

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

March 6, 2026

Jesse Attaway
ALJ Lindsey
100 N. 6th Street, Ste 501
Waco, TX 76701

**RE: Mister Car Wash
3535 Menaul Blvd. NE
Grading & Drainage Plan
Engineer's Stamp Date: 02/24/2026
Hydrology File: H16D083F2
Case # HYDR-2025-00131**

Dear Mr. Attaway:

PO Box 1293

Based upon the information provided in your submittal received 02/25/2026, the Grading & Drainage Plan is approved for Demo Permit, Grading Permit, Paving Permit, and Building Permit.

Albuquerque

PRIOR TO CERTIFICATE OF OCCUPANCY:

NM 87103

1. Engineer's Certification, per the DPM Part 6-14 (F): *Engineer's Certification Checklist For Non-Subdivision* is required.

www.cabq.gov

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 505-924-3420) 14 days prior to any earth disturbance.

If you have any questions, please contact me at 505-924-3314 or amontoya@cabq.gov.

Sincerely,

Anthony Montoya, Jr., P.E., C.F.M.
Senior Engineer, Hydrology
Planning Department, Development Review Services

GENERAL NOTES

- 1. THE LOCATION OF ALL UTILITIES SHOWN ON THESE PLANS WAS TAKEN FROM AVAILABLE SURVEY INFORMATION AND/OR EXISTING PUBLIC RECORDS. THE EXACT LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES MUST BE DETERMINED BY CONTRACTOR. IT SHALL BE THE DUTY AND RESPONSIBILITY OF THE CONTRACTOR TO ASCERTAIN WHETHER ANY ADDITIONAL FACILITIES OTHER THAN THOSE SHOWN ON THE PLANS MAY BE PRESENT. CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF A DISCREPANCY AND/OR CONFLICT IS DISCOVERED. CONTRACTOR WILL BE RESPONSIBLE FOR ANY DAMAGE CAUSED TO EXISTING UTILITIES DURING CONSTRUCTION.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL PUBLIC UTILITIES, PAVEMENT TO REMAIN, CURBS, SIDEWALKS, SIGNS, TREES, ETC., IN THE CONSTRUCTION OF THIS PROJECT. CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES. DURING CONSTRUCTION ALL DAMAGES SHALL BE REPAIRED IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE OWNING/OPERATING AUTHORITY, WITH NO COST TO THE CITY, COUNTY, PRIVATE UTILITY OWNERS, ENGINEER, OR THE OWNER.
3. CONTRACTOR SHALL VERIFY LOCATION OF UNDERGROUND UTILITY LINES AND SHALL NOTIFY THE FOLLOWING AGENCIES 72 HOURS PRIOR TO EXCAVATING OR AUGERING NEAR EXISTING FACILITIES.
A. ONE CALL SYSTEM AT 811
4. PRIOR TO ANY CONSTRUCTION ACTIVITY, CONTRACTOR IS TO ACQUIRE ALL REQUIRED CONSTRUCTION PERMITS FROM APPROPRIATE AUTHORITIES. CONTRACTOR SHALL GIVE AT LEAST 48 HOURS NOTICE TO ALL AUTHORIZED INSPECTORS, SUPERINTENDENTS, OR PERSONS IN CHARGE OF PUBLIC AND PRIVATE UTILITY LINES AFFECTED BY HIS OPERATIONS PRIOR TO COMMENCEMENT OF WORK.
5. THE ENGINEER AND THE CITY/COUNTY OR MUD SHALL BE NOTIFIED AT LEAST 48 HOURS PRIOR TO THE CONTRACTOR CONNECTING TO ANY EXISTING UTILITY LINES.
6. NO CONNECTIONS SHALL BE MADE TO EXISTING PUBLIC WATER LINES OR PUBLIC SANITARY SEWERS UNTIL ALL PROPOSED WATER OR SEWER LINES HAVE BEEN THOROUGHLY CLEANED, TESTED (AS REQUIRED) AND APPROVED BY THE APPROPRIATE AUTHORITIES.
7. HORIZONTAL AND VERTICAL INFORMATION REGARDING UTILITY CONNECTIONS TO PROPOSED BUILDINGS ON THIS SET OF PLANS TERMINATE AT FIVE (5) FEET FROM THE NEAREST BUILDING WALL.
8. ALL MANHOLES, CLEAN-OUTS, VALVE BOXES, FIRE HYDRANTS, ETC MUST BE ADJUSTED TO PROPER LINE AND GRADE BY THE CONTRACTOR PRIOR TO AND AFTER THE PLACING OF PERMANENT PAVING. UTILITIES MUST BE MAINTAINED TO PROPER LINE AND GRADE DURING CONSTRUCTION OF THE PAVING FOR THIS DEVELOPMENT.
9. ALL APPURTENANCES WILL BE ASSUMED TO BE IN GOOD CONDITION UNLESS OTHERWISE CONFIRMED IN WRITING PRIOR TO COMMENCEMENT OF WORK.
10. OVERHEAD LINES EXIST ON THE PROPERTY. WE HAVE NOT ATTEMPTED TO MARK THOSE LINES SINCE THEY ARE CLEARLY VISIBLE, BUT YOU SHOULD LOCATE THEM PRIOR TO BEGINNING CONSTRUCTION.
11. CONTRACTOR SHALL COMPLY WITH ALL FEDERAL, STATE, AND LOCAL LAWS AND ALL REGULATIONS OF UTILITY COMPANIES CONCERNING SAFETY AND HEALTH PRACTICES. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING SITE TRENCH SAFETY REQUIREMENTS IN ACCORDANCE WITH CITY/COUNTY STANDARDS AND O.S.H.A. STANDARDS FOR ALL EXCAVATION.
12. PRIOR TO THE START OF CONSTRUCTION, OWNER AND CONTRACTOR ARE RESPONSIBLE FOR SUBMITTING THE "NOTICE OF INTENT" (N.O.I.) AND ANY ADDITIONAL INFORMATION REQUIRED BY STATE OR LOCAL LAW. UPON COMPLETION OF THE PROJECT, OWNER AND CONTRACTOR ARE RESPONSIBLE FOR SUBMITTING THE "NOTICE OF TERMINATION" (N.O.T.).
13. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING POSITIVE DRAINAGE AT ALL TIMES DURING CONSTRUCTION
14. CONTRACTOR SHALL REMOVE ALL MUD, DIRT, AND DEBRIS DEPOSITED OR DROPPED ON THE EXISTING ROADWAY AT THE END OF EACH WORK DAY. MATERIAL THAT IS HAZARDOUS TO TRAFFIC OR OTHERWISE PRESENTS A SAFETY CONCERN, SHALL BE REMOVED IMMEDIATELY.
15. CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL STATE AND LOCAL REGULATIONS RELATED TO STORM WATER POLLUTION AND QUALITY. REFER TO EROSION CONTROL PLAN.
16. CONTRACTOR SHALL REESTABLISH ALL TURF DISTURBED DURING CONSTRUCTION TO ACCEPTABLE OPERATING CONDITION, AS DETERMINED BY OWNER AND/OR REGULATORY AGENCIES.
17. CONTRACTOR SHALL MAINTAIN A WORKSITE FREE OF TRASH AND DEBRIS.
18. CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING TREES. NO TREE SHALL BE REMOVED OR ALTERED WITHOUT WRITTEN PERMISSION FROM OWNER OR ENGINEER. EQUIPMENT OR MATERIALS SHALL NOT BE STAGED UNDER THE DRIP LINE OF EXISTING TREES.
19. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING A SET OF "AS BUILT" PLANS FOR ALL WORK PERFORMED ON AND OFF SITE. UPON COMPLETION OF CONSTRUCTION, CONTRACTOR SHALL PROVIDE AS-BUILT PLANS IDENTIFYING ALL DEVIATIONS OR VARIATIONS FROM ORIGINAL PLANS TO THE OWNER AND THE ENGINEER.
20. ALL TRAFFIC CONTROL AND WARNING SIGNS SHALL BE IN ACCORDANCE WITH THE CITY/COUNTY STANDARDS.
21. ALL SIDEWALKS, RAMPS, AND HANDRAILS TO MEET OR EXCEED CITY/COUNTY AND ADA REQUIREMENTS.
22. ALL MATERIAL AND CONSTRUCTION SHALL CONFORM TO APPLICABLE CITY/COUNTY RULES AND REGULATIONS, CONSTRUCTION SPECIFICATIONS AND CONSTRUCTION DETAILS.
23. ALL EXCESS SPOIL MATERIAL GENERATED FROM CONSTRUCTION ACTIVITY TO BE HAULLED OFFSITE AND DISPOSED IN ACCORDANCE WITH LOCAL LAWS, RULES, AND REGULATIONS.
24. AT THE END OF ALL CONSTRUCTION PROJECTS, THE CONTRACTOR SHALL RESTORE THE EXISTING FACILITIES, TO EQUAL TO BETTER THAN EXISTING SITE CONDITIONS PRIOR TO CONSTRUCTION. ALL FINISHED GRADES SHALL VARY UNIFORMLY BETWEEN THE FINISHED ELEVATIONS SHOWN.
25. CONTRACTOR IS RESPONSIBLE FOR ALL DAMAGE TO EXISTING LANDSCAPING AND IRRIGATION. NO SEPARATE PAY.
26. PRIOR TO SUBMITTAL OF BID OR PROPOSAL, CONTRACTOR SHALL VISIT PROJECT SITE AND BECOME FAMILIAR WITH THE PROJECT AND THE EXISTING CONDITIONS ON THE SITE. NO ADDITIONAL CONSIDERATION WILL BE GIVEN FOR ADDITIONAL WORK CAUSED BY FIELD CONDITIONS VISIBLE ON SITE DURING BIDDING BUT NOT SHOWN ON THESE PLANS.
27. THERE WILL BE NO SEPARATE PAYMENT FOR WORK SHOWN ON THESE PLANS, UNLESS SPECIFICALLY ESTABLISHED IN THE BID SECTION OF THE CONTRACT DOCUMENTS. INCLUDE COST OF SAME TO WHICH THIS WORK IS A COMPONENT PART.
28. IN THE EVENT OF A DISCREPANCY WITHIN THESE PLANS, OR BETWEEN THESE PLANS AND THE GEOTECHNICAL REPORT, THE MOST CONSERVATIVE CRITERIA SHALL APPLY.
29. ALL UTILITY TRENCHES BELOW PROPOSED OR FUTURE PAVING SHALL BE BACKFILLED WITH CEMENT SAND.
30. UTILITY TRENCHES ARE A COMMON SOURCE OF WATER INFILTRATION AND MIGRATION. ALL UTILITY TRENCHES THAT PENETRATE BENEATH THE BUILDING SHOULD BE EFFECTIVELY SEALED TO RESTRICT WATER INTRUSION AND FLOW THROUGH THE TRENCHES THAT COULD MIGRATE BELOW THE BUILDING. WE RECOMMEND CONSTRUCTING AN EFFECTIVE CLAY "TRENCH PLUG" THAT EXTENDS AT LEAST 5 FEET OUT FROM THE FACE OF THE BUILDING EXTERIOR. THE PLUG MATERIAL SHOULD CONSIST OF CLAY COMPACTED AT A WATER CONTENT AT OR ABOVE THE SOILS OPTIMUM WATER CONTENT. THE CLAY FILL SHOULD BE PLACED TO COMPLETELY SURROUND THE UTILITY LINE AND BE COMPACTED IN ACCORDANCE WITH RECOMMENDATIONS IN THIS REPORT.
31. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL UTILITY TIE IN LOCATIONS FOR MATERIAL, SIZE, ELEVATION, AND FIELD CONDITIONS. IN THE EVENT THE PLANS DO NOT REPRESENT FIELD CONDITIONS, THE CONTRACTOR IS TO CONTACT THE ENGINEER AND OWNER IMMEDIATELY AND PRIOR TO PERFORMING ANY WORK.
32. PRIOR TO THE START OF CONSTRUCTION, CONTRACTOR TO CONFIRM POSSESSION OF LATEST DRAWINGS, INCLUDING ANY REVISIONS. IF THE DRAWINGS ARE NOT LABELED AS "CONSTRUCTION SET" ON THE COVER PAGE, CONTRACTOR TO CONTACT ENGINEER IMMEDIATELY.
33. CONTRACTOR TO OBTAIN ALL PERMITS. OWNER WILL PROVIDE PAYMENT AS NECESSARY AND REQUESTED BY CONTRACTOR.

GRADING NOTES

- 1. GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL VERIFY THE SUITABILITY OF ALL EXISTING AND PROPOSED SITE CONDITIONS INCLUDING GRADES AND DIMENSIONS BEFORE START OF CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES.
2. BEFORE STARTING CONSTRUCTION, CONTRACTOR SHALL VERIFY BENCHMARK ELEVATION AND NOTIFY ENGINEER IF ANY DISCREPANCY AND/OR CONFLICT IS FOUND.
3. CONTRACTOR SHALL ENSURE THERE IS POSITIVE DRAINAGE FROM THE PROPOSED BUILDINGS AND NO PONDING IN EITHER PAVED OR LANDSCAPE AREAS, AND SHALL NOTIFY ENGINEER IF ANY GRADING DISCREPANCIES ARE FOUND IN THE EXISTING AND PROPOSED GRADES PRIOR TO PLACEMENT OF PAVEMENT OR UTILITIES.
4. CONTRACTOR SHALL PROTECT ALL MANHOLE COVERS, VALVE COVERS, VAULT LIDS, FIRE HYDRANTS, POWER POLES, GUY WIRES, AND TELEPHONE BOXES THAT ARE TO REMAIN IN PLACE AND UNDISTURBED DURING CONSTRUCTION.
5. ALL EXISTING CONCRETE PAVING, SIDEWALK, AND CURB DEMOLITION SHALL BE REMOVED AND DISPOSED OF BY CONTRACTOR. DISPOSAL SHALL BE AT AN APPROVED OFF-SITE, LAWFUL LOCATION, UNLESS DIRECTED OTHERWISE BY THE OWNER.
6. FOR BUILDING PAD SUBGRADE PREPARATION AND GENERAL EARTHWORK OBSERVATIONS, REFER TO THE GEOTECHNICAL REPORT PROVIDED BY NYS, DATED 11/01/2024 (PROJECT NO. 4430424.1509000.00). ALL MATERIAL SPECIFICATIONS AND TESTING SHALL BE ADHERED TO AS OUTLINED IN THIS REPORT.
7. FINAL PAVEMENT GRADES SHALL BE WITHIN 0.05' OF DESIGN ELEVATIONS, EXCEPT FOR ADA AREAS, WHICH SHALL BE WITHIN 0.01' OF DESIGN ELEVATIONS. FINAL NON-PAVEMENT ELEVATIONS SHALL BE WITHIN 0.1' OF PROPOSED GRADE.
8. ALL DETENTION PONDS SHALL BE GRADED TO WITHIN 0.1' OF PROPOSED ELEVATIONS AND WITHIN 6" OF HORIZONTAL LOCATION. AFTER COMPLETION AN AS-BUILT SURVEY WILL BE ORDERED BY OWNER, AND ANY POND NOT BUILT PER PLAN, WILL BE CORRECTED AT CONTRACTOR'S SOLE COST.

