

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

October 28, 2025

Kelly Klein, P.E.
Bohannon Huston, Inc.
7500 Jefferson St. NE
Albuquerque, NM 87109

**RE: 3535 Menaul Blvd NE
Grading & Drainage Plan
Engineer's Stamp Date: 10/08/2025
Hydrology File: H16D083F
Case # HYDR-2025-00365**

Dear Ms. Klein:

Based upon the information provided in your submittal received 10/08/2025, the Grading & Drainage Plan is approved for Grading Permit and Building Permit and for action by the DHO for platting action. Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter.

PO Box 1293

PRIOR TO CERTIFICATE OF OCCUPANCY:

Albuquerque

1. Engineer's Certification, per the DPM Part 6-14 (F): *Engineer's Certification Checklist For Non-Subdivision* is required.

NM 87103

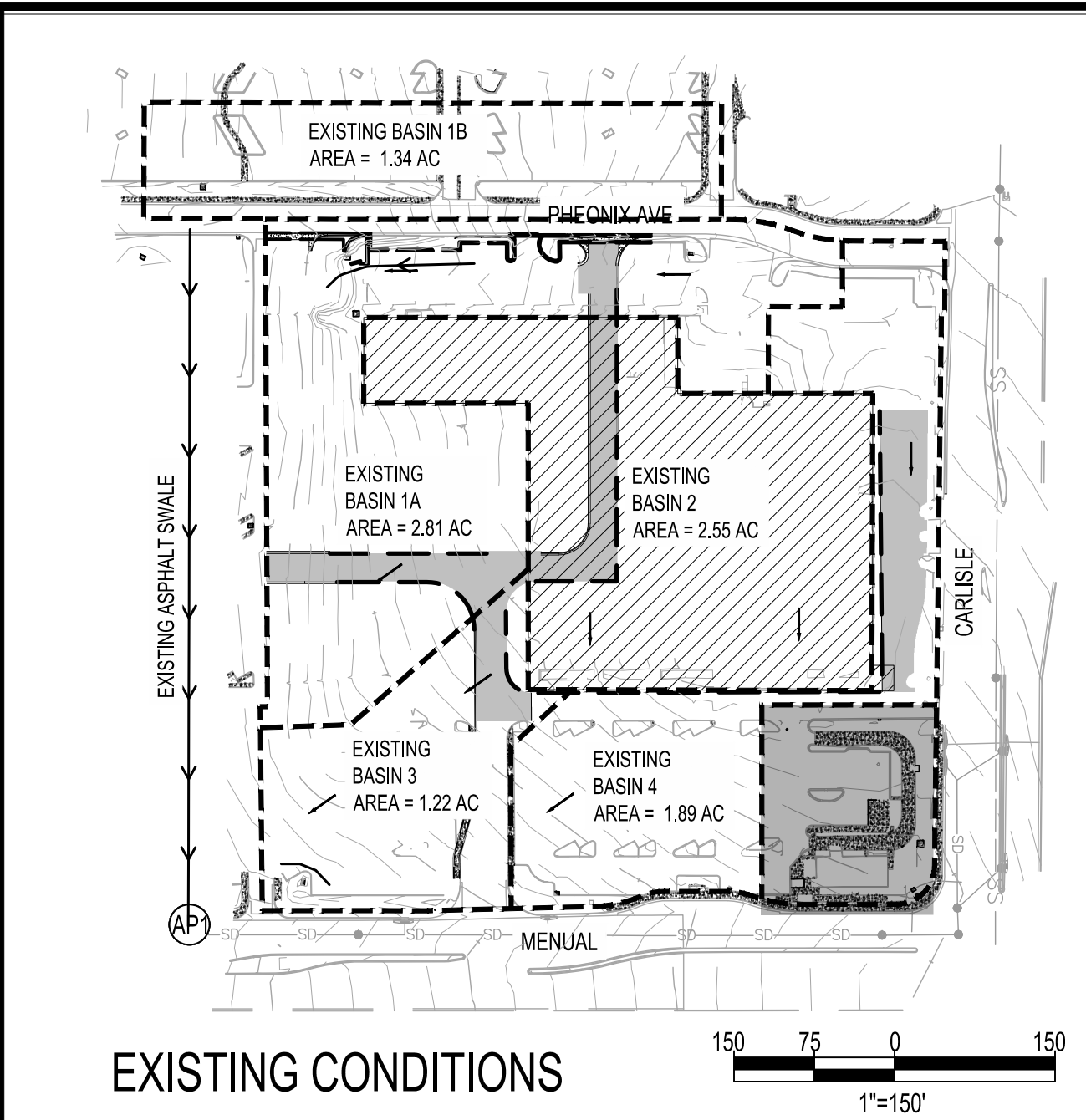
www.cabq.gov

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Dough Hughes, PE, jhughes@cabq.gov, 505-924-3420) 14 days prior to any earth disturbance.

If you have any questions, please contact me at 505-924-3314 or amontoya@cabq.gov.

