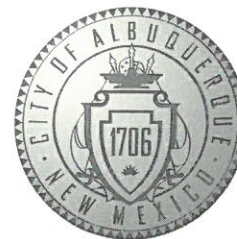


# CITY OF ALBUQUERQUE



September 11, 2020

Jeremy Shelton, RA  
Dekker/Perich/Sabatini  
7601 Jefferson NE, Suite 100  
Albuquerque, NM 87109

**Re: Starbucks Shell  
3501 Menaul Blvd NE  
30-Day Temporary Certificate of Occupancy  
Transportation Development Final Inspection  
Engineer's/Architect's Stamp dated 2-10-20 (H16D083E)  
Certification dated 9-3-20**

Dear Mr. Shelton

Based upon the information provided in your submittal received 9-3-20, Transportation Development has no objection to a 30-day Temporary Certificate of Occupancy based. This letter serves as a "green tag" from Transportation Development for a 30-day Temporary Certificate of Occupancy to be issued by the Building and Safety Division.

PO Box 1293

Prior to the issuance of a permanent Certificate of Occupancy, the following items must be addressed:

Albuquerque

- Please remove construction debris and trash container.

Once these corrections are complete, email pictures showing the changes to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov), and [epgomez@cabq.gov](mailto:epgomez@cabq.gov)

NM 87103

If you have any questions, please contact me at (505) 924-3981.

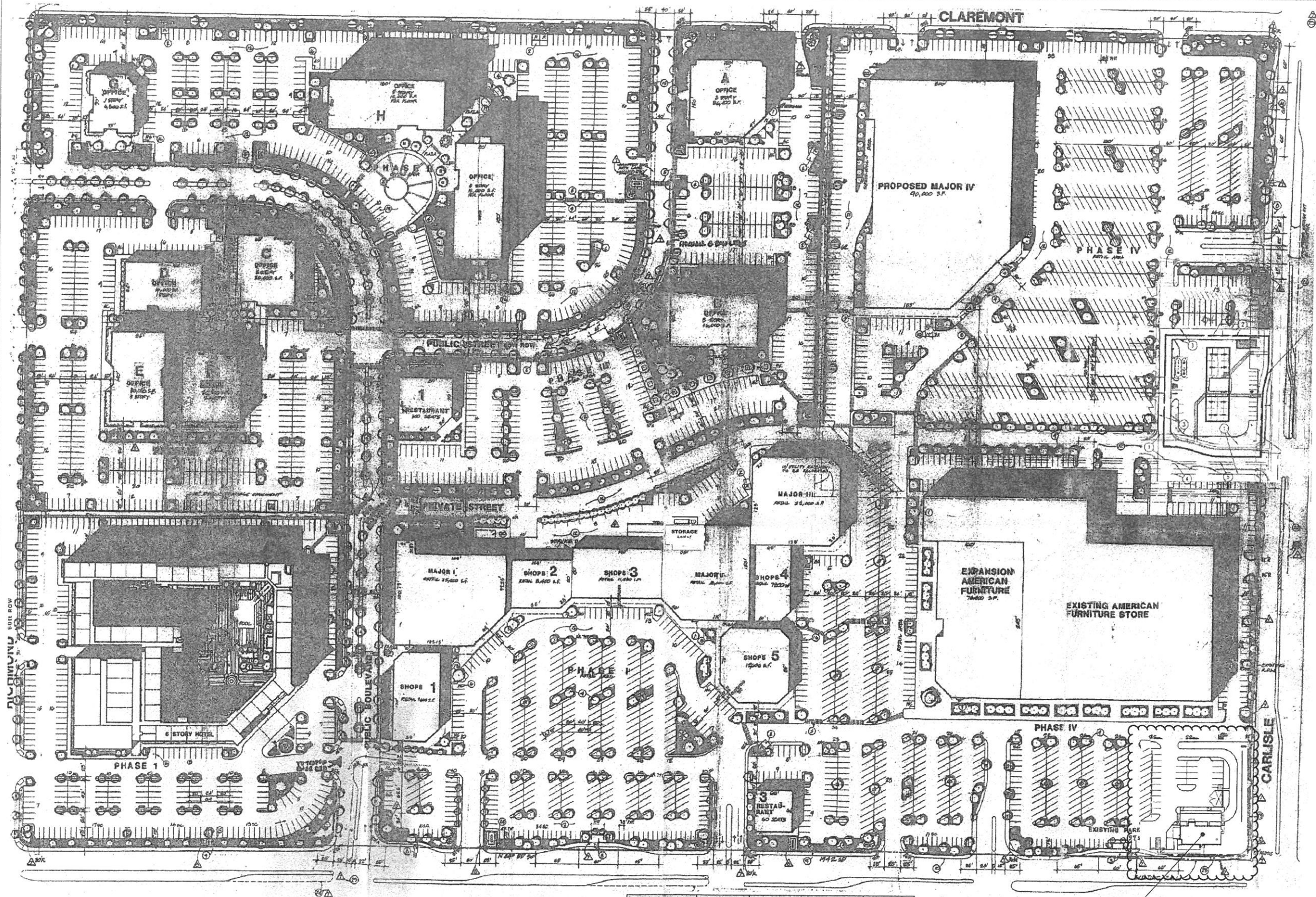
[www.cabq.gov](http://www.cabq.gov)