STORM SEWERS

- 1. STORM SEWER PIPE USED FOR CONNECTION TO STORM SEWER IN PUBLIC RIGHT-OF-WAY OR CONSTRUCTED WITHIN PUBLIC EASEMENTS SHALL BE REINFORCED CONCRETE PIPE ASTM C-76, CLASS III, WITH O-RING RUBBER GASKET JOINTS PER ASTM C-443 AND SHALL EXTEND TO FIRST PRIVATE INLET OR MANHOLE. ALL OTHER PRIVATE STORM SEWER MAY BE SELECTED PER THE FOLLOWING CRITERIA:
A. CORRUGATED HIGH-DENSITY POLYETHYLENE (HDPE) (4 INCHES TO 48 INCHES IN DIAMETER): AASHTO M 294, DUAL WALL WITH WATER TIGHT (ASTM D3212) BELL-TO-BELL COUPLER, TRADE NAME N-12 BY ADS OR EQUAL.
B. POLYVINYL CHLORIDE (PVC) CORRUGATED PIPE WITH SMOOTH INTERIOR PER ASTM F 949 (4 INCHES TO 36 INCHES (102-MM TO 914-MM)) WITH ELASTOMETRIC GASKET JOINTS, TRADE NAME A-2000 BY CONTECH OR EQUAL.
C. STEEL REINFORCED HIGH-DENSITY POLYETHYLENE (HDPE) (24 INCHES TO 48 INCHES IN DIAMETER): AASHTO M 294, HIGH PERFORMANCE JOINTS (ASTM D3212), TRADE NAME DUROMAXX OR EQUAL.
D. REINFORCED CONCRETE PIPE (RCP): ASTM C76, CLASS III WITH O-RING RUBBER GASKET JOINTS PER ASTM C-443
2. STORM SEWERS IN PUBLIC R.O.W. OR PUBLIC EASEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST CITY OF ALBUQUERQUE STANDARD CONSTRUCTION SPECIFICATIONS FOR STORM DRAINAGE INCLUDING ALL CURRENT AMENDMENTS THERETO. ALL STORM SEWER ON PRIVATE PROPERTY SHALL BE CONSTRUCTED PER SPECIFICATIONS AND DETAILS IN THESE DRAWINGS AND IN ACCORDANCE WITH THE PIPE MANUFACTURERS RECOMMENDATIONS.
3. ALL SEWERS UNDER PROPOSED OR FUTURE PAVEMENT AND TO A POINT ONE (1) FOOT BACK OF ALL PROPOSED OR FUTURE CURBS SHALL BE BACKFILLED WITH 1 1/2 SACK CEMENT/C.Y. STABILIZED SAND TO WITHIN ONE (1) FOOT OF SUBGRADE. CEMENT STABILIZED SAND TO BE IN ACCORDANCE WITH THE REQUIREMENTS OF ASTM C33, LATEST EDITION
4. TRENCH BACKFILL SHALL BE SUITABLE EARTH MATERIAL PLACED IN 8 INCH LIFTS, WITH TESTS TAKEN AT 100 FOOT INTERVALS ON EACH LIFT. BACKFILL TO BE MECHANICALLY COMPACTED TO A DENSITY OF NOT LESS THAN 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY THE STANDARD PROCTOR COMPACTION TEST (ASTM DESIGNATION D-698/AASHTO 199). MOISTURE CONTENT OF BACKFILL SHALL BE WITHIN PARAMETERS ESTABLISHED BY THE PROCTOR TEST.
5. PROPOSED PIPE STUB-OUTS ARE TO BE PLOGGED WITH 8" BRICK WALLS, UNLESS OTHERWISE NOTED.

PAVING AND STRIPING NOTES

- 1. PAVEMENT DESIGN AND SOIL PREPARATION RECOMMENDATIONS GIVEN IN THE GEOTECHNICAL REPORT PROVIDED BY NYS, DATED 11/01/2024 (PROJECT NO. 4430424.1509000.00) SHALL BE ADHERED TO FOR BOTH MATERIALS AND PRACTICE OF INSTALLATION. CONTRACTOR SHALL ENSURE ALL SPECIFICATIONS AND TESTING ARE MET AS OUTLINED IN THIS REPORT.
2. ALL TRAFFIC CONTROL DEVICES SHALL CONFORM TO THE CITY/COUNTY STANDARDS.
3. CONTRACTOR SHALL FURNISH ALL PAVEMENT MARKINGS FOR FIRE LINES, ROADWAY LANES, PARKING STALLS, HANDICAPPED PARKING SYMBOLS, ACCESS AISLES, STOP BARS AND SIGNS, AND MISCELLANEOUS STRIPING WITHIN PARKING LOT AS SHOWN ON THE PLANS.
4. ALL JOINTS SHALL BE SEALED PER CITY/COUNTY SPECIFICATIONS. ALL JOINTS SHALL EXTEND THROUGH THE CURB.
5. THE MATERIALS AND PROPERTIES OF CONCRETE SHALL MEET THE APPLICABLE REQUIREMENTS IN THE A.C.I. (AMERICAN CONCRETE INSTITUTE) MANUAL OF CONCRETE PRACTICE AS WELL AS CITY/COUNTY STANDARDS. IN THE EVENT OF A CONTRADICTION BETWEEN THESE TWO STANDARDS, THE MOST RESTRICTIVE (AS DETERMINED BY THE ENGINEER) SHALL APPLY.
6. PAVEMENT THICKNESS'S SHOWN IN THIS PLAN SET ARE "MINIMUM" NOT AVERAGE. PAVEMENT THICKNESS AT ALL LOCATIONS SHALL EXCEED THE THICKNESS SPECIFIED.
7. ANY DAMAGED PAVEMENT, CURB AND/OR SIDEWALK WILL BE REPAIRED BY THE CONTRACTOR AT HIS EXPENSE TO THE SATISFACTION OF THE ENGINEER AND OWNER.
8. BEFORE PLACING PAVEMENT, CONTRACTOR SHALL VERIFY THAT SUITABLE HANDICAPPED ROUTES (PER A.D.A.) EXIST TO AND FROM EVERY DOOR. IN NO CASE SHALL:
A. HANDICAP RAMP SLOPES EXCEED 1 VERTICAL TO 12 HORIZONTAL.
B. SIDEWALK CROSS SLOPES EXCEED 2.0 PERCENT.
C. LONGITUDINAL SIDEWALK SLOPES EXCEED 5.0 PERCENT.
D. CONTRACTOR SHALL CONTACT ENGINEER PRIOR TO PAVEMENT CONSTRUCTION IF ANY SLOPES EXCEED THE ABOVE LIMITS.
9. REINFORCING BAR SPLICES SHALL BE STAGGERED WITH NO MORE THAN 2 SPLICES ADJACENT TO EACH OTHER.
10. STABILIZED SUBGRADE SHALL EXTEND A MINIMUM OF 1 FOOT BEYOND EDGE OF ALL PAVEMENT, OR AS DIRECTED IN GEOTECHNICAL REPORT.
11. ALL CONCRETE PAVEMENT SHALL BE FLOAT FINISHED MECHANICALLY WITH APPROVED SELF-PROPELLED MACHINES. HANDING FLOATING SHALL BE PERMITTED ONLY IN AREAS INACCESSIBLE TO A FINISHING MACHINE. AFTER FLOATING, CONTRACTOR SHALL PROVIDE A FINE OR MEDIUM-COARSE "BROOM FINISH", UNLESS OTHERWISE INDICATED BY THE OWNER. FOR ALL EXTERIOR SIDEWALKS, EXTERIOR RAMPS, EQUIPMENT AND TRANSFORMER PADS, AND SITE PAVING, BROOMING SHALL BE DONE TRANSVERSELY TO THE DIRECTION OF MAIN TRAFFIC. ALL FINISHING SHALL CONFORM TO A.C.I.(30). CONTRACTOR SHALL DETERMINE THE APPROPRIATE MEANS & METHODS TO PROTECT THE FINISHED CONCRETE FROM PRECIPITATION FOR A MINIMUM OF 24 HOURS.
12. CONTRACTOR SHALL PROTECT THE FINISHED CONCRETE PAVEMENT AGAINST LOSS OF MOISTURE FOR NO LESS THAN 72 HOURS IN CONFORMANCE WITH THE A.C.I. MANUAL OF CONCRETE PRACTICE.
13. ALL PROPOSED PAVEMENT WITHIN ANY PUBLIC ROW SHALL BE CONSTRUCTED IN ACCORDANCE W/ THE APPROPRIATE DETAIL FROM THE APPLICABLE GOVERNING ENTITY.
14. UNLESS OTHERWISE SPECIFIED IN THE PLANS PAVEMENT STRIPING SHALL MEET THE FOLLOWING CRITERIA:
A. MARKING PAINT: HIGH SOLIDS, WATER BASED ACRYLIC PAINT CONTAINING ULTRAVIOLET RESISTANT PIGMENTS.
1. ICI PAINTS; TRAFFIC MARKING PAINT, #4800
2. M.A.B. PAINTS; ZONE MARKING LATEX TRAFFIC PAINT, #072 LINE
3. BENJAMIN MOORE AND CO.; SAFETY AND ZONE MARKING LATEX, M58
4. PITTSBURGH PAINTS; ZONE & TRAFFIC MARKING PAINT, #11-23
5. PORTER PAINT CO.; PORTERGUARD ACRYLIC TRAFFIC PAINT, #2408
6. THE SHERWIN WILLIAMS CO.; PROMAR TRAFFIC MARKING PAINT, B29 SERIES
B. COLORS:
1. PARKING: WHITE
2. TRAFFIC LANES, DIRECTIONS, LETTERING, ETC.: ON PRIVATE PROPERTY: WHITE IN PUBLIC R.O.W., PER LOCAL CODE
3. HANDICAPPED EMBLEMS: BLUE
4. FIRE LANE: RED.

FRANCHISE UTILITY NOTES

- 1. CONTRACTOR SHALL CALL 811 ONE CALL AND DIG-TESS AT LEAST 72 HOURS PRIOR TO COMMENCING DEMOLITION OR CONSTRUCTION ACTIVITIES. THE CONTRACTOR BEARS SOLE RESPONSIBILITY FOR VERIFYING LOCATIONS OF EXISTING UTILITIES, SHOWN OR NOT SHOWN, AND FOR ANY DAMAGE TO THESE FACILITIES.
2. CONTRACTOR SHALL INSTALL LONG SWEEPS FOR DRY UTILITY CONDUITS WHERE A BEND IS GRAPHICALLY SHOWN.

WATER LINES

- 1. WATER LINES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST CITY OF ALBUQUERQUE REGULATIONS, STANDARD SPECIFICATIONS, AND CONSTRUCTION DETAILS.
2. 4" THRU 12" WATER LINES SHALL BE P.V.C. CLASS 150, DR-18, AWWA C-900 AND 1" THRU 3" WATER LINES SHALL BE PVC SCHEDULE 40, 4" THRU 54" D.I.P. WATER LINES SHALL BE AWWA C151 (ANSI A21.51) AND DOUBLE WRAPPED IN 8-MIL POLYETHYLENE. PIPE SHALL BE LINED IN ACCORDANCE WITH AWWA C104 (ANSI A21-6).
3. CONCRETE THRUST BLOCKS SHALL BE PROVIDED AS NECESSARY TO PREVENT PIPE MOVEMENT. WHERE PREVENTING MOVEMENT OF 16" OR GREATER PIPE IS NECESSARY DUE TO THRUST, USE RESTRAINED JOINTS.
4. ALL WATER LINES UNDER PROPOSED OR FUTURE PAVING AND TO A POINT ONE (1) FOOT BACK OF ALL PROPOSED OR FUTURE CURBS SHALL BE ENCASED IN BANK SAND TO 12" OVER PIPE AND BACKFILLED WITH CEMENT STABILIZED SAND TO WITHIN ONE (1) FOOT OF SUBGRADE.
5. ALL WATER LINE AND SEWER LINE CROSSINGS SHALL BE CONSTRUCTED PER CITY OF ALBUQUERQUE REGULATIONS.
6. ALL WATER VALVES SHALL BE SUPPLIED AND INSTALLED IN ACCORDANCE WITH THE LATEST EDITION OF AWWA C-500 AND SHALL BE OF THE RESILIENT SEAT TYPE.
7. ALL WATER LINES TO BE DISINFECTED IN CONFORMANCE WITH AWWA C-651 AND THE NEW MEXICO ENVIRONMENTAL DEPARTMENT. AT LEAST ONE BACTERIOLOGICAL SAMPLE SHALL BE COLLECTED FOR EACH 1,000 LINEAR FEET OF WATER LINE AND SHALL BE REPEATED IF CONTAMINATION PERSISTS.
8. ALL BELOW GRADE VALVES SHALL BE GASKETED, HUB-END GATE VALVES WITH A CAST IRON BOX, EXCEPT WHERE FLANGES ARE CALLED OUT ON THE PLANS.
9. 4" THRU 12" FITTINGS SHALL BE CEMENT MORTAR LINED COMPACT DUCTILE IRON PRESSURE FITTINGS PER ANSI A21.53, OR PUSH ON FITTINGS PER ANSI A21.10 PRESSURE RATED AT 250 PSIG.
10. HYDROSTATIC TESTING: ALL WATER PIPE SHALL BE TESTED FOR LEAKAGE IN ACCORDANCE WITH THE LATEST CITY OF ALBUQUERQUE REQUIREMENTS. TESTS ARE TO BE PERFORMED ON THE TOTAL FOOTAGE OF WATER PIPE LINE INCLUDED IN THE PROJECT.
11. ALL WATER LINES TO HAVE 5' MINIMUM COVER TO FINISHED GRADE AND MINIMUM 12" CLEAR TO OTHER UTILITIES AT CROSSING UNLESS OTHERWISE NOTED ON PLANS. ALL WATER LINE INSTALLED OVER 8" DEEP SHALL UTILIZE RESTRAINED JOINT FITTINGS.
12. CONTRACTOR SHALL KEEP WATER PIPE CLEAN AND CAP (OR OTHERWISE EFFECTIVELY COVER) OPEN PIPE ENDS TO EXCLUDE INSECTS, ANIMALS OR OTHER SOURCES OF CONTAMINATION FROM UNFINISHED PIPE LINES AT TIMES WHEN CONSTRUCTION IS NOT IN PROGRESS.
13. ALL FIRE LINES TO BE DESIGNED, INSTALLED AND TESTED PER NFPA REGULATIONS.

