

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

January 13, 2026

Jesse Attaway
ALJ Lindsey
100 N. 6th Street, Ste 501
Waco, TX 76701

**RE: Mister Car Wash
3535 Menaul Blvd. NE
Grading & Drainage Plan
Engineer's Stamp Date: 01/08/2026
Hydrology File: H16D083F
Case # HYDR-2025-00131**

Dear Mr. Attaway:

PO Box 1293

Based upon the information provided in your submittal received 01/08/2026, the Grading & Drainage Plan is approved for Demo Permit, Grading Permit, Paving Permit, and Building Permit.

Albuquerque

PRIOR TO CERTIFICATE OF OCCUPANCY:

NM 87103

1. Engineer's Certification, per the DPM Part 6-14 (F): *Engineer's Certification Checklist For Non-Subdivision* is required.

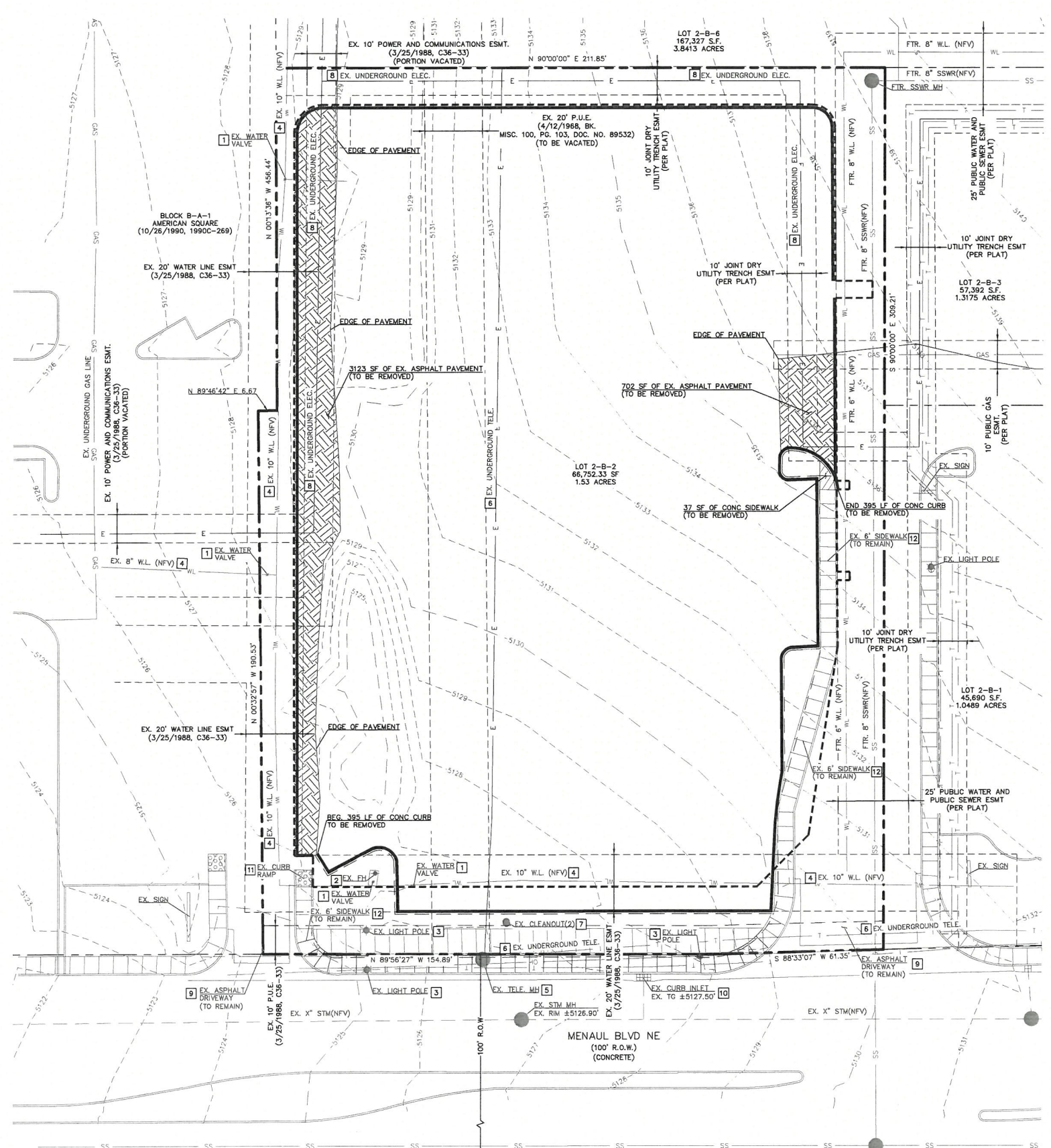
www.cabq.gov

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 505-924-3420) 14 days prior to any earth disturbance.

If you have any questions, please contact me at 505-924-3314 or amontoya@cabq.gov.

Sincerely,

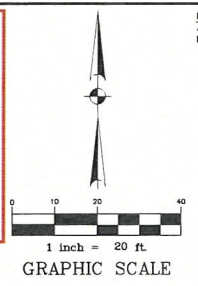
Anthony Montoya, Jr., P.E., C.F.M.
Senior Engineer, Hydrology
Planning Department, Development Review Services



City of Albuquerque
 Planning Department
 Development Review Services
HYDROLOGY SECTION
APPROVED

DATE: 1/13/2026
 BY: *[Signature]*
 Hydrology # H16D083F

THE APPROVAL OF THESE PLANS DOES NOT CONSTITUTE TO ANY CITY ORDINANCE OR STATE LAW, AND SHALL NOT PREVENT THE CITY OF ALBUQUERQUE FROM REQUIRING CONSTRUCTION FOR RECORD OR ENFORCEMENT IN ANY STATE OR FEDERAL COURT. THE CITY OF ALBUQUERQUE SHALL NOT BE RESPONSIBLE FOR ANY DAMAGE TO PERSONS OR PROPERTY THAT MAY BE CAUSED BY THE USE OF THESE PLANS. THE APPROVAL OF THESE PLANS DOES NOT EXEMPT THE USER FROM THE OBLIGATION TO OBTAIN ALL NECESSARY PERMITS FROM THE CITY OF ALBUQUERQUE.



BENCHMARK:
 ACS MONUMENT "10-117" HAVING AN ELEVATION OF 5166.734
 ELEVATION = 5166.734 FEET (NAVD88, 2003 ADJUSTMENT)

KEYED NOTES

EXISTING FEATURES TO BE REMOVED	EXISTING FEATURES TO REMAIN
EXISTING ASPHALT PAVEMENT (TO BE REMOVED)	WATER VALVE
EXISTING SIDEWALK (TO BE REMOVED)	FIRE HYDRANT
LIMITS OF DISTURBED AREA	LIGHT POLE
SAWCUT (FULL DEPTH)	WATER LINE
	TELEPHONE MANHOLE
	UNDERGROUND TELEPHONE LINE
	CLEANOUT
	UNDERGROUND ELECTRIC
	DRIVEWAY
	CURB INLET
	CURB RAMP
	SIDEWALK
	EXISTING ASPHALT PAVEMENT (TO REMAIN)