Sincerely,

Anthony Montoya, Jr., P.E., CFM
Senior Engineer, Hydrology
Planning Department, Development Review Services



EXISTING CONDITIONS:

IN EXISTING CONDITIONS, THE SITE CONSISTS OF ONE LARGE BUILDING AND ASSOCIATED PARKING LOTS THAT GENERALLY SLOPES FROM THE NORTHEAST CORNER TO THE SOUTHWEST CORNER. THE SITE IS 100% IMPERVIOUS AND ALL OF THE RUNOFF GENERATED BY THE SITE IS ULTIMATELY DISCHARGING INTO MENAUL BLVD. NO OFFSITE DRAINAGE IS EXPECTED TO FLOW THROUGH THE SITE. THE ADJACENT EXISTING ESTABLISHMENT ON THE SOUTHEAST CORNER WILL REMAIN AND WILL CONTINUE TO DISCHARGE INTO MENAUL BLVD. THE NORTHERN MOST PORTION OF THE SITE, EXISTING BASIN 1B, WILL REMAIN IN UNTOUCHED DURING DEVELOPMENT. EXISTING BASIN 1B DRAINS WEST OFFSITE ALONG PHOENIX AVENUE. EXISTING BASIN 1A AND 3 DISCHARGE ALONG ON THE WESTERN BOUNDARY OF THE SITE BEFORE ENTERING AN ASPHALT SWALE THAT CONVEYS THE FLOW INTO MENAUL BLVD. THESE TWO BASINS GENERATE 17.45CFS. EXISTING BASIN 2, WHICH ENCOMPASSES THE ENTIRETY OF THE EXISTING BUILDING ON SITE, IS SAID TO ROOF DRAIN STRAIGHT TO MENAUL PER THE PRIOR DRAINAGE PLAN FOR AMERICAN SQUARE. EXISTING BASIN 4 DISCHARGES TO MENAUL VIA AN EXISTING INLET. EXISTING BASIN 2 AND 4 PRODUCE 11.04 CFS AND 8.20 CFS, RESPECTIVELY. IN EXISTING CONDITIONS, THE SITE AS A WHOLE GENERATES 36.70CFS AND DISCHARGES INTO MENAUL BLVD.

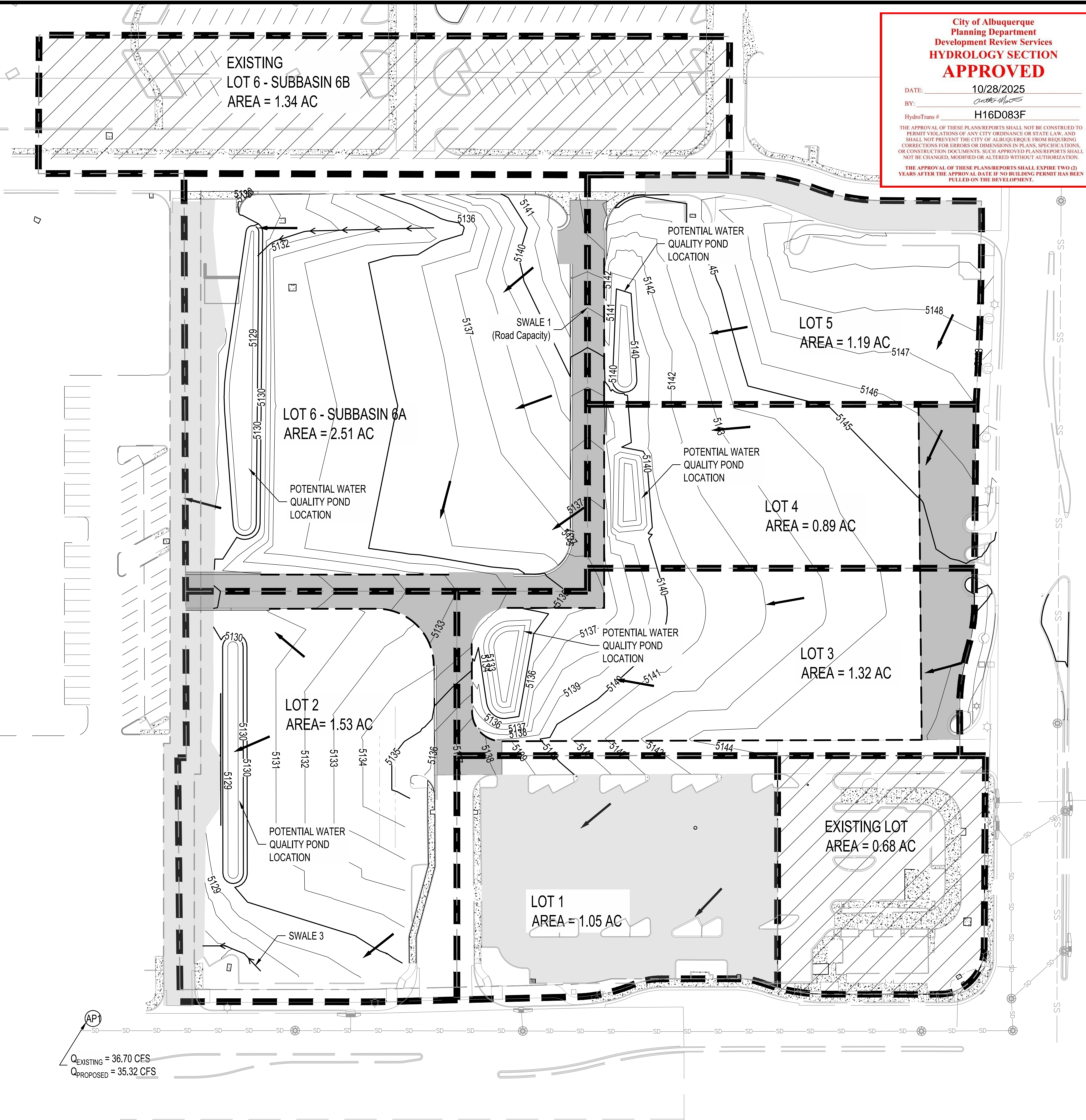
Carlisle and Menaul						
Existing Basin Data Table (Assumed 100% impervious area)						
This table is based on page 6-10 of the DPM, Zone: 2						
BASIN ID	Area AC	Land Treatment Percentages				Q(100yr) CFS
		A	B	C	D	
EXISTING BASIN 1A	2.81	0.0%	0.0%	0.0%	100.0%	12.16
EXISTING BASIN 2	2.55	0.0%	0.0%	0.0%	100.0%	11.04
EXISTING BASIN 3	1.22	0.0%	0.0%	0.0%	100.0%	5.29
EXISTING BASIN 4	1.89	0.0%	0.0%	0.0%	100.0%	8.20
SUBTOTAL	8.48	-	-	-	-	36.70
OFFSITE						
EXISTING BASIN 1B	1.34	0.0%	0.0%	0.0%	100.0%	5.80
SUBTOTAL	1.34	-	-	-	-	5.80