SANITARY SEWERS

- 1. ALL SEWERS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST CITY OF ALBUQUERQUE CRITERIA AND BE SUBJECT TO A REQUIRED FIELD TESTING. TESTS ARE TO BE PERFORMED ON THE TOTAL FOOTAGE OF SEWER LINE INCLUDED IN THE PROJECT.
2. SANITARY SEWER PIPE USED FOR CONNECTION TO SEWER IN PUBLIC RIGHT-OF-WAY SHALL BE C900 P.V.C. PIPE MEETING ASTM SPECIFICATION D3034 WITH RUBBER GASKET JOINTS. ALL OTHER PRIVATE SANITARY SEWER PIPE MATERIAL SHALL CONFORM TO THE FOLLOWING CRITERIA:
A) POLYVINYL CHLORIDE (PVC) SCHEDULE 40 TO BE USED FOR PIPE SIZES 6 INCHES AND SMALLER.
B) STANDARD DIMENSION RATIO (SDR) 35 PVC OR 26 PVC CAN BE USED FOR PIPE SIZES 8 INCHES AND LARGER. SEE NOTE 6 BELOW REGARDING SDR 26 FITTINGS.
3. ALL SANITARY SEWERS LINES UNDER PROPOSED OR FUTURE PAVING AND TO A POINT (1) FOOT BACK OF ALL PROPOSED OR FUTURE CURBS SHALL BE BACKFILLED WITH 1 1/2 SACK CEMENT/C.Y. STABILIZED SAND TO WITHIN ONE (1) FOOT OF SUBGRADE. CEMENT STABILIZED SAND TO BE IN ACCORDANCE WITH THE REQUIREMENTS OF ASTM C33, LATEST EDITION.
4. ALL SANITARY SEWERS AND WATER LINES CROSSINGS SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE REGULATIONS.
5. SANITARY SEWER MANHOLE RIMS OUTSIDE OF PROPOSED PAVING WILL BE SET 3" - 6" ABOVE THE SURROUNDING LEVEL FINISHED GRADE AFTER PAVING AND GRADING OPERATIONS.
6. SDR 26 P.V.C. PIPE USES "FULL BODIED" SDR 26 P.V.C. FITTINGS OR D.I.P. FITTINGS WITH APPROPRIATE ADAPTERS. AWWA C-900 DR-18 P.V.C. PIPE USES EITHER AWWA C900 DR-18 P.V.C. FITTINGS OR D.I.P. FITTINGS.
7. DEFLECTION TEST: DEFLECTION TESTS SHALL BE PERFORMED ON ALL FLEXIBLE AND SEMI-RIGID SEWER PIPE BETWEEN MANHOLES. SERVICE LEADS SHALL NOT BE TESTED. THE TEST SHALL BE CONDUCTED AFTER THE FINAL BACKFILL HAS BEEN IN PLACE AT LEAST 30 DAYS. NO PIPE SHALL EXCEED A DEFLECTION OF 5%. THE DEFLECTION TEST SHALL USE A RIGID 7-SIDED MANDREL, WITH A DIAMETER EQUAL TO 95% OF THE INSIDE DIAMETER OF THE PIPE. NO MECHANICAL PULLING IS ALLOWED.
8. INFILTRATION, EXFILTRATION OR LOW-PRESSURE AIR TEST: EITHER OF THE FOLLOWING TESTS SHALL BE PERFORMED AS PER STATE OR LOCAL LAW.
9. NO CONNECTIONS SHALL BE MADE TO THE EXISTING SANITARY SEWER LINES UNTIL ALL PROPOSED SEWER LINES HAVE BEEN THOROUGHLY CLEANED, TESTED AND APPROVED BY THE ENGINEER, AND THE ENGINEER SHALL BE NOTIFIED AT LEAST 48 HOURS PRIOR TO THE CONTRACTOR CONNECTING TO ANY EXISTING SEWER LINES.
10. THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND THE CITY AT LEAST 48 HOURS PRIOR TO PRESSURE AND DEFLECTION TEST ON ALL SANITARY LINES.
11. ALL SEWER LINES ENTERING A MANHOLE AT A FLOWLINE HIGHER THAN 3.0' OR 36" ABOVE THE MANHOLE INVERT MUST BE PROVIDED WITH A DROP PIPE OUTSIDE OF THE MANHOLE.

SWPPP NOTES

- 1. POTENTIAL POLLUTANT SOURCES ASSOCIATED WITH CONSTRUCTION SITE:
-ADHESIVES, PESTICIDES, DETERGENTS, PAINTS, FUELS, SOLVENTS, SEALANTS, FERTILIZERS, OILS, HERBICIDES, CLEANING SOLUTIONS, CONCRETE/CEMENT/PLASTER
2. STORM WATER QUALITY MEASURE IMPLEMENTATION RELATIVE TO LAND DISTURBING ACTIVITIES:
A. PRIOR TO CONSTRUCTION: SILT FENCING SHALL BE INSTALLED IN ALL LOCATIONS SHOWN ON SITE MAP THAT WILL NOT BE DISTURBED DURING THE INITIAL GRADING PROCESS. THE STABILIZED CONSTRUCTION EXIT SHALL BE INSTALLED IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS.
B. DURING CONSTRUCTION:
B.1. IMMEDIATELY AFTER PAVING CONSTRUCTION IS COMPLETE, INLET PROTECTION TRAPS WILL BE INSTALLED ON ALL NEWLY CONSTRUCTED INLETS.
B.2. WHEN EXISTING SILT FENCING NEEDS TO BE REMOVED FOR CONSTRUCTION OR ACCESS PURPOSES, IT WILL BE REPLACED AS SOON AS POSSIBLE AFTER CONSTRUCTION IN THE VICINITY OF THE REMOVED FENCE IS COMPLETE.
B.3. AS SOON AS PRACTICABLE AFTER SITE GRADING IS COMPLETE, FINAL STABILIZATION PROCEDURES SUCH AS TURF ESTABLISHMENT AND INSTALLATION OF PLANT MATERIAL WILL BE COMMENCED.
C. AFTER CONSTRUCTION: AFTER CONSTRUCTION ACTIVITY AND SITE STABILIZATION PROCEDURES ARE COMPLETE, STRUCTURAL EROSION AND SEDIMENT CONTROLS WILL BE REMOVED, SOIL DISTURBED BY THE REMOVAL OF CONTROLS WILL BE STABILIZED.
3. PERMANENT STORM WATER CONTROLS: AFTER CONSTRUCTION ACTIVITY IS COMPLETE, AREAS NOT COVERED BY CONCRETE PAVEMENT OR BY STRUCTURES WILL BE LANDSCAPED AND IRRIGATED. ONCE ESTABLISHED, THIS VEGETATION WILL HELP PREVENT SEDIMENT RUNOFF IN THE FUTURE STORM EVENTS. NEWLY GRADED AREA WILL BE TEXTURED TO REDUCE FLOW VELOCITY.
4. MATERIAL HANDLING AND SPILL PREVENTION PLAN:
A. HAZARDOUS MATERIALS WILL BE STORED AND USED IN CONFORMANCE WITH MANUFACTURER'S RECOMMENDATIONS. DISPOSAL WILL BE PERFORMED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATION, AND IN ACCORDANCE WITH STATE AND LOCAL LAWS AND REGULATIONS.
B. THE FOLLOWING PROCEDURES WILL BE FOLLOWED FOR CONTAINMENT AND CLEAN-UP OF SPILLS:
B.1. ALL SPILLS WILL BE CLEANED UP AND PROPERLY REMOVED IN ACCORDANCE WITH STATE REGULATIONS AND LOCAL ORDINANCES.
B.2. SOIL AND SPILLED MATERIALS WILL BE COLLECTED UNTIL NO VISIBLE EVIDENCE OF SPILLED MATERIAL REMAINS
B.3. THE TYPE OF MATERIAL AND QUANTITY OF RELEASE SHALL BE IDENTIFIED, AND APPROPRIATE PERSONAL PROTECTIVE EQUIPMENT (PPE) SHALL BE WORN AS RECOMMENDED BY THE PRODUCT-SPECIFIC MSDS.
B.4. SPILL CONTAINMENT MAY INCLUDE CONSTRUCTION OF EARTH DIKES AROUND THE SPILL AREA, DEPLOYMENT OF ABSORBENT MATERIALS, OR USE OF COMMERCIALLY AVAILABLE KITS.
B.5. CONTAMINATED SOIL AND SPILLED MATERIAL WILL BE STORED IN APPROPRIATE AND PROPERLY LABELED CONTAINERS, AND DISPOSED OF IN ACCORDANCE WITH STATE, LOCAL, AND FEDERAL RULES AND REGULATIONS.
5. GENERAL PERMIT MAINTENANCE REQUIREMENTS (FROM GENERAL PERMIT):
A. ALL PROTECTIVE MEASURES IDENTIFIED IN THIS SWPPP MUST BE MAINTAINED IN EFFECTIVE OPERATING CONDITION. IF, THROUGH INSPECTION OR OTHER MEANS, THE PERMITEE DETERMINES THAT BMP'S ARE NOT OPERATING EFFECTIVELY, THEN THE PERMITEE SHALL PERFORM MAINTENANCE AS NECESSARY TO MAINTAIN THE CONTINUED EFFECTIVENESS OF STORM WATER CONTROLS, AND PRIOR TO THE NEXT RAIN EVENT, IF FEASIBLE. IF MAINTENANCE PRIOR TO THE NEXT ANTICIPATED STORM EVENT IS IMPRACTICABLE, THE REASON SHALL BE DOCUMENTED IN THE SWPPP AND MAINTENANCE MUST BE SCHEDULED AND ACCOMPLISHED AS SOON AS PRACTICABLE. EROSION AND SEDIMENT CONTROLS THAT HAVE BEEN INTENTIONALLY DISABLED, RUN-OVER, REMOVED, OR OTHERWISE RENDERED INEFFECTIVE MUST BE REPLACED OR CORRECTED IMMEDIATELY UPON DISCOVERY.
B. IF PERIODIC INSPECTIONS OR OTHER INFORMATION INDICATES A CONTROL HAS BEEN USED INCORRECTLY, IS PERFORMING INADEQUATELY, OR IS DAMAGED, THEN THE OPERATOR MUST REPLACE OR MODIFY THE CONTROL AS SOON AS PRACTICABLE AFTER MAKING THE DISCOVERY.
C. SEDIMENT MUST BE REMOVED FROM SEDIMENT TRAPS AND SEDIMENTATION PONDS NO LATER THAN THE TIME THAT DESIGN CAPACITY HAS BEEN REDUCED BY 50% FOR PERMETER CONTROLS SUCH AS SILT FENCES, BERMS, ETC., THE TRAPPED SEDIMENT MUST BE REMOVED BEFORE IT REACHES 50% OF THE ABOVE GROUND HEIGHT.
D. IF SEDIMENT ESCAPES THE SITE, ACCUMULATIONS MUST BE REMOVED AT A FREQUENCY THAT MINIMIZES OFF-SITE IMPACTS, AND PRIOR TO THE NEXT RAIN EVENT, IF FEASIBLE. IF THE PERMITEE DOES NOT OWN THE OFFSITE CONVEYANCE, THEN THE PERMITEE MUST WORK WITH THE OWNER OR OPERATOR OF THE PROPERTY TO REMOVE THE SEDIMENT.
6. EROSION AND SEDIMENT CONTROLS:
A. THE FOLLOWING NON-STRUCTURAL EROSION AND SEDIMENT CONTROLS WILL BE UTILIZED ON THE PROJECT SITE:
A.1. WHERE PRACTICAL, CARE WILL BE TAKEN TO PROTECT NATURAL VEGETATION THAT DOES NOT NEED TO BE REMOVED FOR CONSTRUCTION PURPOSES.
A.2. PLACEMENT OF CONCRETE PARKING AND DRIVEWAY AREAS WILL BE PERFORMED AS SOON AS POSSIBLE AFTER SUB-GRADE STABILIZATION, TO MINIMIZE THE AMOUNT OF TIME DISPOSED SOIL IS EXPOSED TO THE ELEMENTS. THIS PRACTICE WILL REDUCE THE FREQUENCY THAT MAINTENANCE IS REQUIRED ON THE STRUCTURAL BMP'S.
A.3. THE GENERAL PERMIT REQUIRES THAT EROSION AND STABILIZATION MEASURES MUST BE INITIATED WITHIN 14 DAYS IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS CEASED. IF CONSTRUCTION ACTIVITY IS SCHEDULED TO RESUME WITHIN 21 DAYS FROM THE CESSATION OF CONSTRUCTION ACTIVITY, EROSION AND STABILIZATION MEASURES ARE NOT REQUIRED FOR THAT PORTION OF THE SITE.
A.4. STABILIZATION PROCEDURES SUCH AS TURF ESTABLISHMENT AND INSTALLATION OF PLANT MATERIAL SHOULD BE COMMENCED AS SOON AS PRACTICABLE AFTER SITE GRADING IS COMPLETE AND FINAL.
B. THE FOLLOWING STRUCTURAL EROSION AND SEDIMENT CONTROLS WILL BE UTILIZED ON THE PROJECT SITE:
B.1. A STABILIZED CONSTRUCTION EXIT WILL BE INSTALLED AT THE LOCATION WHERE CONSTRUCTION TRAFFIC EXITS THE PROJECT SITE
B.2. INLET PROTECTION TRAPS WILL BE INSTALLED AT ALL INLETS IMMEDIATELY AFTER CONCRETE PAVEMENT IS PLACED
B.3. SILT FENCING (FILTER FABRIC FENCE OR REINFORCED FILTER FABRIC FENCE) WILL BE INSTALLED ALONG THE PROPERTY BOUNDARY AND ADJACENT TO EXISTING DITCHES, BAYOUS, STREAMS, RIVERS, AND/OR CHANNELS.
B.4. ANY SEDIMENT THAT ENTERS THE STORM SEWER SYSTEM WILL BE REMOVED IMMEDIATELY (NOT FLOUSED).
B.5. SINCE ALL PROPOSED INLETS DRAIN LESS THAN 10-ACRES, SEDIMENT BASINS ARE NOT REQUIRED FOR THIS SITE.
B.6. WHERE PRACTICAL, CARE WILL BE TAKEN TO PROTECT NATURAL VEGETATION THAT DOES NOT NEED TO BE REMOVED FOR CONSTRUCTION PURPOSES.
7. TRAFFIC NOTES:
1. THE CONTRACTOR SHALL PROVIDE AND INSTALL TRAFFIC CONTROL DEVICES IN CONFORMANCE WITH CITY OF ALBUQUERQUE STANDARDS LATEST EDITION WITH REVISIONS DURING THE ENTIRE CONSTRUCTION PERIOD.
2. NO WORK SHALL BE PERFORMED IN RESIDENTIAL AREAS FROM 7:00PM TO 7:00AM.
3. CONTRACTOR SHALL MAINTAIN APPROVED NUMBER OF LANES OF TRAFFIC IN EACH DIRECTION DURING CONSTRUCTION WORKING HOURS. TRAFFIC CONTROL PLANS SHALL INCLUDE ONE-WAY AND/OR DETOUR PLANS. CONTRACTOR SHALL MAINTAIN ADA COMPLIANT PEDESTRIAN ACCESS TO BUS STOPS AND ADEQUATE BUS ACCESS TO THE BUS STOP.
4. CONTRACTOR SHALL COVER OPEN PAVEMENT EXCAVATIONS FOR MINOR UTILITY WORK WITH ANCHORED STEEL PLATES DURING NON-WORKING HOURS, OPEN LANES FOR NORMAL TRAFFIC FLOW WHEN FEASIBLE.
5. CONTRACTOR SHALL SECURE LANE/SIDEWALK/BICYCLE FACILITY CLOSURE PERMITS FROM TRANSPORTATION & DRAINAGE OPERATIONS BEFORE IMPLEMENTING THE TRAFFIC CONTROL PLAN. THE APPLICATION MUST BE SUBMITTED AT LEAST TEN BUSINESS DAYS PRIOR TO THE IMPLEMENTATION OF THE TRAFFIC CONTROL PLAN AND/OR BEGINNING CONSTRUCTION WORK. THE CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL PLANS, CONSTRUCTION SCHEDULE WITH THE APPLICATION.
6. CONTRACTOR SHALL HAVE APPROVED TRAFFIC CONTROL PLAN AND PERMIT AT THE JOB SITE FOR INSPECTION AT ALL TIMES.
7. ACCESS TO DRIVEWAYS ADJACENT TO THE CONSTRUCTION WORK ZONE SHALL BE MAINTAINED AT ALL TIMES AS MUCH AS POSSIBLE. ADDITIONAL CONES AND/OR DELINEATORS MAY BE REQUIRED TO DELINEATE THE DRIVEWAY ACCESS ROUTE THROUGHOUT THE CONSTRUCTION WORK ZONE. A MINIMUM OF ONE TRAVEL LANE SHALL BE MAINTAINED ACROSS THE DRIVEWAY, UNLESS PRIOR WRITTEN APPROVAL IS OBTAINED FROM THE CITY OF ALBUQUERQUE.
8. ADDITIONAL OFF-DUTY POLICE OFFICERS/FLAGGERS MAY BE REQUESTED TO DIRECT TRAFFIC WHEN THE LANES ARE BLOCKED AT THE DIRECTION OF THE CITY EVEN IF THEY ARE NOT SPECIFICALLY IDENTIFIED ON THE PROJECT PLANS.