Sincerely,

Ernie Gomez,  
Plan Checker, Planning Dept.  
Development Review Services

EG via: email  
C: CO Clerk, File





AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION

NOT TO SCALE

| Comparison Item                                   | Approved Plan | Proposed AA  | Proposed Change  | % Change      |
|---|---------------|--------------|------------------|---------------|
| Total Building Square Footage of Existing Center* | 476,649 SF    | 478,674 SF   | Net Gain 2025 SF | 0.42 % Change |
| Total Parking Spaces**                            | 3,190 Spaces  | 3,140 Spaces | 50 Spaces        | 1.6 % Change  |
| Total Change                                      |               |              |                  | 2.02 %        |

\* Total Building Square Footage based on the square footages indicated on the originally approved site plan, which excludes 3 buildings: 1) a building indicated as a 300 seat restaurant, 2) a 3 story hotel, and 3) the American Home Furniture store.  
\*\* Total Parking Spaces provided through phase 1-4 as indicated on the originally approved site plan.

NEW 2,025 SF STARBUCKS WITH DRIVE THRU

ADMINISTRATIVE AMENDMENT  
FILE #51-2050 PROJECT #PR-2020  
New lot, new restaurant, and new drive-through.  
10 Feb 2020  
APPROVED BY DATE

DEKKER  
PERICH  
SABATINI

7601 JEFFERSON NE, SUITE 100  
ALBUQUERQUE, NM 87109  
505.761.9700 / DPSDESIGN.ORG  
ARCHITECT

ENGINEER

PROJECT

AMERICAN SQUARE SHOPPING CENTER  
STARBUX  
3535 MENAUL BLVD NE  
ALBUQUERQUE, NEW MEXICO 87107

REVISIONS

- △
- △
- △
- △

DRAWN BY: MB

REVIEWED BY: MB

DATE 1/23/20