LEGEND

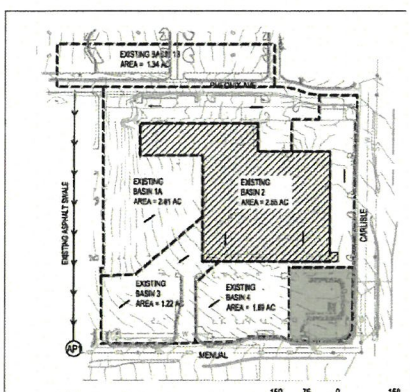
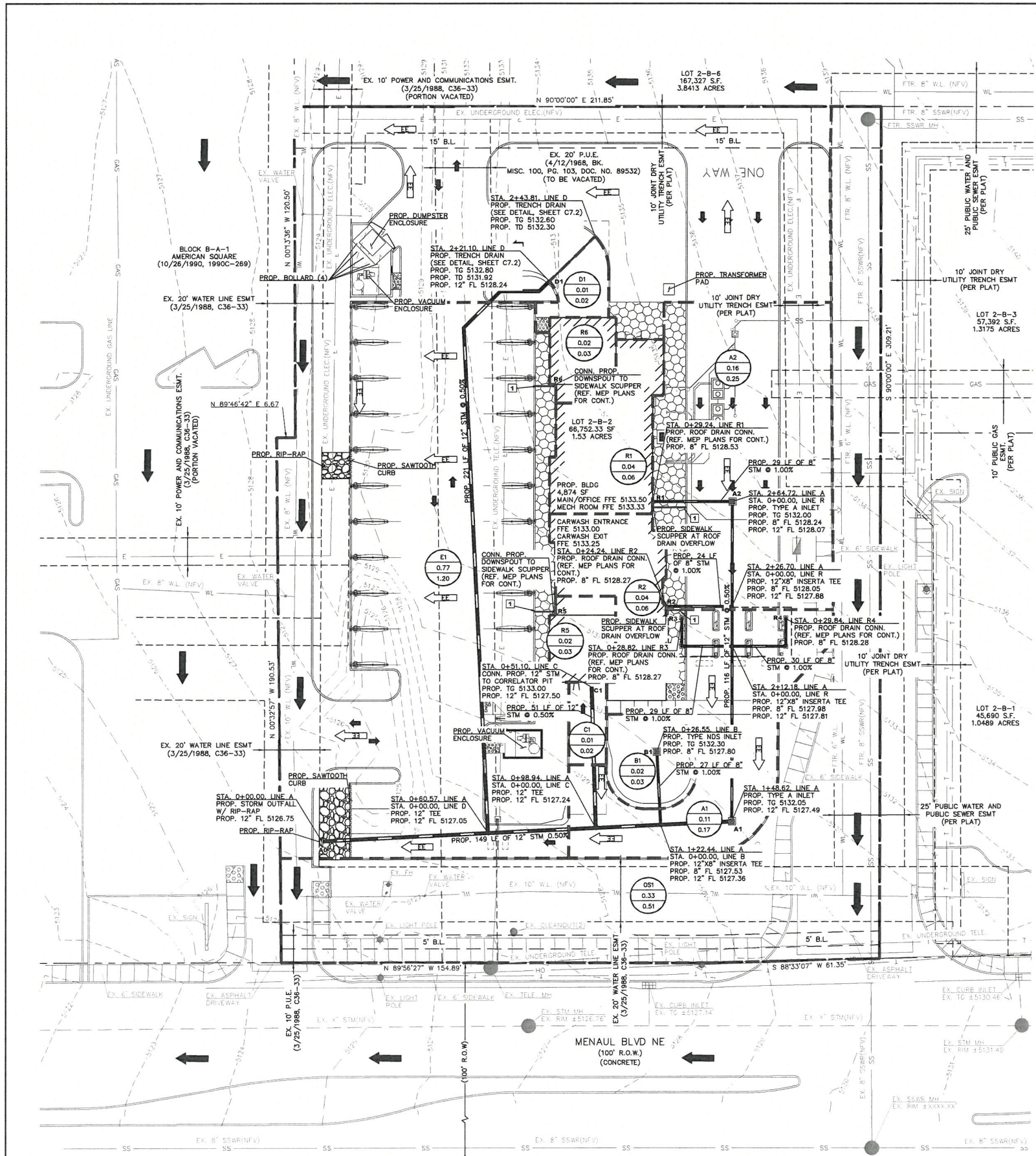
GAS	EXISTING GAS LINE
WL	EXISTING STORM SEWER
SS	EXISTING WATER LINE
OH	EXISTING SANITARY SEWER
100	EXISTING OH POWER LINE
99	EXISTING MANHOLE
	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR

- GENERAL NOTES**
- ALL SAWCUTS TO EXTEND FULL DEPTH OF EXISTING PAVEMENT, AND IN NO CASE SHALL THE PROPOSED CONCRETE PAVEMENT SECTION BE LESS THAN 24 INCHES IN WIDTH. CONTRACTOR TO SAWCUT ALONG GUTTER OF EXISTING PAVEMENT AND ADJUST LOCATION OF SAWCUT TO ENSURE ADEQUATE WIDTH OF PROPOSED PAVEMENT.
 - CONTRACTOR IS RESPONSIBLE FOR PROVIDING TRAFFIC CONTROL FOR ALL WORK TO BE DONE IN RIGHT-OF-WAY ACCORDING TO THE LATEST MUTCD REQUIREMENTS.
 - CONTRACTOR TO CLEAR AND GRUB PROJECT SITE AS NECESSARY FOR INSTALLATION OF PROPOSED FACILITIES. CLEARING AND GRUBBING CONSISTS OF REMOVAL AND DISPOSAL OF TREES, STUMPS, BRUSH, ROOTS, VEGETATION, LOGS, RUBBISH AND OTHER OBJECTIONABLE MATERIAL WITHIN THE DESIGNATED AREA. CONTRACTOR TO REMOVE STUMPS AND ROOTS WITHIN CLEARING LIMITS TO MINIMUM DEPTH OF TWO (2) FEET BELOW NATURAL GROUND ELEVATION. CLEARED AND GRUBBED MATERIAL BECOMES PROPERTY OF THE CONTRACTOR, TO BE REMOVED FROM THE WORK SITE OR DISPOSED OF AT NO EXTRA COST TO THE OWNER.
 - CONTRACTOR RESPONSIBLE TO CLEAR AND DEMO ALL WITHIN LIMITS OF DISTURBANCE LINE, AS NOTED.

MULTIPLE EXISTING PUBLIC AND PRIVATE UTILITY LINES EXIST ON THIS SITE. THE UTILITY LINES SHOWN ON THESE DRAWINGS REFLECT INFORMATION OBTAINED FROM RECORD DRAWINGS AND MAY NOT INCLUDE ALL EXISTING UTILITIES. CONTRACTOR IS TO USE EXTREME CAUTION DURING ALL CONSTRUCTION ACTIVITIES AND IS SOLELY RESPONSIBLE FOR DAMAGE TO EXISTING FACILITIES.

TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN NEW MEXICO OR BLAST - STOP CALL
 1-800-321-2537
 NEW MEXICO STATUTE 62-14(1978)
 MIN. 2 WORK DAYS NOTICE BEFORE EXCAVATION

DATE	
REVISIONS	
NO.	
 ALJ Lindsey Civil Engineers 19035 N. Eldorado Pkwy., Suite 200 Farmington, NM 87403 505.321.0805	
 Brett T. Hanrman BRETT T. HANRMAN NEW MEXICO LICENSED PROFESSIONAL ENGINEER 25690	
DATE	8 JANUARY 2026
PROJECT NO.	686-24-CV-008
DATE	JANUARY 2026
SCALE	1:20
DRAWN BY	JA
CHECKED BY	RB
DEMOLITION PLAN	
MISTER CAR WASH 3535 MENAUL BLVD., ALBUQUERQUE, NEW MEXICO 87107	
SHEET	C1.0



EXISTING CONDITIONS

EXISTING CONDITIONS:
 IN EXISTING CONDITIONS, THE SITE CONSISTS OF ONE LARGE BUILDING AND ASSOCIATED PARKING LOTS THAT GENERALLY ESCAPE FROM THE NORTHWEST CORNER TO THE SOUTHWEST CORNER. THE SITE IS OTHERWISE UNDEVELOPED AND ALL OF THE RUNOFF GENERATED BY THE SITE IS ULTIMATELY DISCHARGING INTO MENAUL BLVD. NO OFF-SITE DRAINAGE IS EXPECTED TO FLOW THROUGH THE SITE. THE ADJACENT EXISTING ESTABLISHMENT ON THE SOUTHEAST CORNER WILL REMAIN AND WILL CONTINUE TO DISCHARGE INTO MENAUL BLVD. THE NORTHERN MOST PORTION OF THE SITE, EXISTING BASIN 1A, WILL REMAIN IN SWITCHED DRAINAGE DURING DEVELOPMENT. EXISTING BASIN 1B DRAINS WEST OFFSITE ALONG PHOENIX AVENUE. EXISTING BASIN 2 AND 3 DISCHARGE ALONG THE WESTERN BOUNDARY OF THE SITE BEFORE ENTERING AN ASPHALT DRIVEWAY THAT CONVEYS THE FLOW INTO MENAUL BLVD. THESE TWO BASINS GENERATE 13 ACFS. EXISTING BASIN 4, WHICH ENCOMPASSES THE ENTIRETY OF THE EXISTING BUILDING ON SITE, IS SAID TO ROOF DRAIN STRAIGHT TO MENAUL BLVD. EXISTING BASIN 5 AND 6 DISCHARGE TO MENAUL BLVD. EXISTING BASIN 5 DISCHARGES TO MENAUL BLVD VIA AN EXISTING INLET. EXISTING BASIN 6 AND 7 DISCHARGE TO MENAUL BLVD. IN EXISTING CONDITIONS, THE SITE AS A WHOLE GENERATES 36.70 CFS AND DISCHARGES INTO MENAUL BLVD.