Table with columns for REVISIONS, No., and DATE.

ALJ Lindsey Civil Engineers 1885 N. Exchange Pkwy, Suite 200 Albuquerque, NM 87112 281-1301-9565

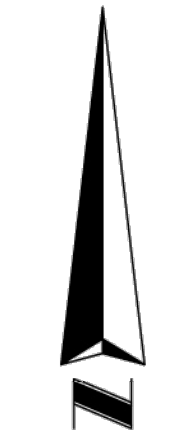
BRETT T. HANRAHAN NEW MEXICO 25690 LICENSED PROFESSIONAL ENGINEER

24 FEBRUARY 2026

Table with project details: ALL PROJECT NO. 686-24-C-0008, DATE: FEB. 2026, SCALE: N/A, DRAWN BY: JIA, CHECKED BY: RAB

GENERAL NOTES

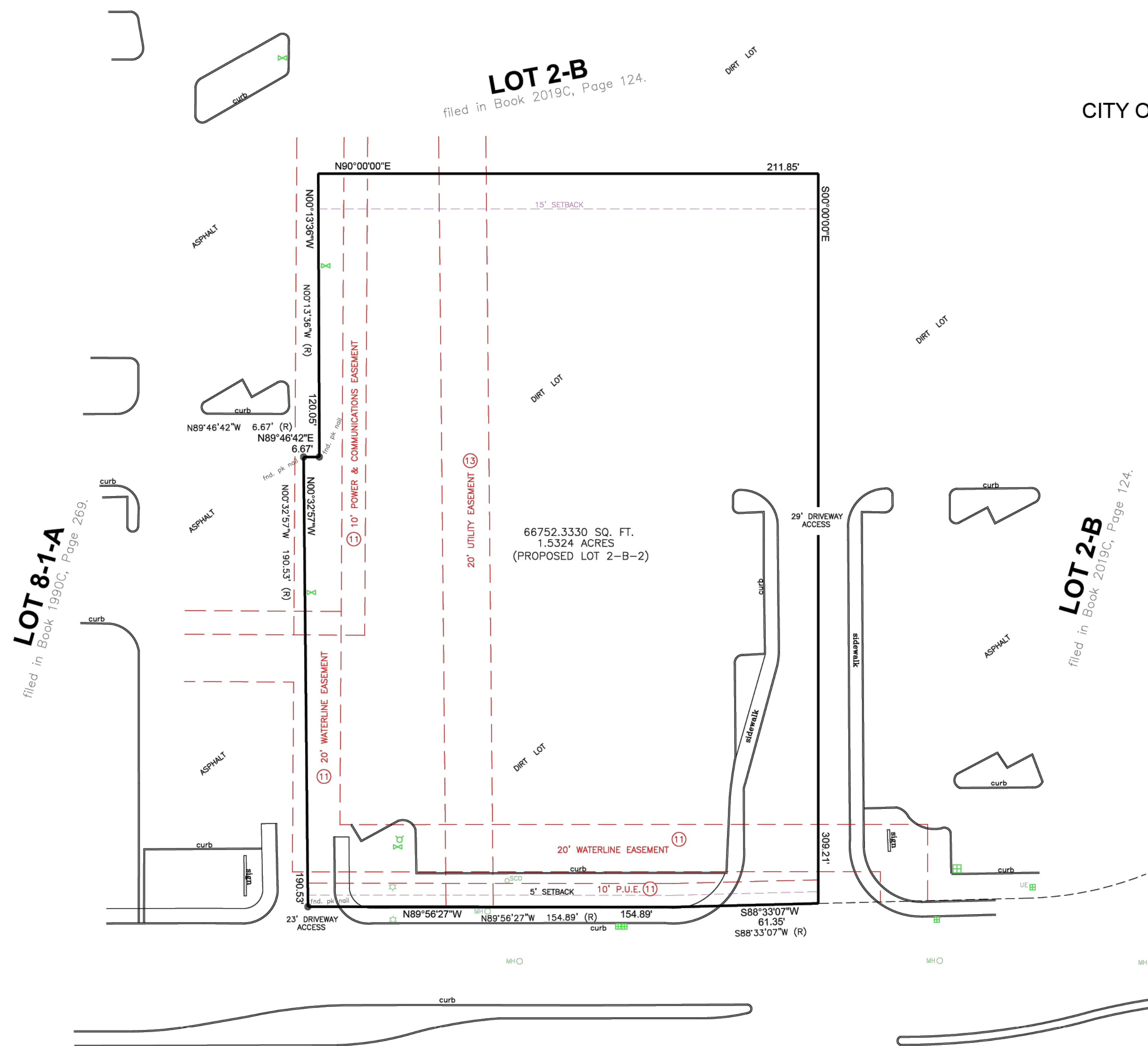
MISTER CARWASH 3535 MENAUL BLVD., ALBUQUERQUE, NEW MEXICO 87107



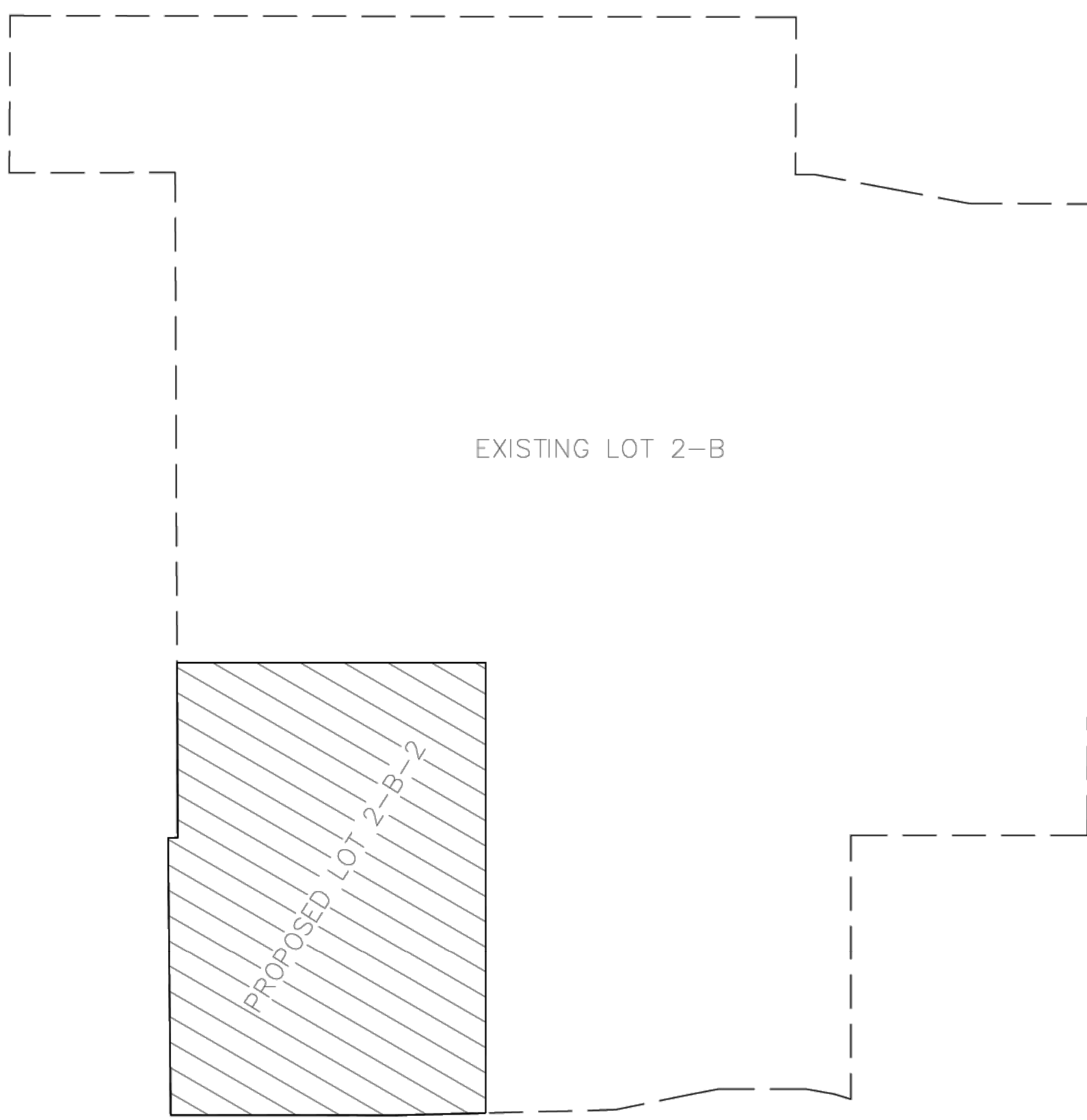
NTS

ALTA/NSPS LAND TITLE SURVEY PORTION OF LOT 2-B AMERICAN SQUARE

CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
DECEMBER 2024



LEGEND			
(M)	MEASURED CALL	⊕	SIGN
(R)	RECORD CALL	MHO	MANHOLE
—x—x—	WOOD FENCE	T	TELEPHONE BOX
—o—o—	METAL RAILING	PP	UTILITY POLE
⊖	COVERED PATIO	ET	ELECTRIC TRANSFORMER
(N.T.S.)	NOT TO SCALE	⊕	WATER METER
—o—	CENTERLINE	⊕	WATER VALVE
---	BUILDING SETBACK LINE	IVC	IRRIGATION CONTROL VALVE
---	EASEMENT LINE	⊕	FIRE HYDRANT
X-BHL	LOCATION OF MEASURED BUILDING HEIGHT	⊕	GUY WIRE
○	SET MONUMENT AS NOTED	⊕	GAS METER
●	FOUND MONUMENT AS NOTED	UEB	UNDERGROUND ELECTRIC BOX
⊖	HANDICAP PARKING	⊕	ELECTRIC CONTROL CABINET
		⊕	LIGHT POLE
		—P—P—	OVERHEAD ELECTRIC LINES
		MB	MAIL BOX
		SCO	SEWER CLEAN OUT
		⊕	DROP INLET



EXISTING LOT 2-B

PROPOSED LOT 2-B-2

SITE LOCATION
NTS

**#3535
MENAUL BOULEVARD N.E.**
(PAVED PUBLIC ROADWAY)
(R.O.W. VARIES)

TOPOGRAPHIC
SURVEY (1 OF 3)

C0.2

2021 ALTA/NSPS LAND TITLE SURVEY
MCW - NM 2566 MENAUL
3535 MENAUL BOULEVARD N.E.
CITY OF ALBUQUERQUE
BERNALILLO COUNTY
NEW MEXICO
PARTNER PROJECT NUMBER: 24-473402.1

COORDINATED BY
PARTNER
CORPORATE OFFICE
2154 Torrance Boulevard
Torrance, CA 90501
Phone: 889-213-7479
ALTA@partneresi.com
www.partneresi.com

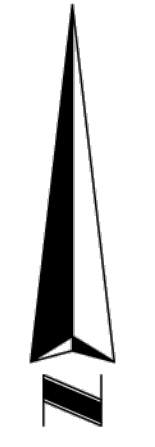
DATE	REVISIONS	DRAWN BY: TM	DRAWING SCALE: NTS
		CHECKED BY: TM	JOB NO.: 24088A
		FILENAME: 24088A.DWG	

SURVEYED BY
TM Surveying Inc.
1130 La Vega Road
Bosque Farms, N.M.
87068
505-869-0711

THIS SURVEY COORDINATED, BUT NOT PERFORMED, BY PARTNER ENGINEERING & SCIENCE, INC.
SURVEY OBTAINED FROM AND CERTIFIED TO BY A LAND SURVEYOR LICENSED TO PRACTICE IN THE STATE WHERE
THE SUBJECT PROPERTY IS LOCATED.

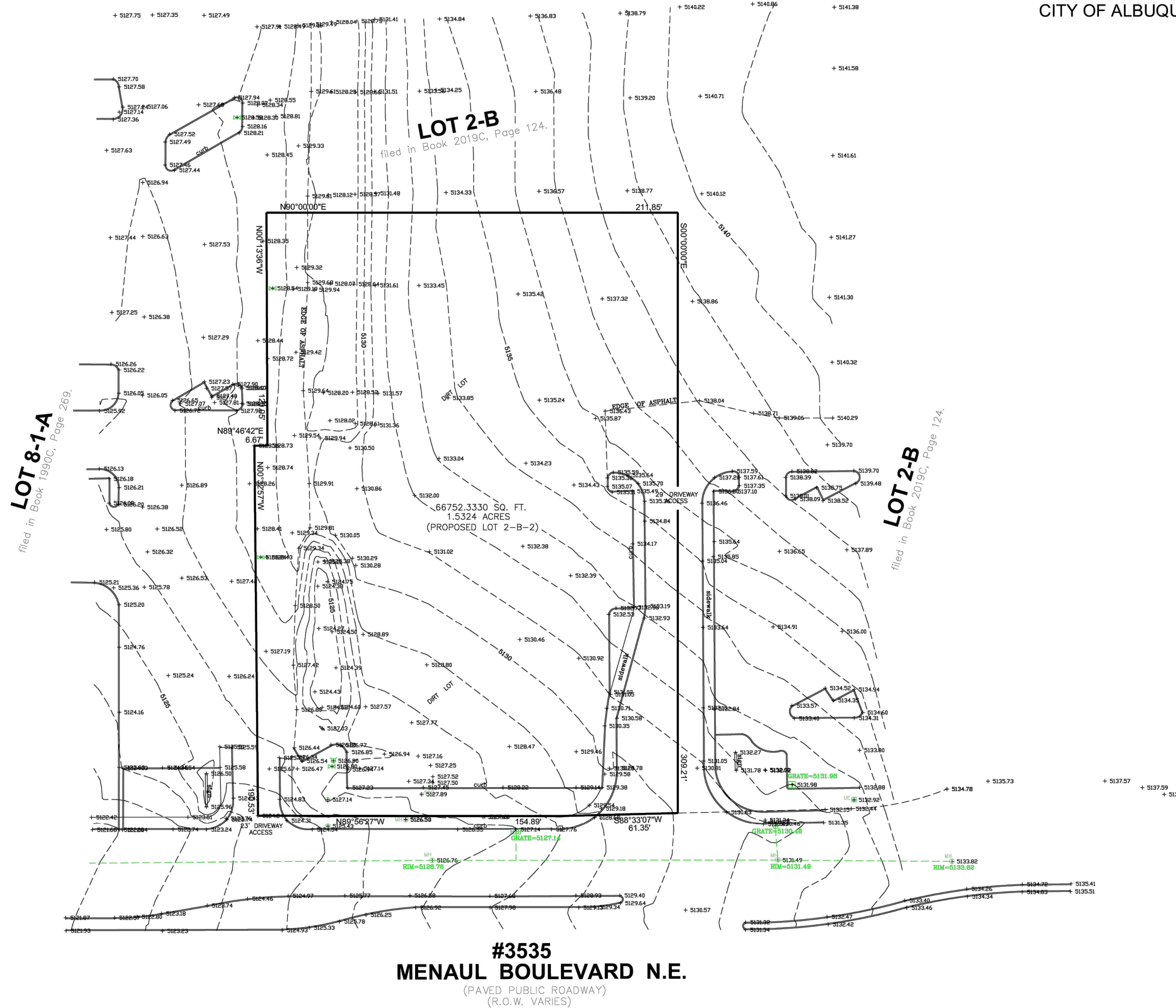
TOPOGRAPHY PORTION OF LOT 2-B AMERICAN SQUARE

CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
DECEMBER 2024



NTS

BENCHMARK — NAVD 88
ACS MONUMENT "10-H17" HAVING
AN ELEVATION OF 5166.734.