BACKBONE Conditions Data Table						
This table is based on page 6-10 of the DPM, Zone: 2						
Lot ID	Area (AC.)	Land Treatment Percentages				Q(2yr) (CFS)
		A	B	C	D	
SITE						
Lot 1	1.02	0.0%	0.0%	100.0%	0.0%	0.83
Lot 2	1.53	0.0%	0.0%	100.0%	0.0%	1.22
Lot 3	1.30	0.0%	0.0%	100.0%	0.0%	0.98
Lot 4	0.89	0.0%	0.0%	100.0%	0.0%	0.58
Lot 5	1.20	0.0%	0.0%	100.0%	0.0%	0.79
LOT 6						
Subbasin 6A	2.35	0.0%	0.0%	100.0%	0.0%	1.64
SITE	8.29	-	-	-	-	6.04

Carlisle and Menaul Allowable Fully Developed Flows								
Proposed Lot Data Table (Assumed 90% impervious area)								
This table is based on page 6-10 of the DPM, Zone: 2								
LOT ID	Area AC	Land Treatment Percentages				Q(100yr) CFS	V(100yr) AC-FT	SWQV ¹ CF
		A	B	C	D			
LOT 1	1.02	0.0%	0.0%	10.0%	90.0%	4.27	0.19	891
LOT 2	1.53	0.0%	0.0%	10.0%	90.0%	6.44	0.28	1302
LOT 3	1.30	0.0%	0.0%	10.0%	90.0%	5.44	0.24	1121
LOT 4	0.89	0.0%	0.0%	10.0%	90.0%	3.74	0.16	755
LOT 5	1.20	0.0%	0.0%	10.0%	90.0%	5.04	0.22	1013
LOT 6								
Subbasin 6A	2.35	0.0%	0.0%	10.0%	90.0%	9.88	0.43	2137
SUBTOTAL	8.29	-	-	-	-	34.81	-	-
OFFSITE								
LOT 6 Subbasin 6B	1.34	0.0%	0.0%	0.0%	100.0%	5.80	0.26	0
SUBTOTAL	1.34	-	-	-	-	5.80	-	-

¹ For redevelopment site, SWQV = 0.26 in

SWALE TABLE					
SWALE	SWALE TYPE	Swale Capacity	Actual Flow (CFS)	Depth of Flow (FT)	Velocity (FT/S)
SWALE 1	V swale d=0.8' n=0.017 S=1.0%	44.4	17.4	0.32	3.1



LEGEND

- 5320 PROPOSED INDEX CONTOUR
- 5319 PROPOSED INTERMEDIATE CONTOUR
- 5320 EXISTING INDEX CONTOUR
- 5319 EXISTING INTERMEDIATE CONTOUR
- BASIN LIMITS
- DIRECTION OF OFFSITE FLOW
- ASPHALT DRIVE ISLE TO BE INSTALLED WITH THIS BACKBONE PROJECT
- EXISTING ASPHALT DRIVE TO REMAIN
- EXISTING STORM DRAIN LINE
- EXISTING SANITARY SEWER LINE
- EXISTING STORM DRAIN INLET

BHI JOB NO. BH PROJECT NUMBER

City of Albuquerque
Planning Department
Development Review Services
HYDROLOGY SECTION
APPROVED

DATE: 10/28/2025
BY:
HydroTeam #: H16D083F

THE APPROVAL OF THESE PLANS/REPORTS SHALL NOT BE CONSTRUED TO PERMIT VIOLATIONS OF ANY CITY ORDINANCE OR STATE LAW, AND SHALL NOT PREVENT THE CITY OF ALBUQUERQUE FROM MAKING CORRECTIONS FOR ERRORS OR DIMENSIONS IN PLANS, SPECIFICATIONS, OR CONSTRUCTION DOCUMENTS. SUCH APPROVED PLANS/REPORTS SHALL NOT BE CHANGED, MODIFIED OR ALTERED WITHOUT AUTHORIZATION.
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DRAINAGE NARRATIVE

INTRODUCTION:

IN EXISTING CONDITIONS THE NEARLY 10 ACRE SITE CONSIST OF A SINGLE COMMERCIAL BUILDING. THE BUILDING WILL BE DEMOLISHED AND THE SITE WILL ULTIMATELY BE REPLATTED TO DIVIDE THE SITE INTO 6 LOTS. FOR THE DURATION OF THIS PROJECT THE EXISTING STARBUCK SITE LOCATED ON THE SOUTHEAST CORNER OF THE SITE WILL REMAIN AND ACCESS TO SAID ESTABLISHMENT WILL NEED TO BE MAINTAINED THROUGHOUT. INDIVIDUAL LOTS ARE NOT BEING DEVELOPED AT THIS TIME, ALL LOTS SHALL BE INDIVIDUALLY RESPONSIBLE FOR SITE SPECIFIC GRADING AND DRAINAGE PLANS INCLUDING STORM WATER QUALITY TREATMENT OR CASH-IN LIEU PAYMENTS WITH RESPECT TO THEIR SITE PLAN APPLICATION. INDIVIDUAL LOTS SHALL NEED TO CONFORM TO RELEASE RATES SPECIFIED IN THIS PLAN (LISTED AS "FULLY DEVELOPED CONDITIONS"). THE SITE HAS A PRELIMINARY APPROVED GRADING AND DRAINAGE PLAN DATED 10/16/2024. THIS GRADING PLAN ADHERES TO THAT APPROVED DRAINAGE PLAN.