Carlsbad and Menaul
 Existing Basin Data Table (Assumed 100% Impervious Area)
 This table is based on page 3-10 of the DRP, Item 2

BASIN ID	Area (AC)	Land Treatment Percentages				CFS	CF
		A	B	C	D		
EXISTING BASIN 1A	2.81	0.0%	0.0%	0.0%	100.0%	13.16	13.16
EXISTING BASIN 1B	1.34	0.0%	0.0%	0.0%	100.0%	5.96	5.96
EXISTING BASIN 2	2.81	0.0%	0.0%	0.0%	100.0%	12.54	12.54
EXISTING BASIN 3	1.22	0.0%	0.0%	0.0%	100.0%	5.56	5.56
EXISTING BASIN 4	1.80	0.0%	0.0%	0.0%	100.0%	8.20	8.20
SUBTOTAL	8.48					36.70	36.70

Carlsbad and Menaul
 Proposed Lot Data Table (Assumed 90% Impervious Area)
 This table is based on page 3-10 of the DRP, Item 2

LOT ID	Area (AC)	Land Treatment Percentages				CFS	CF
		A	B	C	D		
LOT 1	1.56	0.0%	0.0%	100.0%	0.0%	0.84	0.84
LOT 2	1.56	0.0%	0.0%	100.0%	0.0%	0.84	0.84
LOT 3	1.22	0.0%	0.0%	100.0%	0.0%	0.60	0.60
LOT 4	3.80	0.0%	0.0%	100.0%	0.0%	2.08	2.08
LOT 5	1.59	0.0%	0.0%	100.0%	0.0%	0.73	0.73
LOT 6	1.22	0.0%	0.0%	100.0%	0.0%	0.60	0.60
SUBTOTAL	8.99					6.18	6.18

Carlsbad and Menaul
 Proposed Lot Data Table (Assumed 90% Impervious Area)
 This table is based on page 3-10 of the DRP, Item 2

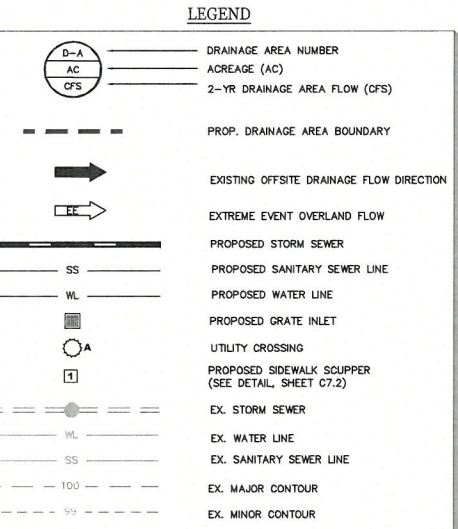
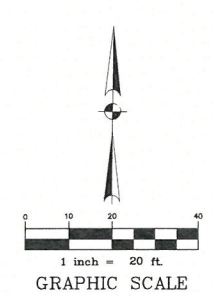
LOT ID	Area (AC)	Land Treatment Percentages				CFS	CF
		A	B	C	D		
LOT 1	1.56	0.0%	0.0%	100.0%	0.0%	0.84	0.84
LOT 2	1.56	0.0%	0.0%	100.0%	0.0%	0.84	0.84
LOT 3	1.22	0.0%	0.0%	100.0%	0.0%	0.60	0.60
LOT 4	3.80	0.0%	0.0%	100.0%	0.0%	2.08	2.08
LOT 5	1.59	0.0%	0.0%	100.0%	0.0%	0.73	0.73
LOT 6	1.22	0.0%	0.0%	100.0%	0.0%	0.60	0.60
SUBTOTAL	12.4					6.32	6.32

FEE IN LIEU
 1. THE OWNER HAS ELECTED TO PAY THE PAYMENT IN LIEU FOR THE REQUIRED STORMWATER QUALITY VOLUME.

REQUIRED SITE VOLUME:
 REQUIRED RUNOFF: BOTH PERCENTILE
 REQUIRED VOLUME: 0.26" * 48,332 SF = 1047 CF

SITE INFORMATION:
 PROPERTY AREA: 66,752 S.F./1.53 AC
 EXISTING ZONING: MX-M
 PROPOSED ZONING: MX-M
 PROPOSED USE: CAR WASH
 AREA OF SITE DISTURBANCE: 50,882 S.F./1.17 AC
 PROPERTY OWNER: MISTER CAR WASH

MULTIPLE EXISTING PUBLIC AND PRIVATE UTILITY LINES EXIST ON THIS SITE. THE UTILITY LINES SHOWN ON THESE DRAWINGS REFLECT INFORMATION OBTAINED FROM RECORD DRAWINGS AND MAY NOT INCLUDE ALL EXISTING UTILITIES. CONTRACTOR IS TO USE EXTREME CAUTION DURING ALL CONSTRUCTION ACTIVITIES AND IS SOLELY RESPONSIBLE FOR DAMAGE TO EXISTING FACILITIES.



- GENERAL NOTES**
- REFERENCE STORM SEWER NOTES SHEET CO.1 FOR PIPE MATERIAL REQUIREMENTS.
 - REFERENCE MEP PLANS FOR EXACT CONTINUATION OF PROPOSED STORM SEWER INSIDE OF BUILDING.
 - FOR TYPE A INLET, TYPE NDS INLET, TRENCH DRAIN, AND BACKFILL DETAILS, SEE SHEET C7.2.
 - CONTRACTOR TO VERIFY STORM SEWER CONNECTION FOR LOCATION AND DEPTH PRIOR TO ORDERING MATERIALS OR COMMENCEMENT OF WORK.
 - TOP OF GRATE ELEVATIONS SHOWN ARE FOR REFERENCE ONLY. SEE GRADING ON SHEET C7.2 FOR FINAL TOP OF GRATE ELEVATIONS.
 - ALL GRAVITY STORM LINES TO BE CONSTRUCTED STARTED FROM THE LOWEST POINT.

City of Albuquerque
 Planning Department
 Development Review Services
HYDROLOGY SECTION
APPROVED
 DATE: 1/13/2026
 BY: [Signature]
 HYDROLOGIST: H16D083F

CALL BEFORE YOU DIG
 TEXAS ONE CALL PARTICIPANTS REQUEST 72 HOURS NOTICE BEFORE YOU DIG, DRILL OR BLAST - STOP CALL
 TEXAS ONE CALL SYSTEM
 1-800-344-8377
 IN HOUSTON
 (713)-223-4567

REVISIONS

NO

DATE

ALJ Lindsey
 Civil Engineer
 1625 N. Eldorado Hwy, Suite 205
 31100, ALBUQUERQUE, NM 87102

Brett T. Harman
 NEW MEXICO
 LICENSED PROFESSIONAL ENGINEER
 25690

8 JANUARY 2026

ALL PROJECT NO: 666-24-01008
 DATE: JANUARY 2026
 SCALE: 1:20
 DRAWN BY: JA
 CHECKED BY: RAB

DRAINAGE PLAN

MISTER CARWASH
 3555 MENAUL BLVD.,
 ALBUQUERQUE, NEW MEXICO 87107

SHEET
C3.0

Storm Sewer Design Analysis
 #2566 Mister Carwash
 3535 Menaul Boulevard
 Albuquerque, New Mexico (Zone 3)