LEGEND			
(M)	MEASURED CALL	⊕	SIGN
(R)	RECORD CALL	⊙	MANHOLE
—x—x—	WOOD FENCE	⊠	TELEPHONE BOX
—o—o—	METAL RAILING	⊞	UTILITY POLE
⊞	COVERED PATIO	⊞	ELECTRIC TRANSFORMER
(N.T.S.)	NOT TO SCALE	⊞	WATER METER
—c—	CENTERLINE	⊞	WATER VALVE
---	BUILDING SETBACK LINE	⊞	IRRIGATION CONTROL VALVE
---	EASEMENT LINE	⊞	FIRE HYDRANT
X-BHL	LOCATION OF MEASURED BUILDING HEIGHT	⊞	GUY WIRE
○	SET MONUMENT AS NOTED	⊞	GAS METER
●	FOUND MONUMENT AS NOTED	⊞	UNDERGROUND ELECTRIC BOX
⊙	HANDICAP PARKING	⊞	ELECTRIC CONTROL CABINET
		⊞	LIGHT POLE
		⊞	OVERHEAD ELECTRIC LINES
		⊞	MAIL BOX
		⊞	SEWER CLEAN OUT
		⊞	DROP INLET

#3535
MENAUL BOULEVARD N.E.
(PAVED PUBLIC ROADWAY)
(R.O.W. VARIES)

2021 ALTA/NSPS LAND TITLE SURVEY
MCW - NM 2566 MENAUL
3535 MENAUL BOULEVARD N.E.
CITY OF ALBUQUERQUE
BERNALILLO COUNTY
NEW MEXICO
PARTNER PROJECT NUMBER: 24-473402.1

COORDINATED BY
PARTNER
CORPORATE OFFICE
2154 Torrance Boulevard
Torrance, CA 90501
Phone: 888-213-7479
ALTA@partneresi.com
www.partneresi.com

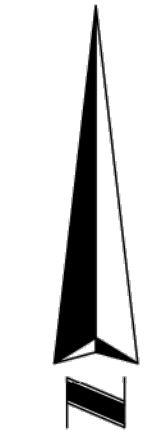
DATE	REVISIONS	DRAWN BY: TM	DRAWING SCALE: NTS
		CHECKED BY: TM	JOB NO.: 24088
		FILENAME: 240888.DWG	

SURVEYED BY
TM Surveying Inc.
1130 La Vega Road
Bosque Farms, N.M.
87068
505-869-0711

TOPOGRAPHIC
SURVEY (2 OF 3)

C0.3

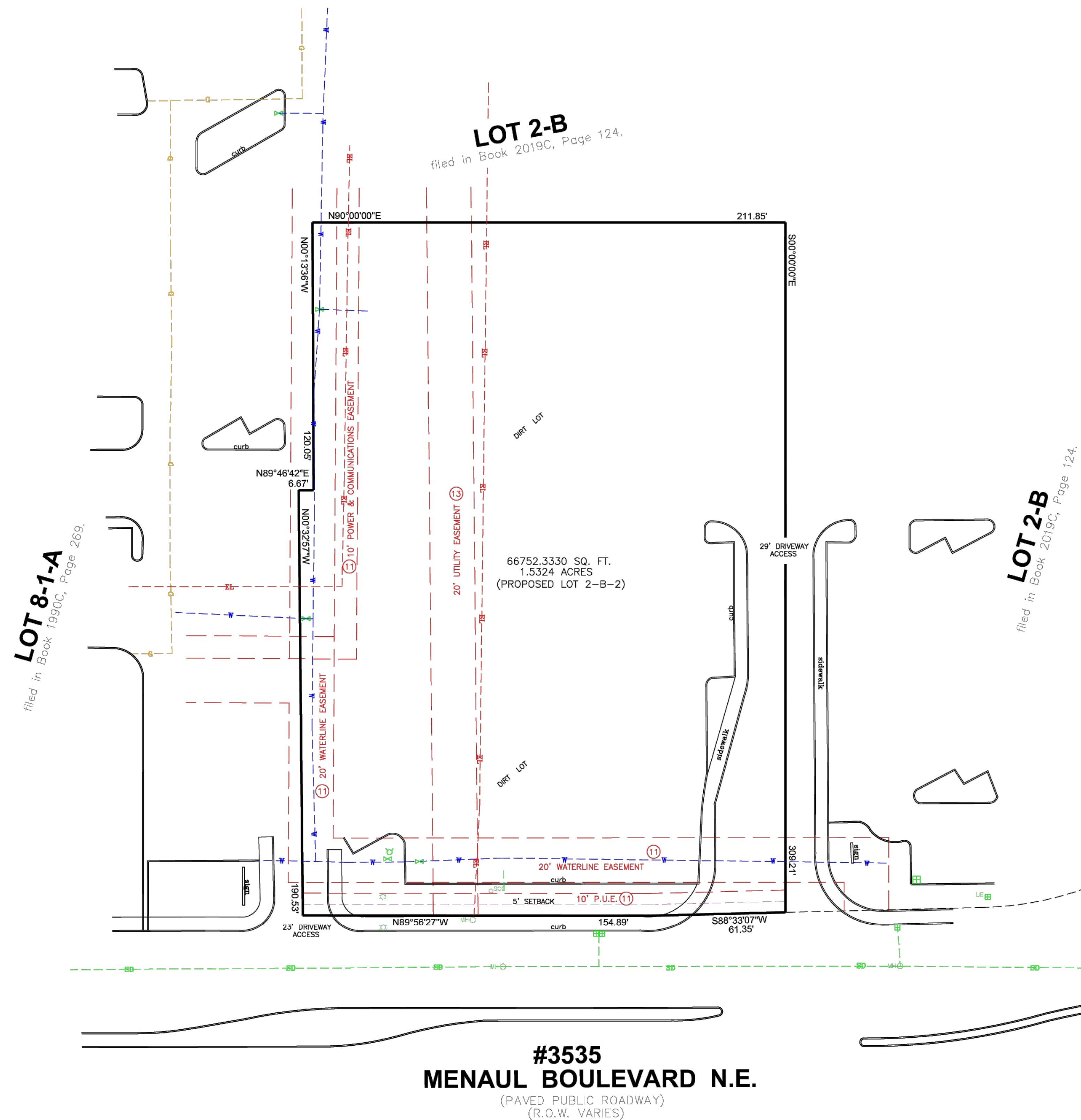
THIS SURVEY COORDINATED, BUT NOT PERFORMED, BY PARTNER ENGINEERING & SCIENCE, INC. SURVEY OBTAINED FROM AND CERTIFIED TO BY A LAND SURVEYOR LICENSED TO PRACTICE IN THE STATE WHERE THE SUBJECT PROPERTY IS LOCATED.



NTS

UTILITY REPORT PORTION OF LOT 2-B AMERICAN SQUARE

CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
DECEMBER 2024



LEGEND			
(M)	MEASURED CALL	⊕	SIGN
(R)	RECORD CALL	⊙	MANHOLE
—x—x—	WOOD FENCE	⊠	TELEPHONE BOX
— — —	METAL RAILING	⊞	UTILITY POLE
○	COVERED PATIO	⊞	ELECTRIC TRANSFORMER
(N.T.S.)	NOT TO SCALE	⊞	WATER METER
— — —	CENTERLINE	⊞	WATER VALVE
---	BUILDING SETBACK LINE	⊞	IRRIGATION CONTROL VALVE
---	EASEMENT LINE	⊞	FIRE HYDRANT
X _{BHL}	LOCATION OF MEASURED BUILDING HEIGHT	⊞	GUY WIRE
○	SET MONUMENT AS NOTED	⊞	GAS METER
●	FOUND MONUMENT AS NOTED	⊞	UNDERGROUND ELECTRIC BOX
○	HANDICAP PARKING	⊞	ELECTRIC CONTROL CABINET
—SD—	STORM SEWER	⊞	LIGHT POLE
—W—	WATER	⊞	OVERHEAD ELECTRIC LINES
—G—	GAS	⊞	MAIL BOX
—E—	ELECTRIC/POWER	⊞	SEWER CLEAN OUT
		⊞	DROP INLET

NOTE: THE UTILITY LINES SHOWN WITHIN THIS SURVEY ARE FROM ABOVE GROUND FIXTURES AND UTILITY MARKINGS ON THE GROUND LOCATED BY OTHERS.

2021 ALTA/NSPS LAND TITLE SURVEY
 MCW - NM 2566 MENAUL
 3535 MENAUL BOULEVARD N.E.
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY
 NEW MEXICO
 PARTNER PROJECT NUMBER: 24-473402.1

COORDINATED BY
PARTNER
 CORPORATE OFFICE
 2154 Torrance Boulevard
 Torrance, CA 90501
 Phone: 888-213-7479
 ALTA@partneresi.com
 www.partneresi.com

DATE	REVISIONS	DRAWN BY: TM	DRAWING SCALE: NTS
		CHECKED BY: TM	JOB NO.: 24088
		FILENAME: 24088C.DWG	

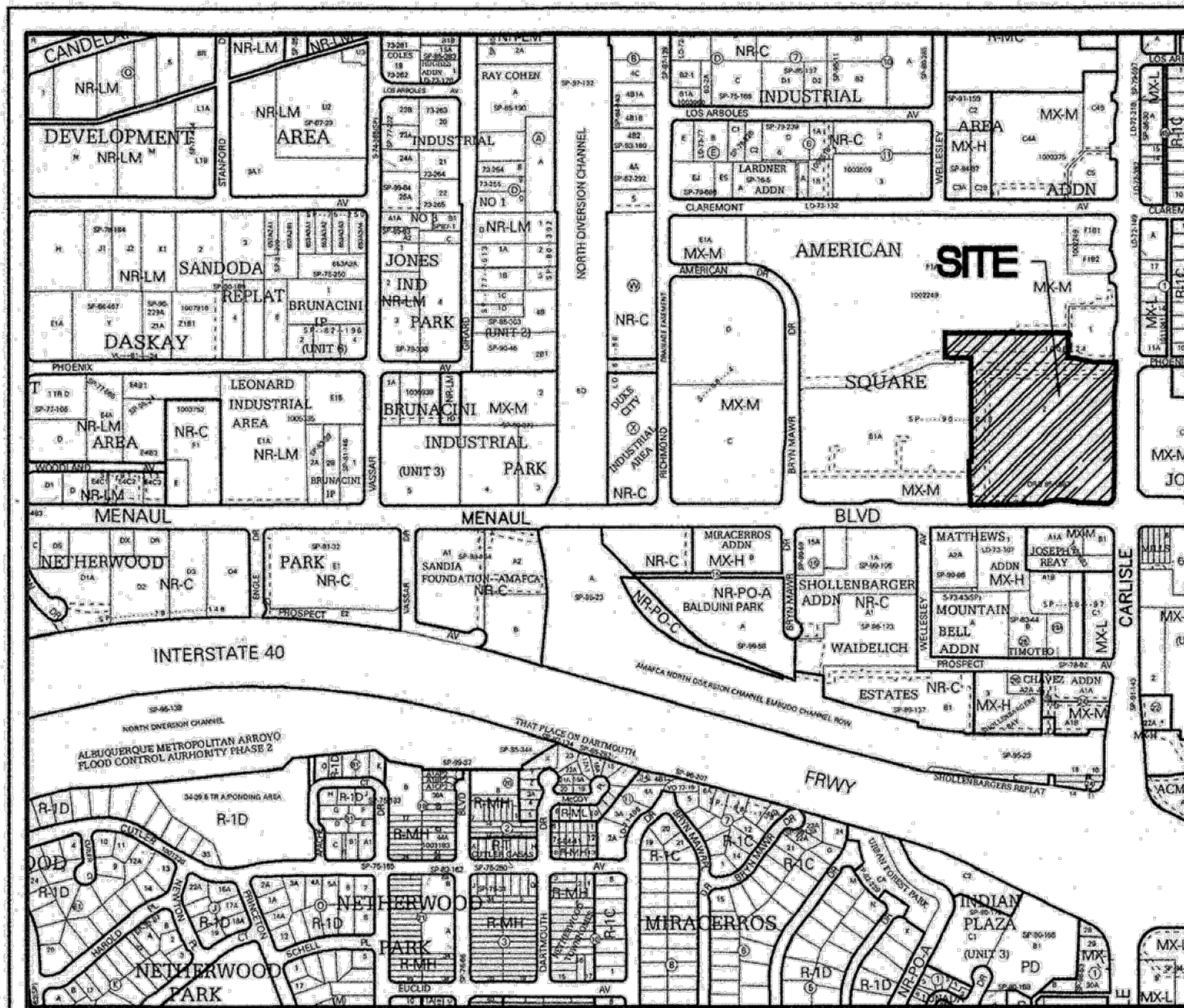
SURVEYED BY
TM Surveying Inc.
 1130 La Vega Road
 Bosque Farms, N.M.
 87068
 505-869-0711

**#3535
 MENAUL BOULEVARD N.E.**
 (PAVED PUBLIC ROADWAY)
 (R.O.W. VARIES)

TOPOGRAPHIC
SURVEY (3 OF 3)

C0.4

THIS SURVEY COORDINATED, BUT NOT PERFORMED, BY PARTNER ENGINEERING & SCIENCE, INC. SURVEY OBTAINED FROM AND CERTIFIED TO BY A LAND SURVEYOR LICENSED TO PRACTICE IN THE STATE WHERE THE SUBJECT PROPERTY IS LOCATED.



Vicinity Map - Zone Atlas H-16-Z

N.T.S.

Documents

- 1. TITLE COMMITMENT FOR LOT 2-A PROVIDED BY STEWART TITLE, HAVING FILE NO. 916238 AND AN EFFECTIVE DATE OF OCTOBER 22, 2020.
2. PLAT OF RECORD FILED IN THE BERNALILLO COUNTY CLERK'S OFFICE ON DECEMBER 10, 2019, IN BOOK 2019C, PAGE 124.
3. SPECIAL WARRANTY DEED FOR LOT 2, AMERICAN SQUARE, FILED IN THE BERNALILLO COUNTY CLERK'S OFFICE ON JANUARY 11, 2019, AS DOCUMENT NO. 2019002471.