METHODOLOGY:

THE 100YR 6 HOUR RUNOFF FLOWS ARE CALCULATED USING THE CFS/ACRE METHODOLOGY IN THE CITY OF ALBUQUERQUE'S DPM TABLE 6.2.14 FOR ZONE 2. THE SITE IS NOT WITHIN A DEFINED FLOOD ZONE.

PROPOSED BACKBONE CONDITIONS:

THE SITE WILL BE DEVELOPED FOR THE "BACKBONE" CONDITIONS. THE BACKBONE CONDITIONS CONSIST OF THE INSTALLATION OF A CENTRAL ASPHALT ROAD TO ACCESS THE INDIVIDUAL LOTS. IN ADDITION, THE INDIVIDUAL LOTS WILL BE MASS GRADED TO INCLUDE PONDS SIZED FOR THE 2 YEAR STORM EVENT PER SECTION 2.2.12 OF THE CONSTRUCTION GENERAL PERMIT. THE BACKBONE CONDITIONS WILL PRODUCE LESS FLOW THAN THE EXISTING CONDITIONS - THUS NO ADDITIONAL FLOW WILL ENTER MENAUL BLVD OR THE ADJOINING PROPERTY.

THE OVERALL GRADING SCHEME FOLLOWS THE EXISTING CONDITIONS.

LOTS 3, 4 AND 5 WILL DRAIN TOWARDS THE BACKBONE ROAD. THE BACKBONE ROAD WILL HAVE AN INVERTED CROWN AND WILL BE ABLE TO CONVEY THE LOTS' RUNOFF TOWARDS THE WEST SIDE OF THE PROPERTY BEFORE ENTERING MENAUL.

LOTS 2 AND 6 WILL ALSO DISCHARGE ON THE WEST SIDE OF THE PROPERTY BEFORE ENTERING MENAUL.

LOT 1 WILL REMAIN AS IN EXISTING CONDITIONS - IT DRAINS INTO AN EXISTING INLET IN THE SOUTHWEST CORNER OF THE SITE.

FULLY DEVELOPED CONDITIONS:

IN THE FULLY DEVELOPED CONDITIONS, IT IS BEING ASSUMED THAT ALL PROPOSED LOTS ARE 90% LAND TREATMENT D AND 10% LAND TREATMENT C. ALL LOTS WILL BE INDIVIDUALLY RESPONSIBLE FOR STORM WATER QUALITY OR CASH-IN LIEU.

IN THE FULLY DEVELOPED CONDITIONS, THE TOTAL DISCHARGE INTO MENAUL WILL BE LESS THAN THE EXISTING DISCHARGE PRESENT IN EXISTING CONDITIONS DUE TO THE COMBINATION OF AN INCREASE IN LANDSCAPED AREA AS WELL AS POTENTIAL PONDING RETENTION VOLUME.

CONCLUSION:

"PROPOSED BACKBONE" AND "FULLY DEVELOPED" CONDITIONS WILL FOLLOW EXISTING DRAINAGE PATTERNS AND DISCHARGE INTO MENAUL PER RATES SHOWN IN THE TABLES ON THIS SHEET.

ONCE THE SIDE IS FULLY DEVELOPED, THE SITE WILL DISCHARGE 34.81 CFS INTO MENAUL BLVD. THIS IS LESS THAN THE EXISTING CONDITIONS OF 36.70 CFS. INDIVIDUAL LOTS ARE NOT BEING DEVELOPED AT THIS TIME, ALL LOTS SHALL BE INDIVIDUALLY RESPONSIBLE FOR STORM WATER QUALITY TREATMENT OR CASH-IN LIEU. INDIVIDUAL LOTS SHALL NEED TO CONFORM TO RELEASE RATES SPECIFIED IN THIS PLAN. PONDS WILL BE CONSTRUCTED IN EACH LOT AND SIZED FOR THE 2 YEAR STORM EVENT PER SECTION 2.2.12 OF THE CONSTRUCTION GENERAL PERMIT. CROSS LOT DRAINAGE WILL BE ALLOWED AS THESE PONDS WILL FILL AND OVERFLOW BEFORE ULTIMATELY DISCHARGING INTO MENAUL BLVD (AS IN EXISTING CONDITIONS). WHEN AN INDIVIDUAL LOT IS DEVELOPED, THE LOT MAY RESIZE AND/OR RELOCATE THE POND ACCORDING TO THEIR SITE DRAINAGE PLAN BUT WILL NEED TO ACCOUNT FOR THEIR OWN DEVELOPED FLOWS AS WELL AS THE CROSS LOT FLOWS DRAINING INTO THEIR SITE. EACH LOT WILL HAVE AN ALLOWABLE PROPOSED FLOW AS DEFINED BELOW AND ON THE PROPOSED LOT DATA TABLE.