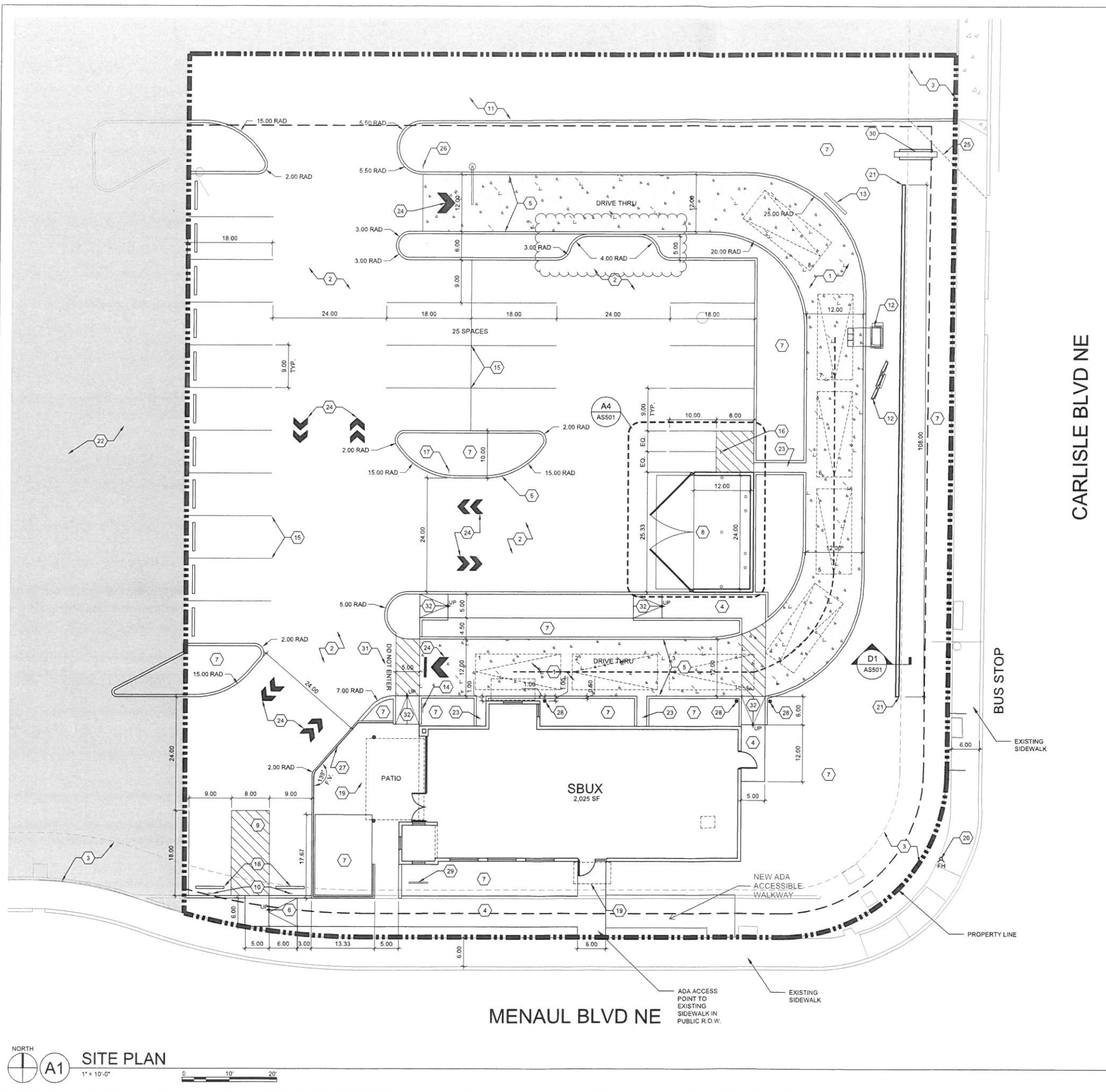
PROJECT NO. 19-0018.001

DRAWING NAME

AMENDED  
SITE DEVELOPMENT  
PLAN FOR  
SUBDIVISION

SHEET NO.





CITY OF ALBUQUERQUE  
PLANNING  
These plans have been reviewed  
for code compliance and are  
**APPROVED**  
The Approval of these plans shall not  
be construed to be a permit for any  
violation of any code or ordinance  
of this city.  
PERMIT # BP-2019-50025  
DATE 04/05/20

- ### GENERAL SHEET NOTES
1. THIS SUBMITTAL ILLUSTRATES THE DESIGN AND DEVELOPMENT INTENT FOR A NEW BUILDINGS AND ASSOCIATED SITE, LANDSCAPE, GRADING AND UTILITY IMPROVEMENTS.
  2. SITE LIGHTING WILL CONSIST OF A COMBINATION OF BUILDING MOUNTED LIGHT FIXTURES AND POLE MOUNTED FIXTURES.
  3. MECHANICAL UNITS WILL BE PLACED ON THE ROOF. MECHANICAL UNITS WILL BE SCREENED FROM VIEW WITH A COMBINATION OF STRATEGIC PLACEMENT AND ARCHITECTURAL SCREENING. SEE ARCHITECTURAL PLANS.
  4. PARKING AREA SHALL BE DESIGNED AND BUILT TO CURRENT DPM STANDARDS AND CITY OF ALBUQUERQUE ZONING CODE.
  5. ALL PARKING SPACES ARE 9'-0" WIDE UNLESS NOTED OTHERWISE.
  6. ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED ON A WORK ORDER.
  7. SEE CIVIL PLANS FOR ADDITIONAL GRADING, DRAINAGE AND UTILITY INFORMATION.
  8. ALL PEDESTRIAN ACCESS RAMPS WITHIN THE PUBLIC ROW AND CURBS TO BE CONSTRUCTED PER CITY OF ALBUQUERQUE STANDARDS.
  9. ALL LIGHT FIXTURES AND DESIGN SHALL COMPLY WITH THE NEW MEXICO NIGHT SKY PROTECTION ACT AND THE CITY OF ALBUQUERQUE ZONING CODE.
  10. FOR FIRE LANE MARKINGS, SEE CIVIL: FIRE 1 PLAN.
  11. ALL SIGNAGE SHOWN, SHALL BE SUBMITTED TO THE CITY AS A SEPARATE PERMIT.