Solar Collection Note

NO PROPERTY WITHIN THE AREA OF REQUESTED FINAL ACTION SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT, OR BUILDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERCTED ON THE LOTS OR PARCELS WITHIN THE AREA OF PROPOSED PLAT, THE FOREGOING REQUIREMENT SHALL BE A CONDITION TO APPROVAL OF THIS PLAT.

Free Consent & Dedication

THE SUBDIVISION SHOWN AND DESCRIBED HEREON IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER(S) THEREOF. EXISTING AND/OR GRANTED PUBLIC UTILITY EASEMENTS (P.U.E) AS SHOWN HEREON, UNLESS NOTED OTHERWISE, ARE FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICES FOR BURIED AND/OR OVERHEAD DISTRIBUTION LINES, CONDUIT AND PIPES FOR UNDERGROUND UTILITIES. SAID UTILITY COMPANIES HAVE THE RIGHT OF INGRESS/EGRESS FOR CONSTRUCTION OF, MAINTENANCE OF AND REPLACEMENT OF SAID UTILITIES INCLUDING THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS WITHIN SAID P.U.E. SAID OWNERS CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED.

Signature of Jeffrey Jesionowski, Organizer, Vista Oriente, Ltd. Co. with date 10-23-25. Includes text: STATE OF NEW MEXICO, COUNTY OF, and 'SS'.

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON October 23, 2025. BY: JEFFREY JESIONOWSKI, ORGANIZER, VISTA ORIENTE, LTD. CO. (OWNER LOT 2-B)

Signature of Kimberly Diane Legan, Notary Public. Includes text: STATE OF NEW MEXICO, NOTARY PUBLIC, Commission No. 1138659, August 30, 2026. MY COMMISSION EXPIRES August 30, 2026.

Indexing Information

Section 10, Township 10 North, Range 3 East, N.M.P.M.
Subdivision: American Square
Owner: Vista Oriente Ltd. Co.
UPC #: 101605949630810915

Purpose of Plat

- 1. SUBDIVIDE AS SHOWN HEREON.
2. VACATE EASEMENTS AS SHOWN HEREON.
3. GRANT EASEMENTS AS SHOWN HEREON.
4. DEDICATE RIGHT OF WAY TO THE CITY OF ALBUQUERQUE AS SHOWN HEREON.

Subdivision Data

GROSS ACREAGE, 10.2216 ACRES
ZONE ATLAS PAGE NO. H-16-Z
NUMBER OF EXISTING LOTS. 1
NUMBER OF LOTS CREATED. 6
MILES OF FULL-WIDTH STREETS. 0.0000 MILES
MILES OF HALF-WIDTH STREETS. 0.0000 MILES
RIGHT-OF-WAY DEDICATION TO THE CITY OF ALBUQUERQUE. 0.1950 ACRES
DATE OF SURVEY. SEPTEMBER 2024

Notes

- 1. FIELD SURVEY PERFORMED IN AUGUST AND SEPTEMBER 2024.
2. ALL DISTANCES ARE GROUND DISTANCES: US SURVEY FOOT.
3. THE BASIS OF BEARINGS REFERENCES NEW MEXICO STATE PLANE COORDINATES (NAD 83-CENTRAL ZONE).
4. MEASURED BEARINGS AND DISTANCES MATCH RECORD INFORMATION EXACTLY, AS SHOWN ON THE PLAT OF RECORD. (12/10/2019, 2019C-124)
5. THIS PRELIMINARY / FINAL PLAT WAS APPROVED BY THE DEVELOPMENT HEARING OFFICER FOR THE CITY OF ALBUQUERQUE AT A PUBLIC HEARING HELD ON JUNE 25, 2025.

Legal Description

LOT NUMBERED TWO-B (2-B) OF AMERICAN SQUARE, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT ENTITLED "PLAT FOR LOTS 2-A AND 2-B, AMERICAN SQUARE, BEING COMPRISED OF LOT 2, AMERICAN SQUARE, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO", FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON DECEMBER 10, 2019, IN BOOK 2019C, PAGE 124.

Flood Notes

BASED UPON SCALING, THIS PROPERTY LIES WITHIN FLOOD ZONE "X" WHICH IS DEFINED AS AN AREA OF MINIMAL FLOOD HAZARD AS DETERMINED BY F.E.M.A. AND SHOWN ON THE FLOOD INSURANCE RATE MAP NO. 35001C0351H, DATED AUGUST 16, 2012.

Treasurer's Certificate

THIS IS TO CERTIFY THAT THE TAXES ARE CURRENT AND PAID ON UPC # 101605949630810915

PROPERTY OWNER OF RECORD
Vista Oriente Ltd Co
BERNALILLO COUNTY TREASURER'S OFFICE
George Stone 1-12-26

Final Plat for
Lots 2-B-1, 2-B-2,
2-B-3, 2-B-4, 2-B-5 & 2-B-6
American Square
Being Comprised of
Lot 2-B, American Square
City of Albuquerque
Bernalillo County, New Mexico
August 2025

Project Number: PR-2024-009947
Application Number: MAJOR_PLT-2025-00003
MAJOR PRELIMINARY PLAT
DHO DATE OF APPROVAL: DECEMBER 17, 2025

Plat Approvals:

- Cynthia Spring 9/16/2025
PNM Electric Services 10/24/2025
Thomas McLaffin
West Corp. d/b/a CenturyLink QC 10/28/2025
Brandon Kauffman
New Mexico Gas Company 10/24/2025
Todd Schumelle
Comcast

City Approvals:

- Loren N. Risenhoover P.S. 8/27/2025
City Surveyor
Ernest Ramirez 12/22/2025
Traffic Engineering, Transportation Division
Dora Galt 12/22/2025
ABCWUA
Whitney Patten 12/22/2025
Parks and Recreation Department
Kana Radium 10/24/2025
AMAPCA
Regina Cho 12/22/2025
Hydrology
Jill De... 12/22/2025
Code Enforcement
Jay Radabaugh 12/31/2025
Planning Department
City Engineer 12/31/2025

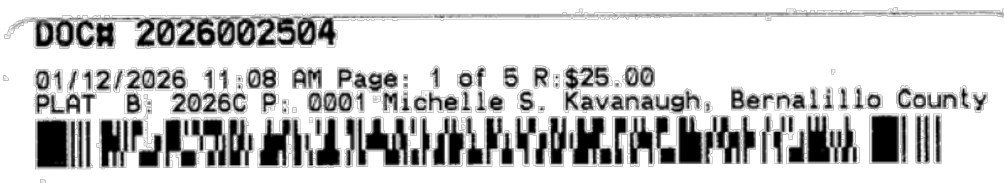
Surveyor's Certificate

I, BRIAN J. MARTINEZ, A REGISTERED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THIS PLAT AND DESCRIPTION WERE PREPARED BY ME OR UNDER MY SUPERVISION, SHOWS ALL EASEMENTS AS SHOWN ON THE PLAT OF RECORD OR MADE KNOWN TO ME BY THE OWNERS AND/OR PROPRIETORS OF THE SUBDIVISION SHOWN HEREON, THE UTILITY COMPANIES OR OTHER INTERESTED PARTIES AND MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS FOR THE CITY OF ALBUQUERQUE AND FURTHER MEETS THE MINIMUM STANDARDS FOR LAND SURVEYING IN THE STATE OF NEW MEXICO AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

Signature of Brian J. Martinez, Surveyor. Includes text: B. J. Martinez, 8/28/25, Date, BERNALILLO COUNTY, N.M.R.P.S. No. 18374

CSI-CARTESIAN SURVEYS INC.

P.O. BOX 44414 RIO RANCHO, N.M. 87174
Phone (505) 896-3050 Fax (505) 891-0244
cartesianbrian@gmail.com



PLAT (1 OF 5)
C0.5

Note: This sheet shows pre plat conditions, vacated and existing easements

Final Plat for
 Lots 2-B-1, 2-B-2, 2-B-3,
 2-B-4, 2-B-5 & 2-B-6,
 American Square
 Being Comprised of
 Lot 2-B, American Square
 City of Albuquerque
 Bernalillo County, New Mexico
 November 2025

Legend

N 90°00'00" E	
MEASURED BEARINGS AND DISTANCES	
●	FOUND MONUMENT AS INDICATED
⊙	FOUND PK NAIL
⊙	FOUND PK NAIL WITH TAG "LS 11993"
⊙	FOUND REBAR WITH CAP "LS 11993"
⊙	FOUND REBAR WITH CAP "LS 8478"
⊙	FOUND CHISELED "X"
○	SET 1/2" REBAR WITH CAP "LS 18374" UNLESS OTHERWISE NOTED

DOCH 2026002504
 01/12/2026 11:08 AM Page: 2 of 5 R: \$25.00
 PLAT B: 2026C P: 0001 Michelle S. Kavanaugh, Bernalillo County

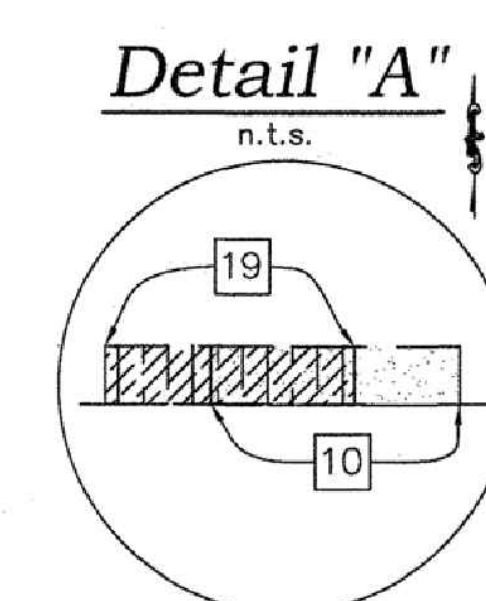
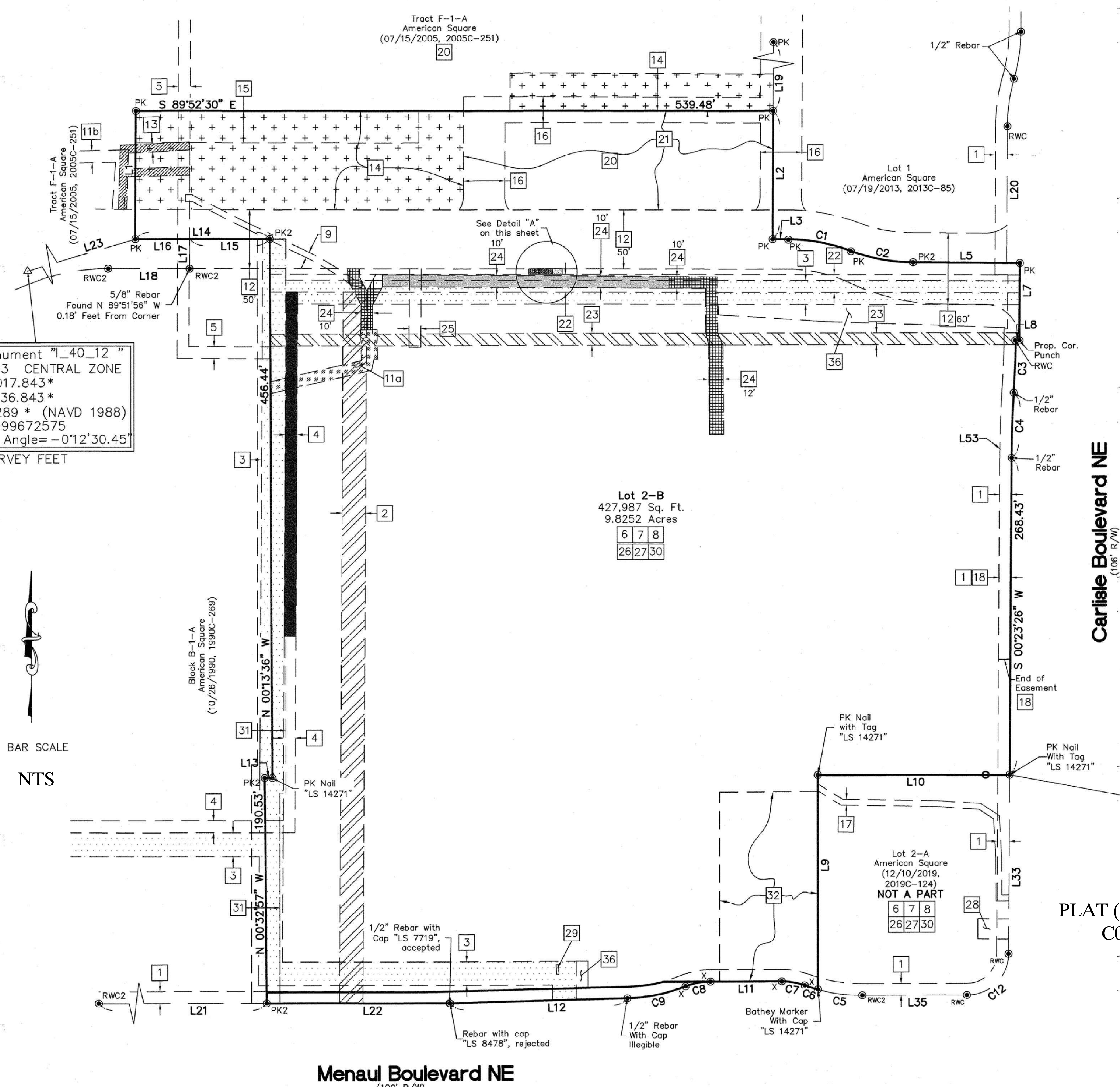
ACS Monument "1_40_12"
 NAD 1983 CENTRAL ZONE
 X=1532017.843*
 Y=1495236.843*
 Z=5117.289 * (NAVD 1988)
 G-G=0.999672575
 Mapping Angle=-0°12'30.45"
 *U.S. SURVEY FEET

Lot 2-B
 427,987 Sq. Ft.
 9.8252 Acres

6	7	8
26	27	30

ACS Monument "10_H_17"
 NAD 1983 CENTRAL ZONE
 X=1535835.595*
 Y=1495224.388*
 Z=5166.734 * (NAVD 1988)
 G-G=0.999669275
 Mapping Angle=-0°12'04.02"
 *U.S. SURVEY FEET

PLAT (2 OF 5)
 C0.6



Carlisle Boulevard NE
 (106' R/W)

Menaul Boulevard NE
 (100' R/W)

CSI-CARTESIAN SURVEYS INC.