CALL NM ONE-CALL SYSTEM
SEVEN (7) DAYS PRIOR TO
ANY EXCAVATION



CITY OF ALBUQUERQUE
DEPARTMENT OF MUNICIPAL DEVELOPMENT
ENGINEERING DIVISION

CARLISLE AND MENAUL COMMERCIAL DEVELOPMENT
BACKBONE INFRASTRUCTURE
PROPOSED DMP

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	ZONE MAP NO.
		H-16
		CITY PROJECT NO.
		SHEET NO. 1 OF 1

CONSULTANTS

BENCH MARKS

SEAL

001 SUBMITTAL

NO.	DATE	DESCRIPTION	BY
		AS-BUILT INFORMATION	
		CONTRACTOR:	
		WORK STAKED BY:	
		INSPECTOR'S ACCEPTANCE BY:	
		FIELD VERIFICATION BY:	
		DRAWINGS CORRECTED BY:	

DESIGNED BY:

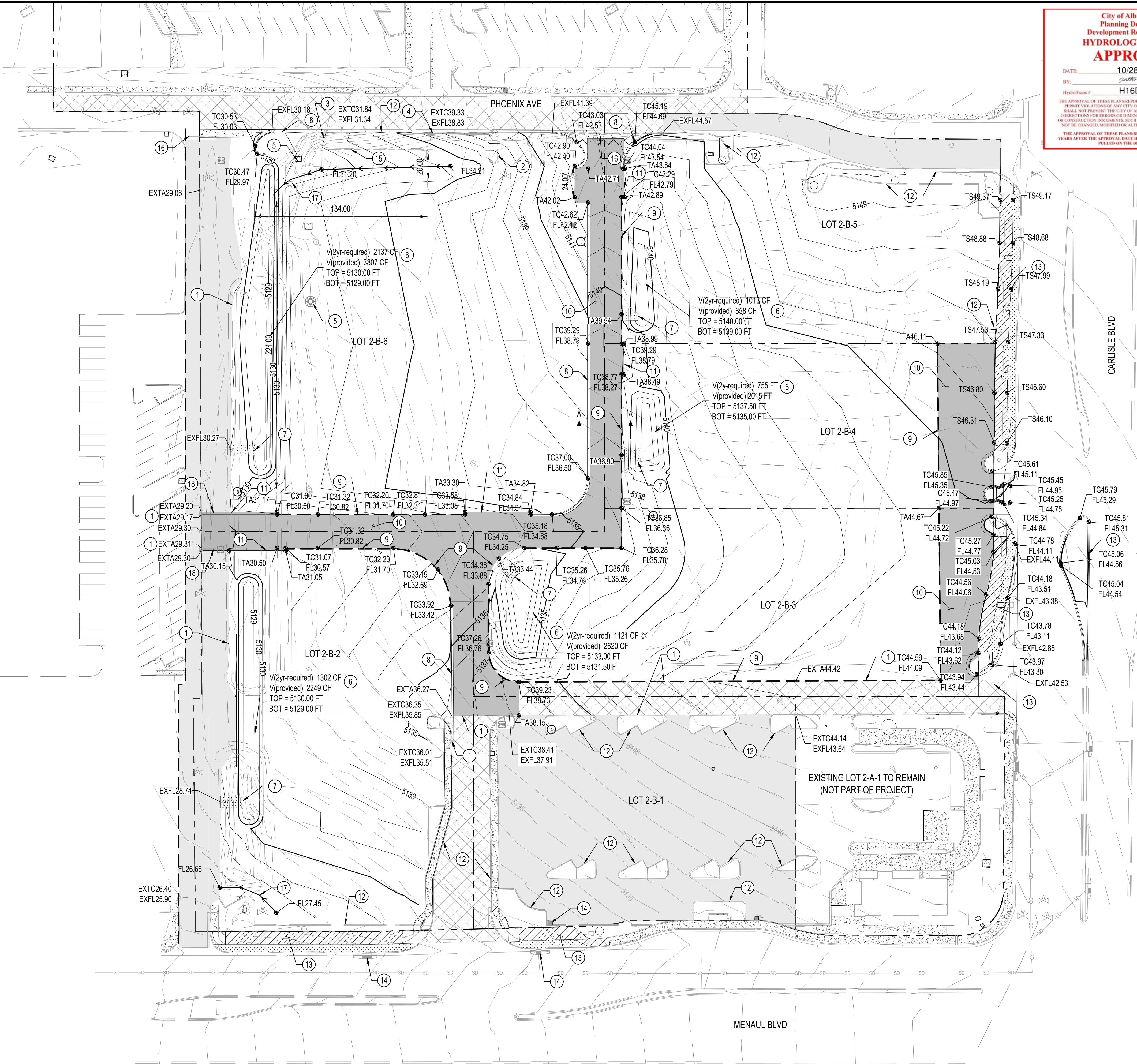
DRAWN BY: KK

CHECKED BY: JR

DATE 09/03/2024

Bohannon
Huston
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800.877.5332





City of Albuquerque
Planning Department
Development Review Services
HYDROLOGY SECTION
APPROVED

DATE: 10/28/2025
BY: *[Signature]*
HydroTrans #: H16D083F

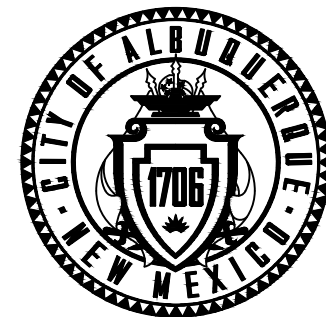
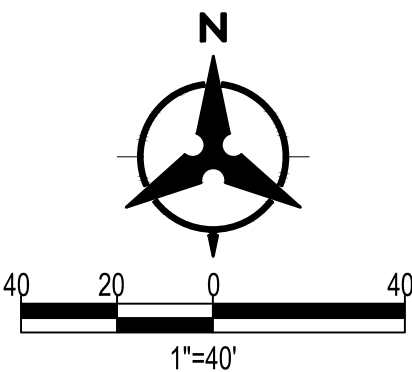
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KEYED NOTES