Design Frequency: 2 years
 100-Year Multiplier: 1.00
 Downstream 25-year WS ELEV: 5127.75' eel

Manhole No. From	Manhole No. to	Sta. Up (ft)	Sta. Down (ft)	Drainage Area (acres)	Total Area (acres)	Runoff Coefficient C	DA C * A	Total C * A	Time of Conc. (min)	Intensity I (in/hr)	Drainage Area Flow (cfs)	Total Flow (cfs)	Reach Length (ft)	Diameter (in)	Slope %	Manning's Roughness Coefficient n'	Design Capacity (cfs)	Design Velocity (ft/sec)	Full Pipe Flow		Drop from Manhole (ft)	Flowline Elevation Upstream (ft)	Flowline Elevation Downstream (ft)	Minimum Depth Ratio (ft or yd)	Minimum W.S. Elev. Downstream (ft)	Actual Depth Ratio (ft or yd)	Actual Flow per Barrel			Change in Head (ft)	Elevation of Hyd. Grad. Upstream (ft)	Elevation of Hyd. Grad. Downstream (ft)	Top of Pipe Elevation Upstream (ft)	Top of Pipe Elevation Downstream (ft)	Pipe / Grade Elevation Upstream (ft)	Pipe / Grade Elevation Downstream (ft)		
																			Area (sq ft)	Wetted Perimeter (ft)							Actual Velocity (ft/sec)	Area (sq ft)	Wetted Perimeter (ft)								Hydraulic Gradient %	
A2	A1	2+64.72	1+48.62	0.16	0.26	0.80	0.13	0.21	12.00	1.94	0.25	0.40	116	12	0.500	0.013	2.5	3.2	0.8	3.1	0.56	0.00	5128.07	5127.49	0.27	5127.76	0.31	2.04	0.20	1.18	0.334	0.39	5128.19	5127.60	5129.07	5128.49	5128.00	
A1	A0	1+48.62	0+00.00	0.11	0.41	0.80	0.09	0.33	12.00	1.94	0.17	0.64	149	12	0.500	0.013	2.5	3.2	0.8	3.1	0.74	0.00	5127.49	5126.75	0.34	5127.09	1.00	0.81	0.79	3.14	0.032	0.05	5127.80	5127.75	5128.49	5127.75	5127.00	5132.05
B1	A1	0+26.55	0+00.00	0.02	0.02	0.80	0.02	0.02	12.00	1.94	0.03	0.03	27	8	1.000	0.013	1.2	3.5	0.3	2.1	0.27	0.00	5127.80	5127.53	0.11	5127.60	0.40	0.24	0.13	0.91	0.006	0.00	5127.80	5127.60	5128.47	5128.20	5132.30	
C1	A1	0+51.10	0+00.00	0.01	0.01	0.80	0.01	0.01	12.00	1.94	0.02	0.02	51	12	0.500	0.013	2.5	3.2	0.8	3.1	0.26	0.00	5127.50	5127.24	0.05	5127.29	0.56	0.04	0.44	1.87	0.000	0.00	5127.80	5127.80	5128.50	5128.24	5133.00	
D1	A1	2+43.79	0+00.00	0.01	0.01	0.80	0.01	0.01	12.00	1.94	0.02	0.02	244	12	0.500	0.013	2.5	3.2	0.8	3.1	1.22	0.00	5128.24	5127.02	0.05	5127.07	0.78	0.02	0.65	2.14	0.000	0.00	5127.80	5127.80	5129.24	5128.02	5132.80	
R1	A2	0+29.24	0+00.00	0.04	0.04	0.80	0.03	0.03	12.00	1.94	0.06	0.06	29	8	1.000	0.013	1.2	3.5	0.3	2.1	0.29	0.00	5128.53	5128.24	0.15	5128.34	1.00	0.18	0.35	2.09	0.003	0.00	5128.91	5128.91	5129.20	5128.91	5133.00	
R2	A2	0+24.24	0+00.00	0.04	0.04	0.80	0.03	0.03	12.00	1.94	0.06	0.06	24	8	1.000	0.013	1.2	3.5	0.3	2.1	0.24	0.00	5128.29	5128.05	0.15	5128.15	0.20	1.25	0.05	0.62	0.344	0.08	5128.27	5128.19	5128.96	5128.72	5133.00	
R3	A2	0+26.82	0+00.00	0.01	0.01	0.80	0.01	0.01	12.00	1.94	0.02	0.02	29	8	1.000	0.013	1.2	3.5	0.3	2.1	0.29	0.00	5128.27	5127.96	0.07	5128.03	0.31	0.18	0.09	0.77	0.004	0.00	5128.19	5128.19	5128.94	5128.65	5133.00	
R4	A2	0+29.84	0+00.00	0.01	0.01	0.80	0.01	0.01	12.00	1.94	0.02	0.02	30	8	1.000	0.013	1.2	3.5	0.3	2.1	0.30	0.00	5128.26	5127.96	0.07	5128.03	0.31	0.18	0.09	0.77	0.004	0.00	5128.19	5128.19	5128.95	5128.65	5133.00	
R5	E1	0+00.00	0+00.00	0.02	0.02	0.80	0.02	0.02	12.00	1.94	0.03	0.03																										
R6	E1	0+00.00	0+00.00	0.02	0.02	0.80	0.02	0.02	12.00	1.94	0.03	0.03																										
E1	OUT	0+00.00	0+00.00	0.77	0.81	0.80	0.62	0.65	12.00	1.94	1.20	1.26																										
OS1	OS	0+00.00	0+00.00	0.33	0.33	0.80	0.26	0.26	12.00	1.94	0.51	0.51																										

Storm Sewer Design Analysis
 #2566 Mister Carwash
 3535 Menaul Boulevard
 Albuquerque, New Mexico (Zone 3)

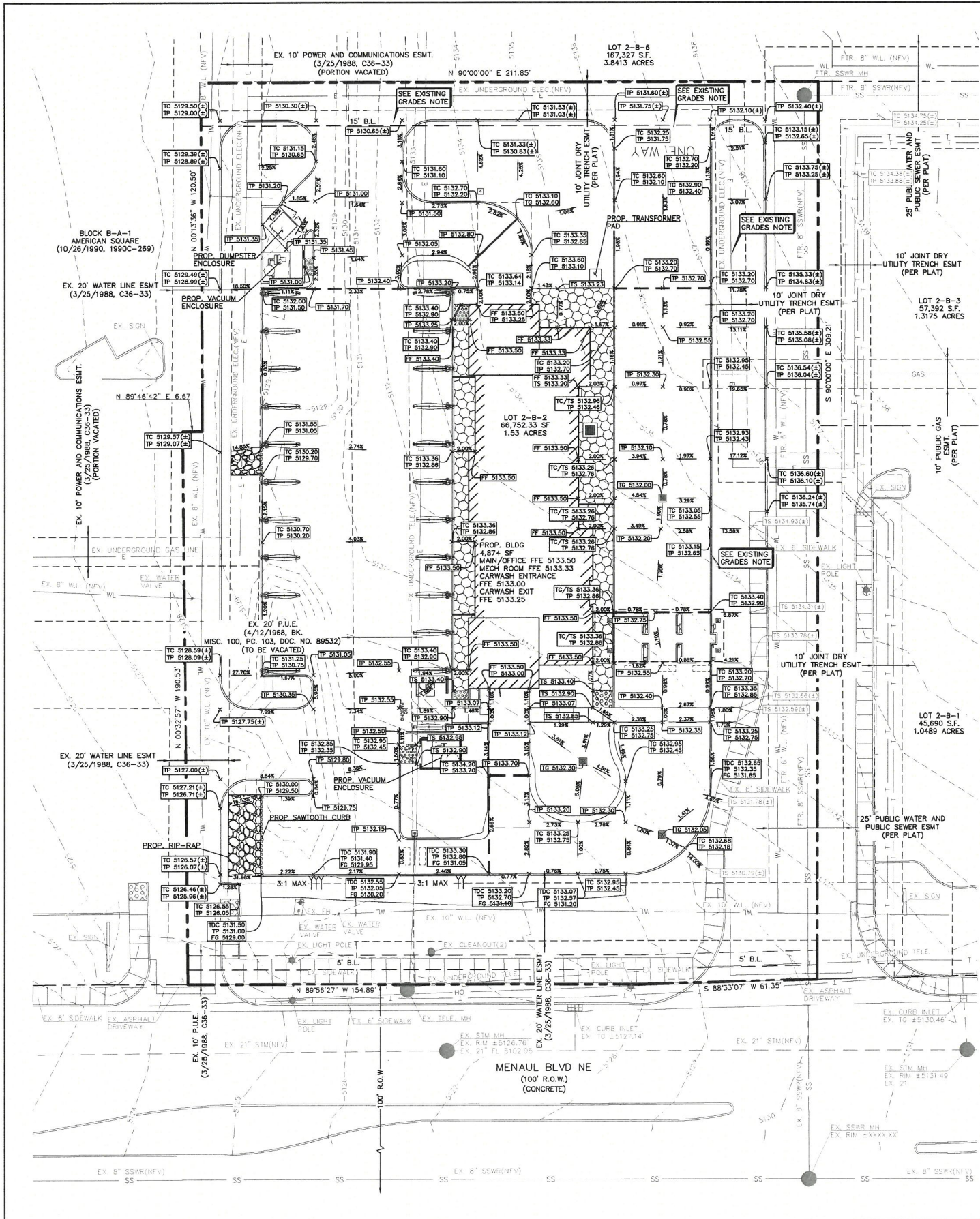
Design Frequency: 10 years
 100-Year Multiplier: 1.00
 Downstream 25-year WS ELEV: 5127.75' eel