P.O. BOX 44414 RIO RANCHO, N.M. 87174
 Phone (505) 896 - 3050 Fax (505) 891 - 0244
 cartesianbrian@gmail.com

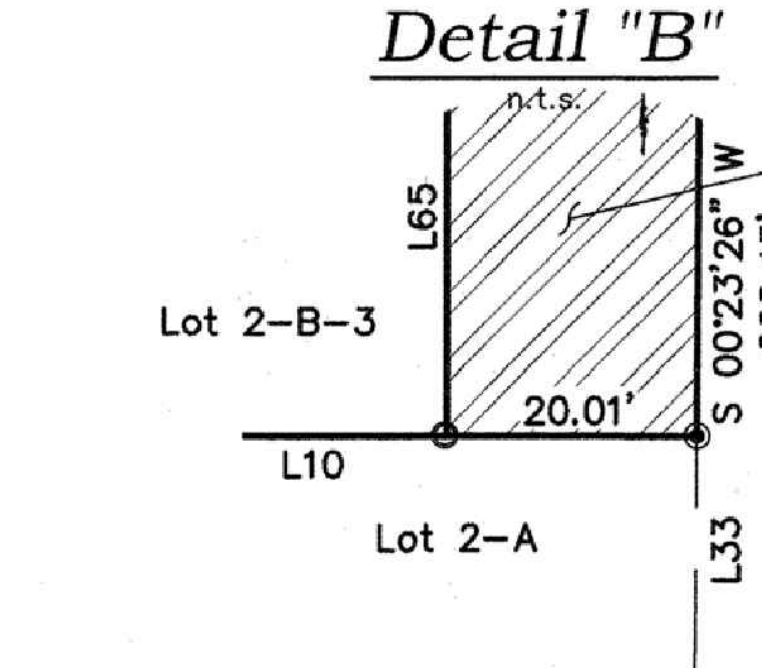
Note: This sheet shows post plat conditions, easements granted by this plat and remaining easements

Final Plat for
 Lots 2-B-1, 2-B-2, 2-B-3,
 2-B-4, 2-B-5 & 2-B-6,
 American Square
 Being Comprised of
 Lot 2-B, American Square
 City of Albuquerque
 Bernalillo County, New Mexico
 November 2025

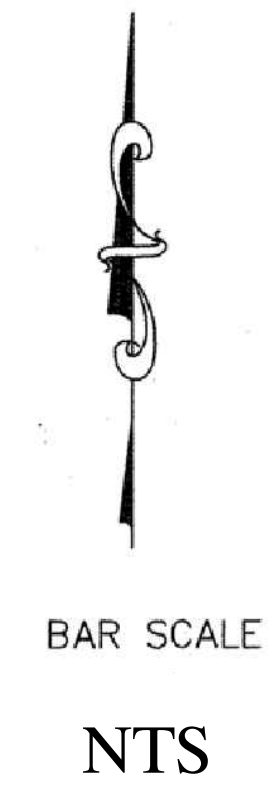
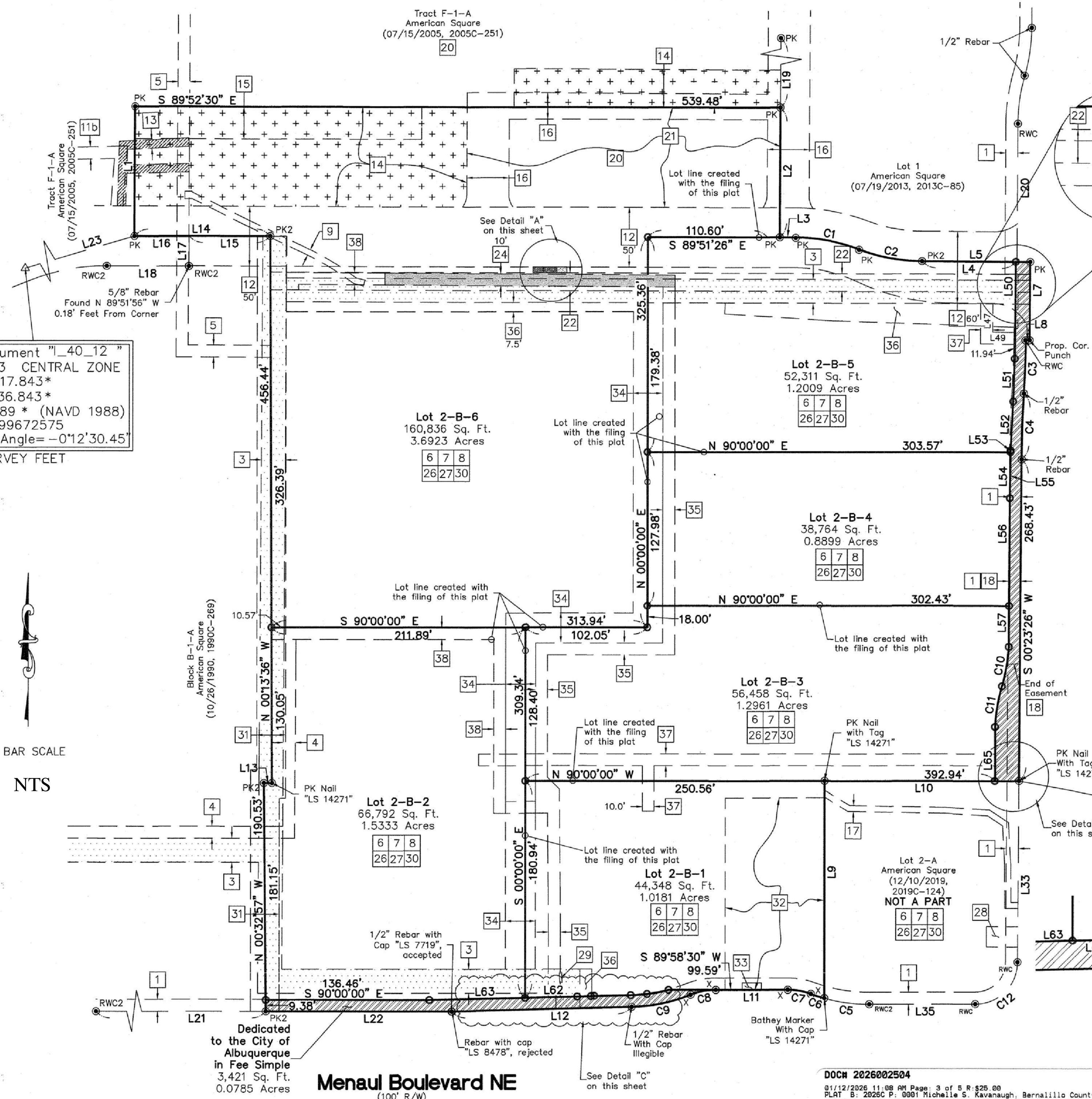
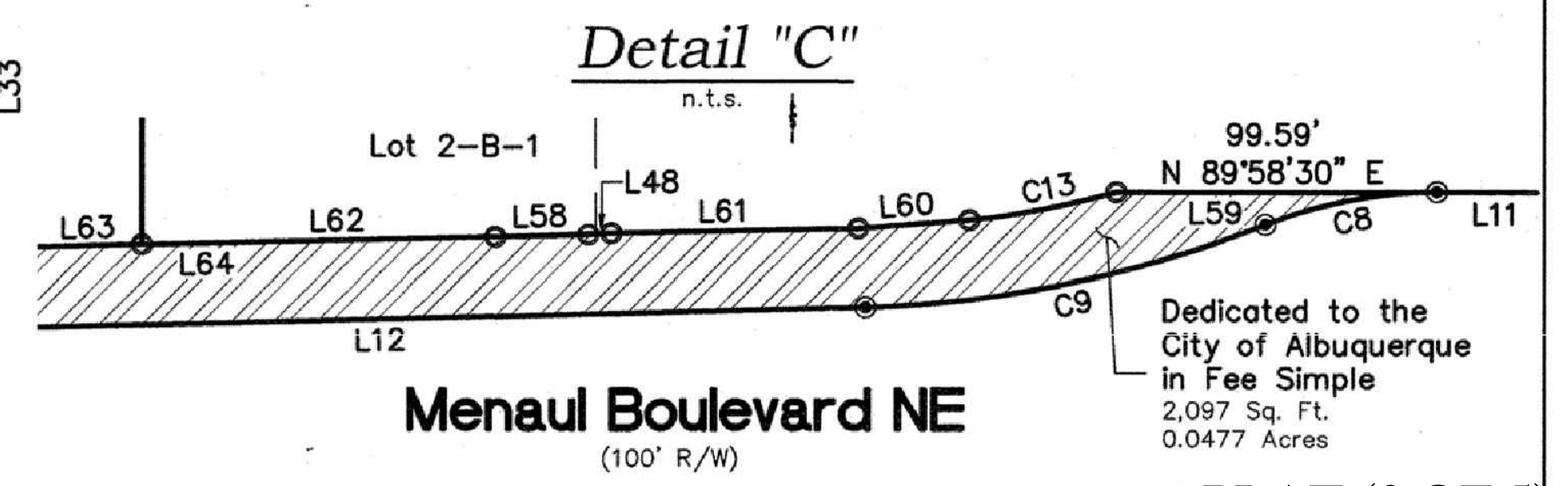
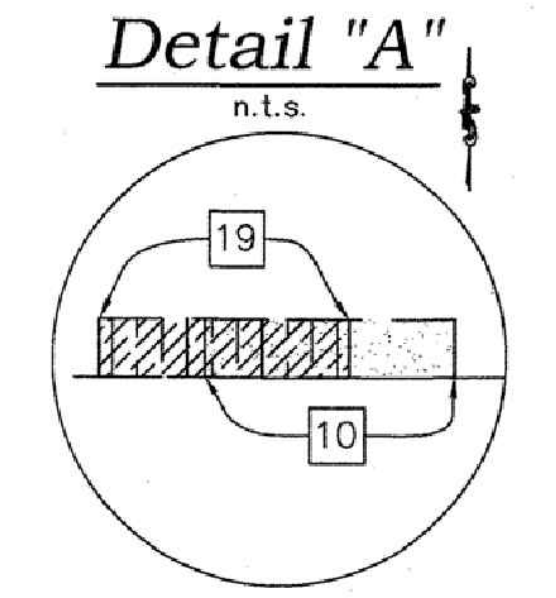
Legend

N 90°00'00" E	MEASURED BEARINGS AND DISTANCES
●	FOUND MONUMENT AS INDICATED
⊙	FOUND PK NAIL
⊙	FOUND PK NAIL WITH TAG "LS 11993"
⊙	FOUND REBAR WITH CAP "LS 11993"
⊙	FOUND REBAR WITH CAP "LS 8478"
⊙	FOUND CHISELED "X"
○	SET 1/2" REBAR WITH CAP "LS 18374" UNLESS OTHERWISE NOTED

ACS Monument "140_12"
 NAD 1983 CENTRAL ZONE
 X=1532017.843*
 Y=1495236.843*
 Z=5117.289 * (NAVD 1988)
 G-G=0.999672575
 Mapping Angle=-0°12'30.45"
 *U.S. SURVEY FEET



ACS Monument "10_H_17"
 NAD 1983 CENTRAL ZONE
 X=1535835.595*
 Y=1495224.388*
 Z=5166.734 * (NAVD 1988)
 G-G=0.999669275
 Mapping Angle=-0°12'04.02"
 *U.S. SURVEY FEET



Dedicated to the City of Albuquerque in Fee Simple
 3,421 Sq. Ft.
 0.0785 Acres

Menaul Boulevard NE
 (100' R/W)

Carlisle Boulevard NE
 (106' R/W)

Menaul Boulevard NE
 (100' R/W)

DOCH 2026002504
 01/12/2026 11:08 AM Page: 3 of 5 R:\$25.00
 PLAT B: 2025C P: 0001 Michelle S. Kavanaugh, Bernalillo County

CSI-CARTESIAN SURVEYS INC. C0.7

P.O. BOX 44414 RIO RANCHO, N.M. 87174
 Phone (505) 896-3050 Fax (505) 891-0244
 cartesianbrian@gmail.com

Sheet 3 of 5
 190291

Easement Notes

- 1 EXISTING 10' P.U.E. (3/25/1988, C36-33)
- 2 EXISTING 20' P.U.E. (4/12/1968, BK. MISC. 100, PG. 103, DOC. NO. 89532) VACATED WITH THE FILING OF THIS PLAT, SHOWN HEREON AS [diagonal lines]
- 3 EXISTING 20' WATER LINE EASEMENT (3/25/1988, C36-33) SHOWN HEREON AS [diagonal lines]
- 4 EXISTING 10' POWER AND COMMUNICATIONS EASEMENT (3/25/1988, C36-33) PORTION VACATED WITH THE FILING OF THIS PLAT SHOWN HEREON AS [diagonal lines]
- 5 REMAINING PORTION OF EXISTING 10' P.U.E. (4/15/1968, D3-196)
- 6 EXISTING NON-EXCLUSIVE EASEMENT FOR THE INSTALLATION, MAINTENANCE, OPERATION AND SERVICING OF ANY COMMON AREA IMPROVEMENTS, BLANKET IN NATURE OVER ALL OF LOTS 2-A AND 2-B (9/30/2020, DOC. NO. 2020095520) CONVEYED TO LOTS 2-B-1, 2-B-2, 2-B-3, 2-B-4, 2-B-5 & 2-B-6 WITH THE FILING OF THIS PLAT
- 7 EXISTING TEMPORARY NON-EXCLUSIVE EASEMENT FOR INGRESS AND EGRESS TO AND FROM CONSTRUCTION SITE(S) (9/30/2020, DOC. NO. 2020095520)
- 8 EXISTING NON-EXCLUSIVE EASEMENT FOR PLACEMENT, REPAIR, REPLACEMENT, OR EXTENSION OF ELECTRIC, GAS, CABLE, WATER, AND SANITARY SEWER, STORM AND SURFACE WATER DRAINAGE AND DETENTION FACILITIES, BLANKET IN NATURE OVER LOTS 2-A AND 2-B, EXCLUDING NON-BUILDABLE AREAS (9/30/2020, DOC. NO. 2020095520) CONVEYED TO LOTS 2-B-1, 2-B-2, 2-B-3, 2-B-4, 2-B-5 & 2-B-6 WITH THE FILING OF THIS PLAT
- 9 EXISTING 5' MST&T RIGHT OF WAY EASEMENT (5/4/1987, BK. MISC. 482-A, PG. 589, DOC. NO. 8745989)
- 10 EXISTING 20' X 4.71' PUBLIC PERMANENT UNDERGROUND EASEMENT FOR WATER LINE (1/20/1994, BK. 94-2, PG. 9979, DOC. NO. 94008921) SHOWN HEREON AS [diagonal lines] SEE DETAIL "A", ON SHEETS 2 & 3 OF 5
- 11a EXISTING U.S. WEST COMMUNICATIONS AND PNM UNDERGROUND EASEMENT (1/6/1994, BK. 94-1, PG. 4556, DOC. NO. 94002199) VACATED WITH THE FILING OF THIS PLAT SHOWN HEREON AS [diagonal lines]
- 11b EXISTING 10' U.S. WEST COMMUNICATIONS AND PNM UNDERGROUND EASEMENT (1/6/1994, BK. 94-1, PG. 4556, DOC. NO. 94002199)
- 12 EXISTING PRIVATE DRAINAGE, ACCESS, PUBLIC WATER, POWER COMMUNICATIONS AND GAS LINE EASEMENT, BENEFITING AND MAINTAINED BY THE OWNERS OF TRACTS A, B, E AND F (3/25/1988, C36-33)
- 13 EXISTING 7' POWER AND COMMUNICATIONS EASEMENT (3/25/1988, C36-33) SHOWN HEREON AS [diagonal lines]
- 14 EXISTING PERMANENT JOINT USE AREA, BENEFITING AND MAINTAINED BY THE OWNERS OF LOT 2-B AND TRACT F-1-A (7/14/1993, BK. 9318, PG. 8728, DOC. NO. 93075439) SHOWN HEREON AS [plus sign]
- 15 EXISTING 27' X 278' SETBACK COVENANT (NO PERMANENT STRUCTURES) (6/15/1990, BK. 90-10, PG. 1901-1904, DOC. NO. 9046436) (6/22/1990, BK. 90-10, PG. 5663-5669, DOC. NO. 9048256)
- 16 EXISTING PERMANENT DRIVE AISLES USED FOR JOINT USE AREAS (6/15/1990, BK. 90-10, PG. 1883, DOC. NO. 9046435)
- 17 EXISTING 5' SANITARY SEWER EASEMENT (9/2/2020, DOC. NO. 2020084932)
- 18 EXISTING 10' POWER & COMMUNICATIONS EASEMENT (3/19/1990, 90C-80)
- 19 EXISTING 20' X 4.71' PUBLIC WATERLINE EASEMENT (3/19/1990, 90C-80) SHOWN HEREON AS [diagonal lines] SEE DETAIL "A", ON SHEETS 2 & 3 OF 5
- 20 EXISTING NON-EXCLUSIVE INGRESS/EGRESS EASEMENT FOR VEHICULAR AND PEDESTRIAN TRAFFIC OVER DRIVE AREAS BENEFITING AND MAINTAINED BY THE OWNERS OF LOT 2-B AND TRACT F-1-A (6/15/1990, BK. 90-10, PG. 1883, DOC. NO. 9046435) AFFECTS THAT AREA WITHIN LOT 2-B, NORTH OF ROADWAY EASEMENT [12]
- 21 EXISTING JOINT USE AREA BENEFITING AND MAINTAINED BY THE OWNERS OF LOT 2-B AND TRACT F-1-A (7/14/1993, BK. 93-18, PG. 8728-8738, DOC. NO. 93075439)
- 22 EXISTING 15' MST&T EASEMENT (3/25/1988, C36-33)
- 23 EXISTING 10' P.U.E. (12/10/2019, 2019C-124) PORTIONS VACATED WITH THE FILING OF THIS PLAT SHOWN HEREON AS [diagonal lines]
- 24 EXISTING P.U.E. (12/10/2019, 2019C-124) PORTION VACATED WITH THE FILING OF THIS PLAT SHOWN HEREON AS [diagonal lines] PORTION TO REMAIN SHOWN HEREON AS [diagonal lines]
- 25 EXISTING 10' TELEPHONE AND COMCAST EASEMENT (12/10/2019, 2019C-124) VACATED WITH THE FILING OF THIS PLAT