- MATCH EXISTING GRADES.
- REMOVE AND DISPOSE OF EXISTING CURB AND GUTTER.
- REMOVE AND DISPOSE OF EXISTING CONCRETE RUNDOWN.
- REMOVE AND DISPOSE OF EXISTING WOODEN RETAINING WALL.
- EXISTING UTILITY MANHOLE TO BE REMOVED BY UTILITY COMPANY.
- INSTALL INTERIM STORMWATER DETENTION POND FOR THE DURATION OF CONSTRUCTION. FUTURE LOT OWNERS TO PROVIDE STORMWATER QUALITY POND OR PAYMENT IN LIEU SPECIFIC TO THEIR SITE PLAN.
- INSTALL SPILLWAY PER DETAIL 3, SHEET 3B.
- INSTALL 6" CURB & GUTTER PER DETAIL 2, SHEET 3B.
- INSTALL TEMPORARY ASPHALT CURB PER COA STD DWG 2415B.
- PROPOSED ASPHALT PAVEMENT. SEE PAVING PLAN.
- INSTALL ASPHALT 2' BEYOND EXTENTS. SEE PAVING PLAN.
- EXISTING CURB & GUTTER, SIDEWALK TO REMAIN PROTECT IN PLACE.
- WORK WITHIN RIGHT OF WAY TO BE CONSTRUCTED WITH PUBLIC WORK ORDER PACKAGE.
- EXISTING INLET. PROTECT IN PLACE.
- REMOVE AND DISPOSE EXISTING CONCRETE RETAINING WALL. REGRADE AREA PER PLAN.
- INSTALL VALLEY GUTTER PER COA STD DETAIL 2420.
- INSTALL SWALE PER DETAIL, SHEET 3B.
- NEAT CUT CLEAN ASPHALT EDGE.

LEGEND

-
- INSTALL ASPHALT PAVEMENT SECTION PER PAVING PLAN



CITY OF ALBUQUERQUE
DEPARTMENT OF MUNICIPAL DEVELOPMENT
ENGINEERING DIVISION

**CARLISLE & MENAUL
OVERALL GRADING PLAN**

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	ZONE MAP NO. H-16-Z
		CITY PROJECT NO. 781092
		SHEET NO. 3A OF 2

CONSULTANTS

BENCH MARKS

SEAL

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NO.	DATE	DESCRIPTION	CONTRACTOR
		AS-BUILT INFORMATION	
		WORK STAKED BY:	DATE:
		INSPECTOR'S ACCEPTANCE BY:	DATE:
		FIELD VERIFICATION BY:	DATE:
		DRAWINGS CORRECTED BY:	DATE:

DESIGNED BY: KMK, JR
DRAWN BY: DO
CHECKED BY: KMK
DATE: 8/8/2025

**Bohannon
Huston**
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City of Albuquerque
Planning Department
Development Review Services
HYDROLOGY SECTION
APPROVED

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CONSULTANTS

BENCHMARKS

SEAL

001 SUBMITTAL


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		CONTRACTOR:	
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		FIELD VERIFICATION BY:	
		DATE:	
		DRAWINGS CORRECTED BY:	
		DATE:	