Inchide No. From	Inchide No. to	Sta. Up (ft)	Sta. Down (ft)	Drainage Area (acres)	Total Area (acres)	Runoff Coefficient C	DA C * A	Total C * A	Time of Conc. (min)	Intensity I (in/hr)	Drainage Area Flow (cfs)	Total Flow (cfs)	Reach Length (ft)	Diameter (in)	Slope %	Manning's Roughness Coefficient n'	Design Capacity (cfs)	Design Velocity (ft/sec)	Full Pipe Flow		Drop from Manhole (ft)	Flowline Elevation Upstream (ft)	Flowline Elevation Downstream (ft)	Minimum Depth Ratio (ft or yd)	Minimum W.S. Elev. Downstream (ft)	Actual Depth Ratio (ft or yd)	Actual Flow per Barrel			Change in Head (ft)	Elevation of Hyd. Grad. Upstream (ft)	Elevation of Hyd. Grad. Downstream (ft)	Top of Pipe Elevation Upstream (ft)	Top of Pipe Elevation Downstream (ft)	Pipe / Grade Elevation Upstream (ft)	Pipe / Grade Elevation Downstream (ft)	
																			Area (sq ft)	Wetted Perimeter (ft)							Actual Velocity (ft/sec)	Area (sq ft)	Wetted Perimeter (ft)								Hydraulic Gradient %
A2	A1	2+64.72	1+48.62	0.16	0.26	0.80	0.13	0.21	12.00	3.12	0.40	0.65	116	12	0.500	0.013	2.5	3.2	0.8	3.1	0.56	0.00	5128.07	5127.49	0.34	5127.83	0.36	2.37	0.27	1.33	0.353	0.41	5128.28	5127.67	5129.07	5128.49	5132.00
A1	A0	1+48.62	0+00.00	0.11	0.41	0.80	0.09	0.33	12.00	3.12	0.27	1.02	149	12	0.500	0.013	2.5	3.2	0.8	3.1	0.74	0.00	5127.49	5126.75	0.44	5127.19	1.00	1.30	0.79	3.14	0.083	0.12	5127.87	5127.75	5128.49	5127.75	5132.05
B1	A1	0+26.55	0+00.00	0.02	0.02	0.80	0.02	0.02	12.00	3.12	0.05	0.05	27	8	1.000	0.013	1.2	3.5	0.3	2.1	0.27	0.00	5127.80	5127.53	0.13	5127.82	0.51	0.28	0.18	1.06	0.006	0.00	5127.87	5127.87	5128.47	5128.20	5132.30
C1	A1	0+51.10	0+00.00	0.01	0.01	0.80	0.01	0.01	12.00	3.12	0.02	0.02	51	12	0.500	0.013	2.5	3.2	0.8	3.1	0.26	0.00	5127.50	5127.24	0.07	5127.31	0.83	0.05	0.52	1.83	0.000	0.00	5127.87	5127.87	5128.50	5128.24	5133.00
D1	A1	2+43.79	0+00.00	0.01	0.01	0.80	0.01	0.01	12.00	3.12	0.02	0.02	244	12	0.500	0.013	2.5	3.2	0.8	3.1	1.22	0.00	5128.24	5127.02	0.07	5127.09	0.85	0.04	0.71	2.35	0.000	0.00	5127.87	5127.87	5129.24	5128.02	5132.80
R1	A2	0+29.24	0+00.00	0.04	0.04	0.80	0.03	0.03	12.00	3.12	0.10	0.10	29	8	1.000	0.013	1.2	3.5	0.3	2.1	0.29	0.00	5128.53	5128.24	0.19	5128.37	0.19	2.16	0.05	0.60	1.096	0.32	5128.69	5128.37	5129.20	5128.91	5133.00
R2	A2	0+24.24	0+00.00	0.04	0.04	0.80	0.03	0.03	12.00	3.12	0.10	0.10	24	8	1.000	0.013	1.2	3.5	0.3	2.1	0.24	0.00	5128.29	5128.05	0.19	5128.18	0.35	0.95	0.10	0.83	0.110	0.03	5128.31	5128.28	5128.96	5128.72	5133.00
R3	A2	0+26.82	0+00.00	0.01	0.01	0.80	0.01	0.01	12.00	3.12	0.02	0.02	29	8	1.000	0.013	1.2	3.5	0.3	2.1	0.29	0.00	5128.27	5127.96	0.09	5128.04	0.45	0.16	0.15	0.98	0.002	0.00	5128.28	5128.28	5128.94	5128.65	5133.00
R4	A2	0+29.84	0+00.00	0.01	0.01	0.80	0.01	0.01	12.00	3.12	0.02	0.02	30	8	1.000	0.013	1.2	3.5	0.3	2.1	0.30	0.00	5128.26	5127.96	0.09	5128.04	0.45	0.16	0.15	0.98	0.002	0.00	5128.28	5128.28	5128.95	5128.65	5133.00
R5	E1	0+00.00	0+00.00	0.02	0.02	0.80	0.02	0.02	12.00	3.12	0.05	0.05																									
R6	E1	0+00.00	0+00.00	0.02	0.02	0.80	0.02	0.02	12.00	3.12	0.05	0.05																									
E1	OUT	0+00.00	0+00.00	0.77	0.81	0.80	0.62	0.65	12.00	3.12	1.92	2.02																									
OS1	OS	0+00.00	0+00.00	0.33	0.33	0.80	0.26	0.26	12.00	3.12	0.82	0.82																									

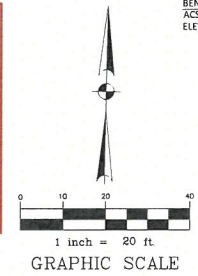
Storm Sewer Design Analysis
 #2566 Mister Carwash
 3535 Menaul Boulevard
 Albuquerque, New Mexico (Zone 3)

Design Frequency: 100 years
 100-Year Multiplier: 1.00
 Downstream 25-year WS ELEV: 5127.75' eel