- ### SHEET KEYED NOTES
1. CONCRETE PAVING
  2. ASPHALT PAVING
  3. EXISTING EASEMENT. SEE CIVIL
  4. CONCRETE SIDEWALK. SEE DETAIL A4/AS502.
  5. CONCRETE CURB AND GUTTER. SEE DETAIL A3/AS502.
  6. CONCRETE ACCESSIBLE RAMP. SEE DETAIL A5/AS502.
  7. LANDSCAPE
  8. TRASH ENCLOSURE. REFER SHEET A4/AS501
  9. ADA ACCESSIBLE AISLE. REAR AREA OF AISLE WILL HAVE 1'-0" HIGH, 2" WIDE LETTERS "NO PARKING".
  10. ADA ACCESSIBLE SIGN. SEE DETAIL C2/AS501
  11. CLEARANCE BAR. BY OTHERS
  12. MENU AND ORDER TAKING. BY OTHERS
  13. PRE-MENU. BY OTHERS
  14. "EXIT ONLY / THANK YOU" SIGN FOR DRIVE THRU EGRESS. BY OTHERS
  15. PARKING STRIPING
  16. MOTORCYCLE PARKING SIGN. SEE DETAIL C1/AS501
  17. STOP SIGN. SEE DETAIL C3/AS501
  18. PARKING BUMPER
  19. OVERHEAD STRUCTURE
  20. EXISTING FIRE HYDRANT
  21. SCREEN WALL. SEE DETAIL D1/AS501
  22. EXISTING PARKING LOT
  23. 2' CONCRETE RUNDOWN. REFER TO CIVIL
  24. PAVEMENT ARROWS. REFER TO T1 PACKAGE FOR DETAILS AND LOCATIONS
  25. CLEAR SIGHT TRIANGLE: LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 FEET AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE
  26. DRIVE THROUGH DIRECTIONAL SIGN. BY OTHERS
  27. 1 1/2" Ø STANDARD PIPE HANDRAIL. SEE DETAIL D3/AS501
  28. BOLLARD
  29. BIKE RACK
  30. PYLON SIGN. BY OTHERS
  31. 12" HIGH, 2" WIDE LETTERS SAYING "DO NOT ENTER" AT DRIVE-THRU EGRESS POINT
  32. ACCESSIBLE RAMP. SEE DETAIL A2/AS501.

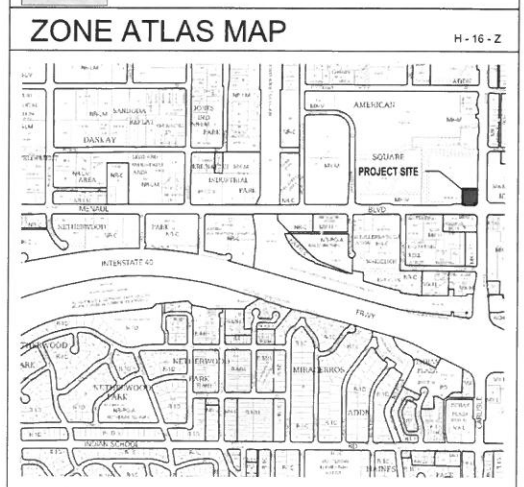
### PARKING CALCULATIONS

TOTAL PARKING SPACES REQUIRED PER CODE:

|  |                          |
|--|--------------------------|
| TOTAL BUILDING AREA: 2,025 SF                | TOTAL PATIO AREA: 415 SF |
| 2,025 SF @ 8 / 1,000 BUILDING SF = 17 SPACES |                          |
| 415 SF @ 5 / 1,000 PATIO SF = 3 SPACES       |                          |

|                        | REQUIRED | PROVIDED |
|------------------------|----------|----------|
| TOTAL PARKING STALLS   | 20       | 25       |
| HANDICAP PARKING STALL | 01       | 02       |
| MOTORCYCLES PARKING    | 01       | 02       |
| BICYCLE PARKING        | 01       | 04       |