DESIGNED BY: KMK, JR

DRAWN BY: DO

CHECKED BY: KMK

DATE: 8/8/2025



CITY OF ALBUQUERQUE
DEPARTMENT OF MUNICIPAL DEVELOPMENT
ENGINEERING DIVISION

CARLISLE & MENAUL
GRADING DETAILS

DESIGN REVIEW COMMITTEE

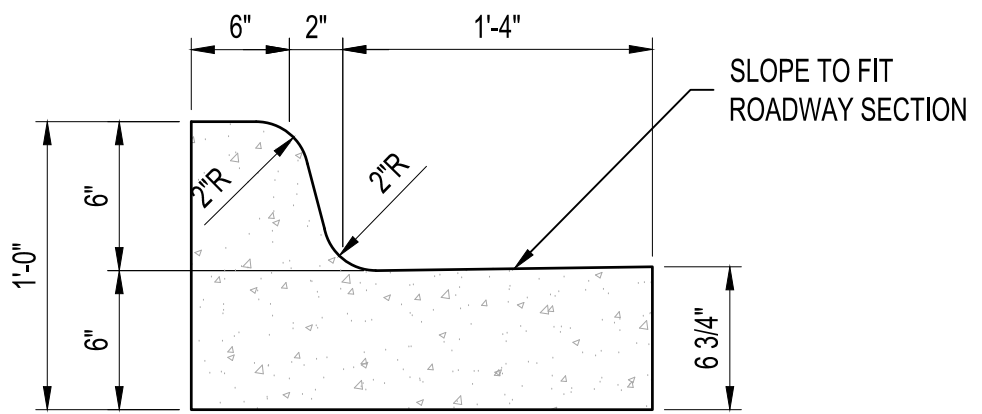
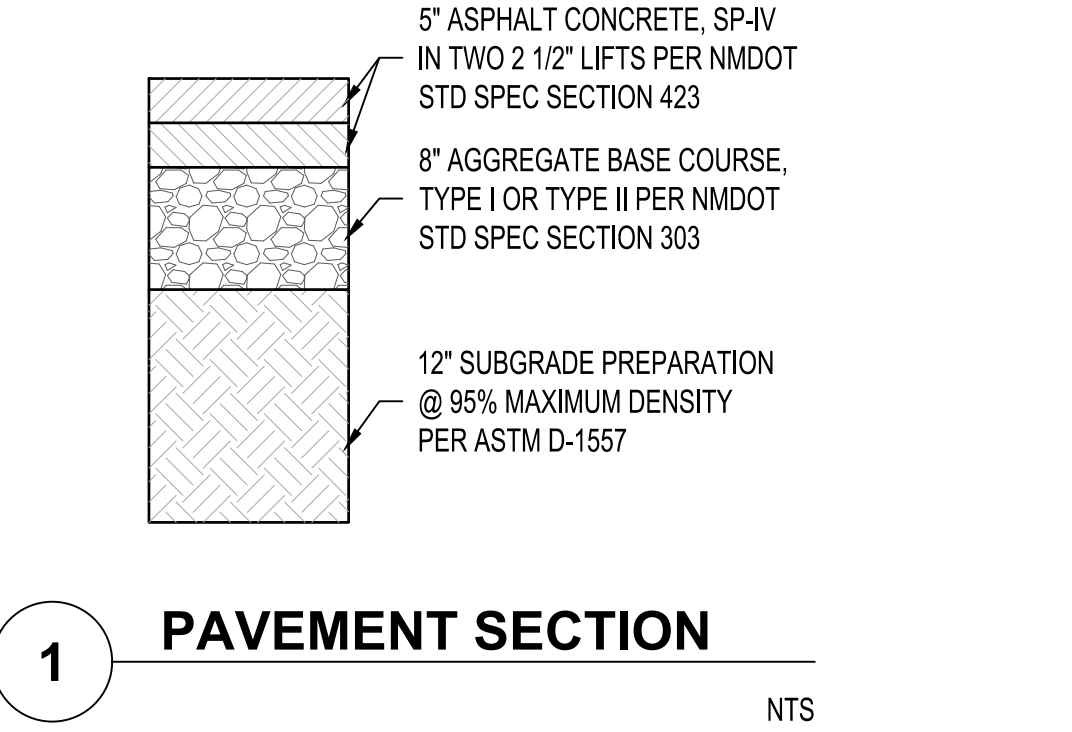
CITY ENGINEER APPROVAL

ZONE MAP NO.
H-16-Z

CITY PROJECT NO.
781092

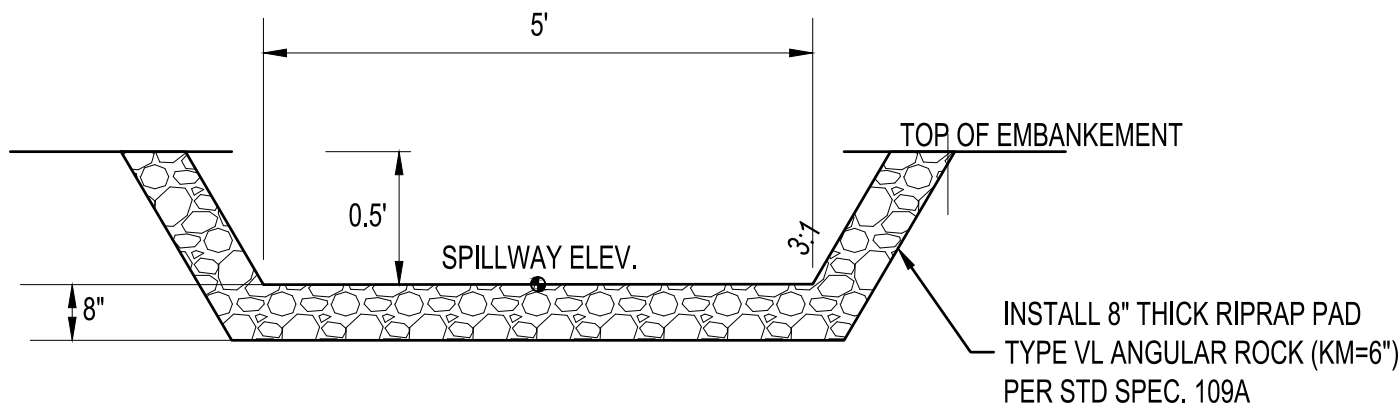
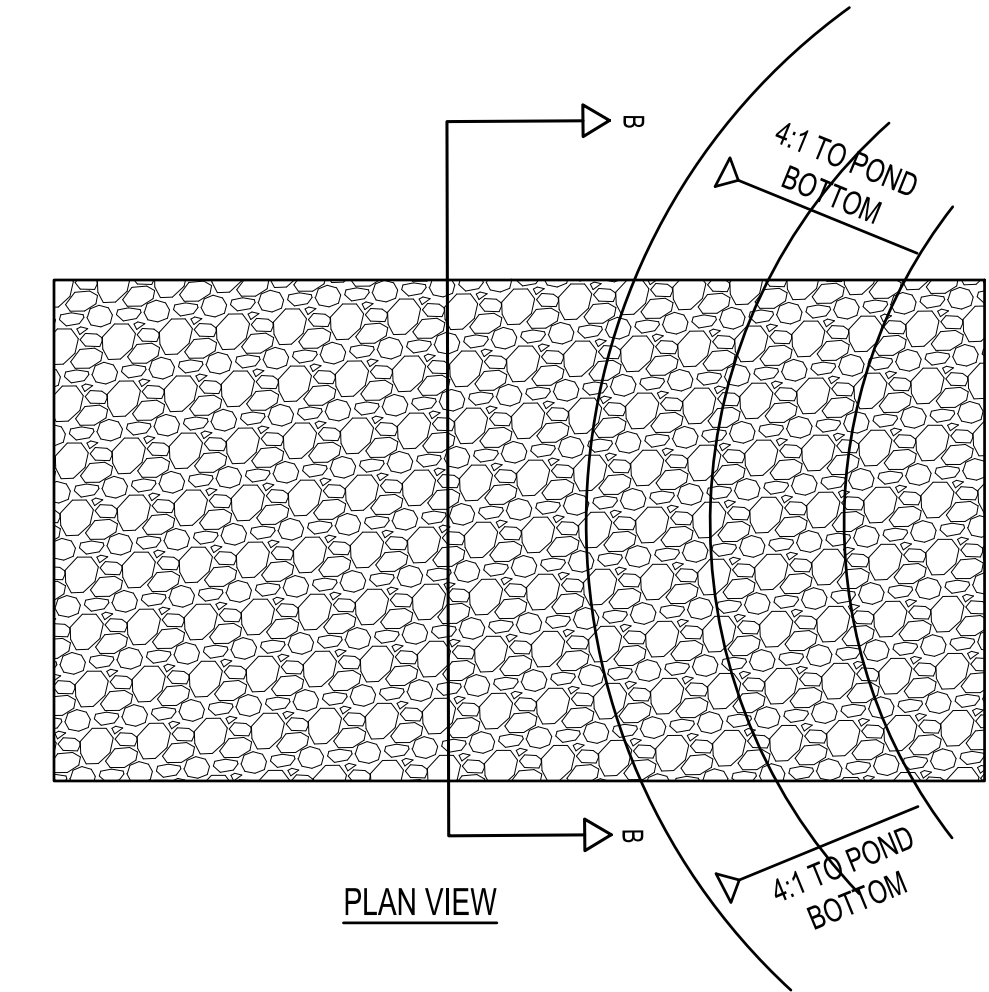
SHEET NO.
3B OF 12