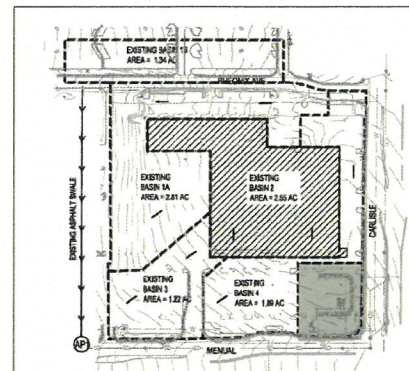
Inchide No. From	Inchide No. to	Sta. Up (ft)	Sta. Down (ft)	Drainage Area (acres)	Total Area (acres)	Runoff Coefficient C	DA C * A	Total C * A	Time of Conc. (min)	Intensity I (in/hr)	Drainage Area Flow (cfs)	Total Flow (cfs)	Reach Length (ft)	Diameter (in)	Slope %	Manning's Roughness Coefficient n'	Design Capacity (cfs)	Design Velocity (ft/sec)	Full Pipe Flow		Drop from Manhole (ft)	Flowline Elevation Upstream (ft)	Flowline Elevation Downstream (ft)	Minimum Depth Ratio (ft or yd)	Minimum W.S. Elev. Downstream (ft)	Actual Depth Ratio (ft or yd)	Actual Flow per Barrel			Change in Head (ft)	Elevation of Hyd. Grad. Upstream (ft)	Elevation of Hyd. Grad. Downstream (ft)	Top of Pipe Elevation Upstream (ft)	Top of Pipe Elevation Downstream (ft)	Pipe / Grade Elevation Upstream (ft)	Pipe / Grade Elevation Downstream (ft)	
																			Area (sq ft)	Wetted Perimeter (ft)							Actual Velocity (ft/sec)	Area (sq ft)	Wetted Perimeter (ft)								Hydraulic Gradient %
A2	A1	2+64.72	1+48.62	0.16	0.26	0.80	0.13	0.21	12.00	4.96	0.63	1.03	116	12	0.500	0.013	2.5	3.2	0.8	3.1	0.56	0.00	5128.07	5127.49	0.44	5127.93	0.57	2.28	0.45	1.89	0.231	0.27	5128.33	5128.06	5129.07	5128.49	5132.00
A1	A0	1+48.6																																			



City of Albuquerque
 Planning Department
 Development Review Services
Hydrology Section
APPROVED
 DATE: 1/13/2026
 BY: *[Signature]*
 Hydro No: H16D083F



BENCHMARK:
 ZCS MONUMENT "10" H17 HAVING AN ELEVATION OF 5166.734
 ELEVATION = 5166.734 FEET (NAVD83, 2001 ADJUSTMENT)



EXISTING CONDITIONS

EXISTING CONDITIONS
 IN EXISTING CONDITIONS, THE SITE CONSISTS OF ONE LARGE BUILDING AND ASSOCIATED PARKING LOTS THAT GENERALLY SLOPE FROM THE NORTHEAST CORNER TO THE SOUTHWEST CORNER. THE SITE IS 100% IMPERVIOUS AND ALL OF THE RUNOFF GENERATED BY THE SITE IS EXCLUSIVELY DISCHARGING INTO MENAUL BLVD. NO OFFSITE DRAINAGE IS EXPECTED TO FLOW THROUGH THE SITE. THE ADJACENT EXISTING ESTABLISHMENT ON THE SOUTHWEST CORNER WILL REMAIN AND WILL CONTINUE TO DISCHARGE INTO MENAUL BLVD. THE NORTHERN MOST PORTION OF THE SITE, EXISTING BASIN 1A, WILL REMAIN UNTOUCHED DURING DEVELOPMENT. EXISTING BASIN 1B DRAINS WEST OFFSITE ALONG PROHIBIT AVENUE. EXISTING BASIN 2A AND 3 DISCHARGE ALONG THE WESTERN BOUNDARY OF THE SITE BEFORE ENTERING AN ASPHALT DRIVEWAY THAT CONVEYS THE FLOW INTO MENAUL BLVD. THESE TWO BASINS GENERATE 11 ACRES. EXISTING BASIN 2, WHICH ENCOMPASSES THE ENTIRETY OF THE EXISTING BUILDING ON SITE, IS SAID TO DRAIN STRAIGHT TO MENAUL BLVD. PER THE PREVIOUS DRAINAGE PLAN FOR AMERICAN SQUARE. EXISTING BASIN 4 DISCHARGES TO MENAUL BLVD VIA AN EXISTING PILE. EXISTING BASIN 4 HAS A PROPOSED 1.18 CFS AND 1.80 CFS, RESPECTIVELY. IN EXISTING CONDITIONS, THE SITE IS A WHOLE GENERATES 2.8 CFS AND DISCHARGES INTO MENAUL BLVD.

Carlisle and Menaul
 Existing Basin Data Table (Assumed 100% Impervious Area)

BASIN ID	Area (AC)	Land Treatment Percentages				CFS
		A	B	C	D	
EXISTING BASIN 1A	2.61	0.0%	0.0%	0.0%	100.0%	13.16
EXISTING BASIN 2	2.65	0.0%	0.0%	0.0%	100.0%	11.04
EXISTING BASIN 3	1.22	0.0%	0.0%	0.0%	100.0%	5.20
EXISTING BASIN 4	1.88	0.0%	0.0%	0.0%	100.0%	8.20
SUBTOTAL	8.36					36.70

Carlisle and Menaul
 Inlet Conditions Data Table

Lot ID	Area (AC)	Land Treatment Percentages				CFS	AG (CF)	CP
		A	B	C	D			
Lot 1	1.06	0.0%	0.0%	100.0%	0.0%	0.04	0.00	
Lot 2	1.83	0.0%	0.0%	100.0%	0.0%	0.83	0.00	
Lot 3	1.22	0.0%	0.0%	100.0%	0.0%	0.59	0.00	
Lot 4	0.88	0.0%	0.0%	100.0%	0.0%	0.54	0.00	
Lot 5	1.18	0.0%	0.0%	100.0%	0.0%	0.73	0.00	
SITE SUBTOTAL	6.50					3.16	0.73	

Carlisle and Menaul
 Proposed Lot Data Table (Assumed 60% Impervious Area)

LOT ID	Area (AC)	Land Treatment Percentages				CFS	AG (CF)	CP
		A	B	C	D			
LOT 1	1.06	0.0%	0.0%	40.0%	60.0%	0.45	0.00	
LOT 2	1.83	0.0%	0.0%	40.0%	60.0%	1.29	0.00	
LOT 3	1.22	0.0%	0.0%	40.0%	60.0%	0.84	0.00	
LOT 4	0.88	0.0%	0.0%	40.0%	60.0%	0.54	0.00	
LOT 5	1.18	0.0%	0.0%	40.0%	60.0%	0.73	0.00	
LOT TOTAL	6.17					3.85	0.00	
SUBTOTAL	8.63					38.88		

FEE IN LIEU
 1. THE OWNER HAS ELECTED TO PAY THE PAYMENT IN LIEU FOR THE REQUIRED STORMWATER QUALITY VOLUME.

REQUIRED SITE VOLUME:
 REQUIRED RUNOFF: BOTH PERCENTILE
 REQUIRED VOLUME: 0.26" * 48,332 SF = 1047 CF

SITE INFORMATION:
 PROPERTY AREA: 66,752 S.F./1.53 AC
 EXISTING ZONING: MX-M
 PROPOSED ZONING: MX-M
 PROPOSED USE: CAR WASH
 AREA OF SITE DISTURBANCE: 50,882 S.F./1.17 AC
 PROPERTY OWNER: MISTER CAR WASH

LEGEND

- PROPOSED TYPE "A" INLET (SEE DETAIL, SHEET C7.2)
- TG TOP OF GRATE
- TP TOP OF PAVEMENT
- TC TOP OF CURB
- TS TOP OF SIDEWALK
- FG FINISHED FLOOR
- TR TOP OF RAMP
- EXISTING SANITARY OR STORM SEWER MANHOLE
- PROPOSED HIGH POINT OF PAVEMENT
- DRAINAGE FLOW ARROWS
- - - EXISTING MAJOR CONTOUR
- - - EXISTING MINOR CONTOUR

- GENERAL NOTES**
- REFER TO ARCHITECTURAL PLANS FOR GRADES INSIDE THE BUILDING ENVELOPE.
 - PAVING CONTRACTOR TO CONFIRM AND/OR ADJUST ALL EXISTING AND PROPOSED UTILITIES AND APPURTENANCES TO FINISHED GRADE PRIOR TO PLACEMENT OF ANY PAVING.
 - CONTRACTOR TO MATCH EXISTING TOP OF PAVEMENT AND CURB ELEVATIONS.
 - CONTRACTOR TO INSTALL NEW SIDEWALK IN ADA ACCESSIBLE ROUTES AT MAXIMUM 8% LONGITUDINAL SLOPE AND 2% CROSS SLOPE.
 - ALL GRAVITY STORM LINES TO BE CONSTRUCTED STARTING FROM THE LOWEST POINT.
 - CONTRACTOR TO VERIFY STORM SEWER CONNECTION FOR LOCATION AND DEPTH PRIOR TO ORDERING MATERIALS OR COMMENCEMENT OF WORK.
 - FOR TYPE "A" INLET, JUNCTION BOX, TRENCH DRAIN, AND BACKFILL DETAILS, SEE SHEET C7.2.
 - REFERENCE MEP PLANS FOR EXACT CONTINUATION OF PROPOSED STORM SEWER INSIDE OF BUILDING.
 - REFERENCE STORM SEWER NOTES SHEET C0.1 FOR PIPE MATERIAL AND REQUIREMENTS.

