOADING ZONE AT ALL CURBED PARKING SPACES. 4" PAINTED YELLOW STRIPING AT 2'-0" O.C. PERPENDICULAR TO PARKING SPACE.
 - 10' x 15' STRIPED AREA PAINTED SYSL/4" AT 45° @ 2'-0" O.C. AT JIB CRANE LOCATION. SEE ARCH. PLANS
 - ACCESSIBLE PARKING SPACE TYPICAL. SEE DETAIL SHEET FOR ACCESSIBLE PARKING SPACE SIZE, SIGN AND SYMBOL ("VAN"-INDICATES VAN ACCESSIBLE SPACE). (SHT 8 OF 12)
 - RAMPED PAVEMENT AT VESTIBULE TO BE FLUSH WITH TOP OF SIDEWALK AT 5.0% MAX. SLOPE. REFER TO ARCHITECTURAL PLANS.
 - ROOF MOUNTED 16"x119" COMPRESSOR UNITS. REFER TO ARCHITECTURAL PLAN FOR EXACT LOCATION AND SLOPE.
 - SCREEN WALL PER ARCH. PLANS
 - UNIDIRECTIONAL HC RAMP. (SHT 9 OF 12)
 - PAINTED ISLAND TYPICAL UNLESS NOTED OTHERWISE. STRIPES SHALL BE PAINTED SYSL/4" AT 2'-0" O.C. PERPENDICULAR TO THE PARKING SPACE.
 - 6" CONCRETE CURB AND GUTTER TYPICAL.
 - 6" CONCRETE HEADER CURB TYPICAL. (SHT 8 OF 12)
 - 6" WIDE SLIGHTLY RAISED CONCRETE PEDESTRIAN CROSSWALK. PAINTED WHITE (SHT 8)
 - 8" WIDE RAISED CONCRETE SIDEWALK TYPICAL. (SHT 8 OF 12)
 - 6" CONCRETE SIDEWALK TYPICAL.
 - 4" CONCRETE SIDEWALK TYPICAL.
 - ASLE INDICATOR SIGNS TYPICAL (SHT 8 OF 12)
 - "TRUCK ROUTE" SIGN. SEE PLAN FOR LOCATION.
 - "STOP" SIGN. SEE PLAN FOR LOCATION.
 - "NO TRUCKS" SIGN. SEE PLAN FOR LOCATION.
 - PEDESTRIAN CROSSING SIGN W10-2 AND W10-2p TYPICAL AT PEDESTRIAN CROSSWALKS AS NOTED ON PLANS.
 - 6" DIA. PIPE BOLLARD TYPICAL. (SHT 10 OF 12)
 - 3' HIGH SCREEN WALL. (SHT 8 OF 12)
 - 6"x6" TREE PLANTER TYPICAL. (SHT 9 OF 12)
 - (3) 5 SPACE BIKE RACK TYPICAL. (SHT 8 OF 10)
 - BIKE LOCKERS (3 UNITS, 15 TOTAL LOCKER SPACES). (SHT 8 OF 12)
 - ZERO CURB PER ARCH. SECTIONS
 - PEDESTRIAN CROSSWALK WITH 4" WIDE PAINTED YELLOW STRIPING PARALLEL TO DIRECTION OF TRAFFIC AT 2'-0" O.C. UNLESS NOTED OTHERWISE. SEE SITE PLAN FOR WIDTH.
 - PROPOSED LIGHTING.
 - CART CORRALS TYPICAL. (SHT 9 OF 12)
 - PROPOSED HC RAMP. (SHT 9 OF 12)
 - SMALL CAR MARKER, "COMPACT" PAINTED YELLOW ON PAVEMENT TYPICAL.
 - TREE PLANTER TYPICAL. (SHT 9 OF 12)
 - RETAINING WALL TYPICAL. (SHT 6 OF 10)
 - WROUGHT IRON PARK BENCHES TYPICAL.

	ALBUQUERQUE WAL-MART EXPANSION, NM: 850-03	DRAWN BY BDG
	SITE PLAN FOR BUILDING PERMIT - B	DATE 04/10/03
TIERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	SHEET # 3	JOB # 21075