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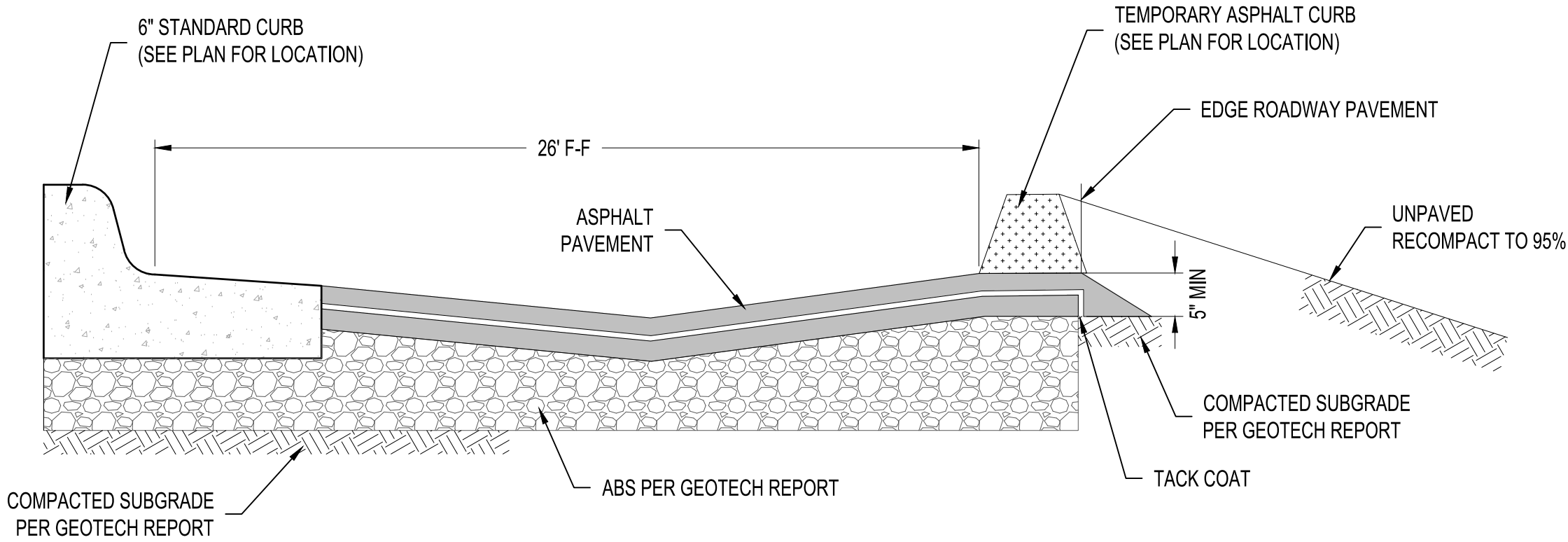
2 STANDARD 6" CURB & GUTTER

NTS



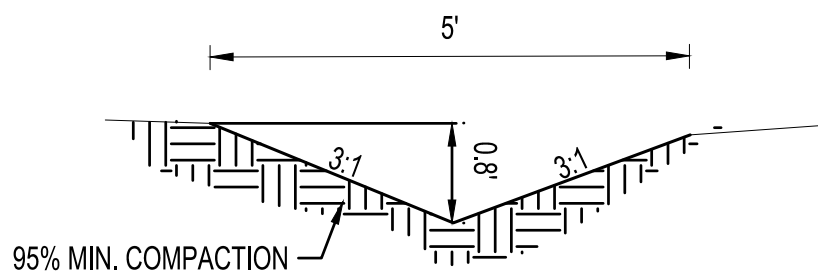
3 EMERGENCY OVERFLOW SPILLWAY

NTS



4 TYPICAL SECTION A-A (BACKBONE ASPHALT ROAD)

NTS



5 EARTHERN SWALE

NTS