EXISTING GRADES NOTE
 EXISTING GRADES SHOWN ALONG THE NORTHERN ACCESS DRIVE AND EASTERN ACCESS DRIVE ARE BASED ON PROPOSED ELEVATIONS SHOWN IN THE PUBLIC INFRASTRUCTURE IMPROVEMENT PLANS TITLED, "CONSTRUCTION PLANS FOR CARLISLE AND MENAUL COMMERCIAL CENTER", BY BOHANNAN HUTSON, DATED, 10/08/2025. CONTRACTOR TO FIELD VERIFY ACCESS DRIVES PRIOR TO ORDERING MATERIALS OR COMMENCEMENT OF WORK. SHOULD DISCREPANCIES EXIST CONTRACTOR TO NOTIFY ENGINEER OF RECORD AND OWNERSHIP IMMEDIATELY TO RESOLVE.

MULTIPLE EXISTING PUBLIC AND PRIVATE UTILITY LINES EXIST ON THIS SITE. THE UTILITY LINES SHOWN ON THESE DRAWINGS REFLECT INFORMATION OBTAINED FROM RECORD DRAWINGS AND MAY NOT INCLUDE ALL EXISTING UTILITIES. CONTRACTOR IS TO USE EXTREME CAUTION DURING ALL CONSTRUCTION ACTIVITIES AND IS SOLELY RESPONSIBLE FOR DAMAGE TO EXISTING FACILITIES.

TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN NEW MEXICO OR BLAST - STOP CALL
 1-800-321-2537
 NEW MEXICO STATUTE 62-14(1978)
 MIN. 2 WORK DAYS NOTICE BEFORE EXCAVATION

DATE: _____
 REVISIONS: _____
 No. _____
 DATE: _____

ALJ Lindsey
 Civil Engineer
 1603 N. Eldorado Hwy, Suite 202
 87101, NM, USA

[Signature]
 BRETT T. HANRATTY
 NEW MEXICO
 25890
 LICENSED PROFESSIONAL ENGINEER

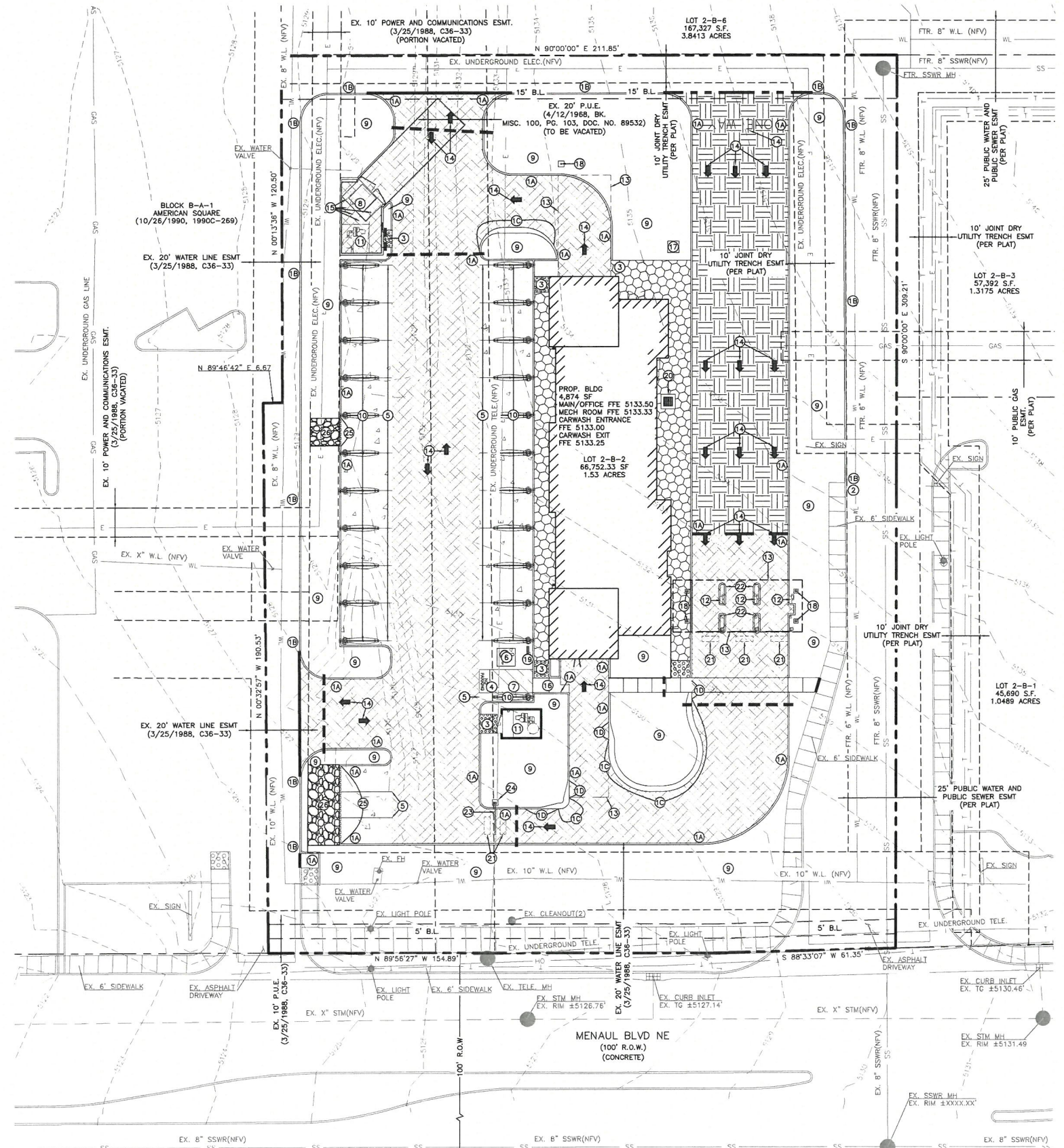
8 JANUARY 2026

ALL PROJECT NO: 6662450008
 DATE: JANUARY 2026
 SCALE: 1:20
 DRAWN BY: JAB
 CHECKED BY: JAB

GRADING PLAN

MISTER CARWASH
 3535 MENAUL BLVD.,
 ALBUQUERQUE, NEW MEXICO 87107

SHEET
C4.0

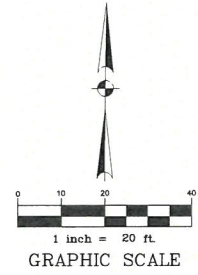


**City of Albuquerque
Planning Department
Development Review Services
HYDROLOGY SECTION**

APPROVED

DATE: 1/13/2026
BY: *[Signature]*
Hydrology # H16D083F

THE APPROVAL OF THESE PLANS DOES NOT CONSTITUTE A GUARANTEE OF THE ACCURACY OF THE INFORMATION PROVIDED HEREON. THE CITY OF ALBUQUERQUE AND THE HYDROLOGIST SHALL NOT BE RESPONSIBLE FOR ERRORS OR OMISSIONS IN THE PLANS, SPECIFICATIONS, OR CONSTRUCTION DOCUMENTS. SUCH APPROVED PLANS SHALL NOT BE CHANGED, MODIFIED OR ALTERED WITHOUT THE WRITTEN APPROVAL OF THE CITY OF ALBUQUERQUE.