- ### LEGEND
- PROPERTY LINE
  - REQUIRED SETBACK LINE
  - EXISTING EASEMENT
  - 12'-0" MAX HT. POLE LIGHT WITH FULL CUT-OFF
  - FH FIRE HYDRANT
  - 6" THICK CONCRETE PAVING REINFORCED WITH WELDED WIRE MESH
  - LANDSCAPE AREA
  - NOT IN CONTRACT



NORTH  
A1  
SITE PLAN  
1" = 10'-0"  
0 10' 20'

**DEKKER  
PERICH  
SABATINI**

ARCHITECTURE  
DESIGN  
INSPIRATION

ARCHITECT

STATE OF NEW MEXICO  
JEREMY A. SHELTON  
No. 4187  
12-18-19  
REGISTERED ARCHITECT

ENGINEER

PROJECT

STARBUCKS  
ONLY SHELL  
3535 MENAUL BLVD. NE  
ALBUQUERQUE, NM 87107

REVISIONS

△

△

△

△

DRAWN BY CT

REVIEWED BY JS, KK

DATE 11/27/2019

PROJECT NO. 19-0018

DRAWING NAME

SITE PLAN

SHEET NO.

**AS101**

OF

September 3, 2020

DEKKER  
PERICH  
SABATINI

Traffic Engineer  
City of Albuquerque  
Public Works Department  
Development & Building Services Division  
600 2<sup>nd</sup> Street NW  
Albuquerque, New Mexico 87102

**Re: Transportation Final Certificate of Occupancy  
Starbucks Shell  
3501 Menaul Blvd. NE**

To Whom It May Concern:

I, Jeremy Shelton, NMRA no.4187 of the firm Dekker/Perich/Sabatini, hereby certify that the above referenced project is substantially compliant in accordance with the approved Amended Site Development Plan dated February 10, 2020 (along with building permit site plan approved on April 6, 2020), per our visit to the site on September 01, 2020.

The following items were revised in the field due to incorrect information for the existing city sidewalk fronting Menaul:

1. Concrete walkway that is used for access to the building entry on the south side of the building was extended to the east in order to meet required code for accessibility from the City sidewalk along Menaul, to the southern entry doors.
2. Concrete walkway was rerouted to go around an existing tree that was located along the Menaul frontage.

The following items deviate from the original plan due to the concern that a car backing out of the parking stall will back into a vehicle in the adjacent drive thru lane due to inadequate landscape buffer (area clouded on site plan for clarity):

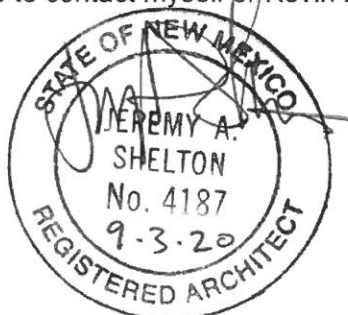
1. Back up area is approximately 3'-0" deep in lieu of the 5'-0" reflected in the plan.

This certification is submitted in support of a request for Transportation Final Certificate of Occupancy. The record information presented herein is not complete and intended only to verify substantial compliance of the traffic aspects of this project as they relate to the above mentioned building. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

If you have any questions, please feel free to contact myself or Kevin Kofchur at 761-9700, thank you.

Very truly yours,  
**Dekker/Perich/Sabatini Ltd.**

Jeremy Shelton AIA, CSI, LEED AP  
Principal



7601 JEFFERSON NE, SUITE 100  
ALBUQUERQUE, NM 87109

505.761.9700  
DPSDESIGN.ORG

ARCHITECTURE / DESIGN / INSPIRATION