BENCHMARK:
ACS MONUMENT "10-H17" HAVING AN ELEVATION OF 5166.734
ELEVATION = 5166.734 FEET (NAVD88, 2001 ADJUSTMENT)

- KEYED NOTES**
- 1A PROPOSED 6" MONOLITHIC CURB (SEE MISTER CARWASH DETAIL, SHEET C7.3)
 - 1B PROPOSED DOWELED ON CURB (SEE DETAIL, SHEET C7.0)
 - 1C PROPOSED ROLLED CURB (SEE MISTER CARWASH DETAIL, SHEET C7.3)
 - 1D PROPOSED TAPERED CURB (SEE MISTER CARWASH DETAIL, SHEET C7.3)
 - 2 TIE PROPOSED CURB INTO EXISTING CURB
 - 3 CONSTRUCT CURB RAMP (SEE DETAIL, SHEET C7.1)
 - 4 4" PAINTED WHITE STRIPING @ 2' O.C. @ 45'
 - 5 90° WHITE PARKING LOT STRIPING
 - 6 HANDICAP PARKING SYMBOL W/ SIGNAGE (SEE DETAIL, SHEET C7.1)
 - 7 HANDICAP ACCESSIBLE PARKING STALL STRIPING (DETAILS, SHEETS C7.1 & C7.3)
 - 8 DUMPSTER ENCLOSURE
 - 9 LANDSCAPED AREA (REF. LANDSCAPE PLANS)
 - 10 VACUUM STALL (SEE MISTER CARWASH DETAIL, SHEET C7.3)
 - 11 VACUUM ENCLOSURE (SEE MISTER CARWASH DETAIL, SHEET C7.3)
 - 12 POINT OF SALE (SEE MISTER CARWASH DETAIL, SHEET C7.3)
 - 13 CANOPY (SEE MISTER CARWASH DETAIL, SHEET C7.3)
 - 14 DIRECTIONAL ARROWS
 - 15 BOLLARD (SEE DETAIL, SHEET C7.0)
 - 16 SIDEWALK (WIDTH PER PLANS)
 - 17 TRANSFORMER PAD (REF. MEP PLANS)
 - 18 COLUMN (REF. ARCHITECTURAL PLANS)
 - 19 WHEEL STOP (SEE DETAIL, SHEET C7.1)
 - 20 TRASH PIT (REF. MEP PLANS)
 - 21 2' X 6' BAIL OUT GATE LOOP (REF. ARCHITECTURAL PLANS)
 - 22 42" ISLAND (SEE DETAIL, SHEET C7.3)
 - 23 BAIL LANE GATE (REF. ARCHITECTURAL PLANS)
 - 24 2' X 2' CONCRETE PAD WITH POWER AT BAIL LANE FOR GATE (REF. ARCHITECTURAL PLANS)
 - 25 SAWTOOTH CURB (SEE DETAIL, SHEET C7.0)
 - 26 RIP-RAP (SEE DETAIL, SHEET C7.0)
- PROPOSED 4.5" LIGHT DUTY ASPHALT PAVEMENT WITH STABILIZED SUBGRADE (SEE NOTE 2)
 PROPOSED 6" MEDIUM DUTY CONCRETE PAVEMENT WITH STABILIZED SUBGRADE (SEE NOTE 2)
 PROPOSED 7" HEAVY DUTY CONCRETE PAVEMENT WITH STABILIZED SUBGRADE (SEE NOTE 2)
 PROPOSED BUILDING PERIMETER SIDEWALK (REF. ARCHITECTURAL PLANS FOR SURFACE FINISH, SEE GRADING ON SHEET C4.0)
 PROPOSED IRRIGATION SLEEVE (SEE NOTE 3)
 PROP. CONCRETE TO EX. ASPHALT PAVEMENT CONNECTION (INCLUDING 2" SAWCUT, EXISTING PAVEMENT REMOVAL, EXISTING CURB REMOVAL, DOWEL INTO EXISTING PAVEMENT, CONCRETE PAVEMENT HEADER AND SEALED JOINTS)
 PROP. CONCRETE TO PROP. ASPHALT PAVEMENT CONNECTION (INCLUDING 2" SAWCUT, EXISTING PAVEMENT REMOVAL, EXISTING CURB REMOVAL, DOWEL INTO EXISTING PAVEMENT, CONCRETE PAVEMENT HEADER AND SEALED JOINTS)
 PROP. ASPHALT TO EX. ASPHALT PAVEMENT CONNECTION (INCLUDING 2" SAWCUT, EXISTING PAVEMENT REMOVAL, EXISTING CURB REMOVAL, DOWEL INTO EXISTING PAVEMENT, CONCRETE PAVEMENT HEADER AND SEALED JOINTS)
- EX. MAJOR CONTOUR
 EX. MINOR CONTOUR

- GENERAL NOTES**
1. REFER TO SITE ELECTRICAL PLAN FOR PROPOSED SITE LIGHTING LAYOUT.
 2. PAVEMENT AND SUBGRADE THICKNESS INCLUDED ON THIS SHEET FOR REFERENCE ONLY. REFER TO GEOTECHNICAL REPORT PREPARED BY NVS, DATED 11/01/2024 (PROJECT NO. 4430424.1509000.00).
 3. REFER TO IRRIGATION PLAN FOR EXACT LOCATION, SIZE, AND QUANTITY OF IRRIGATION SLEEVES.
 4. MAXIMUM CONTROL JOINT SPACING TO BE 15-FT AND EXPANSION JOINT SPACING TO BE 60-FT.
 5. CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4,000 PSI AT 28 DAYS AND ALL STEEL TO BE GRADE 60, UNLESS OTHERWISE SPECIFIED IN GEOTECHNICAL REPORT.
 6. PAVING CONTRACTOR TO CONFIRM AND/OR ADJUST ALL EXISTING AND PROPOSED UTILITIES AND APPURTENANCES TO FINISHED GRADE PRIOR TO PLACEMENT OF ANY PAVING.

PAVING DATA

LIGHT DUTY ASPHALT AREA AT COMPLETION	5,142 SF
MEDIUM DUTY CONCRETE AREA AT COMPLETION	5,631 SF
HEAVY DUTY CONCRETE AREA AT COMPLETION	15,420 SF
TOTAL PAVED AREA (ON SITE) AT COMPLETION	26,193 SF

MULTIPLE EXISTING PUBLIC AND PRIVATE UTILITY LINES EXIST ON THIS SITE. THE UTILITY LINES SHOWN ON THESE DRAWINGS REFLECT INFORMATION OBTAINED FROM RECORD DRAWINGS AND MAY NOT INCLUDE ALL EXISTING UTILITIES. CONTRACTOR IS TO USE EXTREME CAUTION DURING ALL CONSTRUCTION ACTIVITIES AND IS SOLELY RESPONSIBLE FOR DAMAGE TO EXISTING FACILITIES.

TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN NEW MEXICO OR BLAST - STOP CALL
1-800-321-2537
NEW MEXICO STATUTE 62-14(1978)
MIN. 2 WORK DAYS NOTICE BEFORE EXCAVATION

<p style="text-align: center;">ALJ Lindsey Civil Engineer 18035 N. Eschwege Pkwy, Suite 205 Tomball, TX 77377 281.307.5185</p> <p style="text-align: center;"><i>[Signature]</i> BRETT T. HANRATTY NEW MEXICO 25690 LICENSED PROFESSIONAL ENGINEER</p> <p style="text-align: center;">8 JANUARY 2026</p> <p>ALJ PROJECT NO. 688-24-01008 DATE: JANUARY 2026 SCALE: 1:20 DRAWN BY: JA CHECKED BY: RAB</p>	<p style="text-align: center;">PAVING PLAN</p> <p style="text-align: center;">MISTER CARWASH 3535 MENAUL BLVD., ALBUQUERQUE, NEW MEXICO 87107</p> <p style="text-align: center;">SHEET C5.0</p>
--	--