Easement Notes, Continued

- 26 EXISTING CROSS PRIVATE CROSS LOT ACCESS AND PARKING EASEMENT OVER THAT PORTION SOUTH OF EASEMENT [12] FOR LOT 2-A AND ALL OF LOT 2-B WITH THE EXCEPTION OF THOSE AREAS COVERED BY BUILDINGS AND IMPROVEMENTS, BENEFITING AND MAINTAINED BY THE OWNERS OF LOTS 2-A AND 2-B (12/10/2019, 2019C-124) CONVEYED TO LOTS 2-B-1, 2-B-2, 2-B-3, 2-B-4, 2-B-5 & 2-B-6 WITH THE FILING OF THIS PLAT
- 27 EXISTING CROSS DRAINAGE EASEMENT OVER THAT PORTION SOUTH OF EASEMENT [12] FOR LOT 2-A AND ALL OF LOT 2-B WITH THE EXCEPTION OF THOSE AREAS COVERED BY BUILDINGS AND IMPROVEMENTS, BENEFITING AND MAINTAINED BY THE OWNERS OF LOTS 2-A AND 2-B (9/30/2020, DOC. NO. 2020095520) AND AS SHOWN ON PLAT (12/10/2019, 2019C-124) CONVEYED TO LOTS 2-B-1, 2-B-2, 2-B-3, 2-B-4, 2-B-5 & 2-B-6 WITH THE FILING OF THIS PLAT
- 28 EXISTING PNM EASEMENT (6/25/2020, DOC. NO. 2020057146)
- 29 EXISTING MONUMENT SIGN EASEMENT (9/30/2020, DOC. NO. 2020095520)
- 30 EXISTING PERPETUAL, NON-EXCLUSIVE EASEMENT INGRESS/EGRESS ACCESS FOR ALL ACCESS POINTS, DRIVEWAYS, VEHICULAR TRAFFIC, PARKING AREAS, PEDESTRIAN TRAFFIC EASEMENT, BLANKET IN NATURE OVER ALL OF LOTS 2-A AND 2-B, WITH THE EXCEPTION OF THOSE AREAS COVERED BY BUILDINGS AND IMPROVEMENTS (9/30/2020, DOC. NO. 2020095520) AND AS SHOWN ON PLAT (12/10/2019, 2019C-124) FURTHER DEFINED FOR LOTS 2-B-1, 2-B-2, 2-B-3, 2-B-4, 2-B-5 & 2-B-6 WITH THE FILING OF THIS PLAT
- 31 EXISTING SHARED ROADWAY ACCESS EASEMENT (11/17/2025, DOC. NO. 2025092999)
- 32 EXISTING PERPETUAL, NON-EXCLUSIVE EASEMENT FOR PARKING BENEFITING LOT 2-A (9/30/2020, DOC. NO. 2020095520)
- 33 6' X 16' EASEMENT FOR BUS SHELTER, GRANTED WITH THE FILING OF THIS PLAT SEE DETAIL ON SHEET 4 OF 5
- 34 25' PUBLIC WATER AND PUBLIC SEWER EASEMENT GRANTED TO ABCWUA, WITH THE FILING OF THIS PLAT, SEE DETAIL ON SHEET 4 OF 5
- 35 10' JOINT DRY UTILITY TRENCH EASEMENT, GRANTED WITH THE FILING OF THIS PLAT, SEE DETAIL ON SHEET 4 OF 5
- 36 PUBLIC WATER EASEMENT, GRANTED TO ABCWUA WITH THE FILING OF THIS PLAT SEE DETAIL ON SHEET 4 OF 5
- 37 10' PUBLIC GAS EASEMENT, GRANTED WITH THE FILING OF THIS PLAT
- 38 10' PUBLIC UTILITY EASEMENT, GRANTED WITH THE FILING OF THIS PLAT

Public Utility Easements

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

- A. Public Service Company of New Mexico ("PNM"), a New Mexico corporation, (PNM Electric) for installation, maintenance, and service of overhead and underground electrical lines, transformers, and other equipment and related facilities reasonably necessary to provide electrical services.
- B. New Mexico Gas Company for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas services.
- C. Qwest Corporation d/b/a CenturyLink QC for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide communication services.
- D. Cable TV for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable services.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, replace, modify, renew, operate and maintain facilities for purposes described above, together with free access to, from, and over said easements, with the right and privilege of going upon, over and across adjoining lands of Grantor for the purposes set forth herein and with the right to utilize the right of way and easement to extend services to customers of Grantee, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat. Easements for electric transformer/switchgears, as installed, shall extend ten (10) feet in front of transformer/switchgear doors and five (5) feet on each side.

Disclaimer

In approving this plat, Public Service Company of New Mexico (PNM) and New Mexico Gas Company (NMGC) did not conduct a Title Search of the properties shown hereon. Consequently, PNM and NMGC do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

Line Table		
Line #	Direction	Length (ft)
L1	N 00°19'02" E	108.23'
L2	S 00°14'41" W	108.26'
L3	S 89°50'09" E	13.12'
L4	S 89°40'18" E	78.24'
L5	S 89°40'18" E	90.23'
L6	S 89°40'18" E	11.99'
L7	S 00°23'36" W	65.39'
L8	S 89°11'01" W	3.04'
L9	S 00°00'00" E	181.32'
L10	N 90°00'00" W	162.39'
L11	S 89°58'30" W	60.17'
L12	S 88°33'07" W	150.68'
L13	N 89°46'42" E	6.67'
L14	S 89°56'53" W	113.79'
L15	S 89°56'53" W	67.97'
L16	S 89°56'53" W	45.81'
L17	S 00°03'07" E	25.18'
L18	N 89°51'56" W	69.08'
L19	N 00°19'28" E	116.01'
L20	N 00°19'15" E	115.30'
L21	S 89°56'44" W	301.86'
L22	N 89°56'27" W	154.89'
L23	S 67°28'45" W	1822.85'
L24	N 90°00'00" W	10.19'
L25	N 00°28'47" W	49.76'
L26	N 45°00'00" W	14.26'
L28	N 00°35'37" W	31.40'
L29	S 00°04'37" W	54.04'
L30	S 89°58'30" W	22.20'
L31	N 24°20'46" W	33.15'
L32	S 89°58'30" W	16.00'
L33	S 00°23'26" W	151.43'
L34	N 00°01'30" W	6.00'
L35	S 89°53'26" W	88.51'
L36	S 00°20'57" W	4.71'
L37	N 89°39'03" W	10.00'
L38	S 00°20'57" W	14.71'
L39	S 89°39'35" E	81.84'
L40	N 00°20'25" E	10.01'
L41	N 89°39'03" W	71.84'
L42	N 00°20'55" W	37.98'
L43	S 00°20'55" E	38.05'
L44	S 00°04'44" W	54.27'
L45	N 00°35'37" W	31.38'
L46	N 00°36'05" W	29.78'
L47	N 00°19'42" E	33.76'
L48	N 86°23'49" E	2.83'
L49	S 89°26'45" E	28.61'
L50	S 00°33'15" W	80.81'
L51	S 02°04'56" W	35.63'
L52	S 02°59'54" W	40.91'
L53	S 00°51'32" W	1.56'
L54	S 00°51'32" W	38.29'
L55	S 00°51'32" W	39.85'
L56	S 00°21'47" W	89.70'

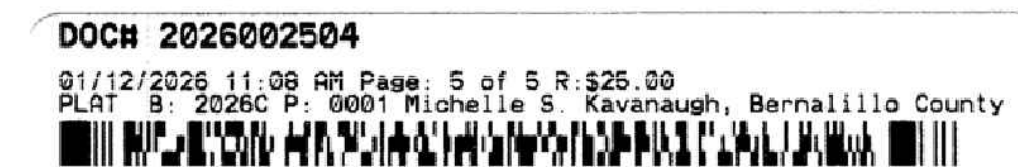
**Final Plat for
Lots 2-B-1, 2-B-2, 2-B-3,
2-B-4, 2-B-5 & 2-B-6,
American Square
Being Comprised of
Lot 2-B, American Square
City of Albuquerque
Bernalillo County, New Mexico
November 2025**

Line Table		
Line #	Direction	Length (ft)
L57	S 00°18'09" W	34.13'
L58	N 88°34'43" E	11.50'
L59	N 89°58'30" E	39.42'
L60	N 85°48'15" E	13.75'
L61	N 88°48'53" E	30.51'
L62	N 88°39'23" E	43.61'
L63	N 88°39'23" E	79.87'
L64	N 88°39'23" E	123.48'
L65	S 00°00'10" E	44.76'
L66	N 03°45'23" E	8.96'
L68	N 20°27'11" E	25.53'

*L27 INTENTIONALLY OMITTED

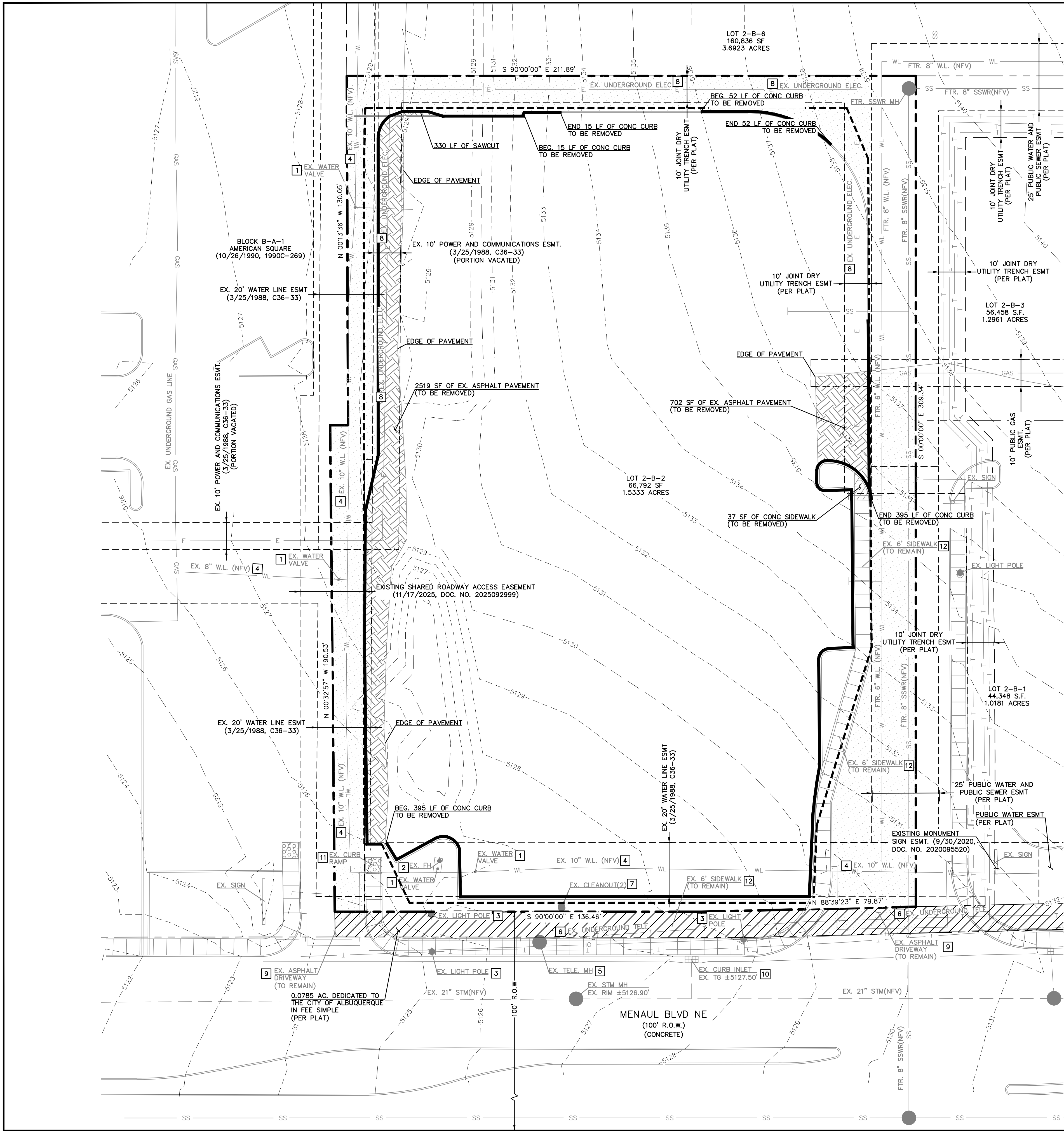
Curve Table					
Curve #	Length	Radius	Delta	Chord Length	Chord Direction
C1	54.35'	150.00'	20°45'37"	54.05'	S 79°27'21" E
C2	53.92'	150.00'	20°35'45"	53.63'	S 79°22'26" E
C3	44.29'	999.63'	2°32'19"	44.29'	S 02°13'43" W
C4	55.07'	1007.00'	3°08'00"	55.06'	S 01°55'52" W
C5	38.36'	143.00'	15°22'13"	38.25'	N 82°25'27" W
C6	11.73'	143.00'	4°42'00"	11.73'	N 72°23'23" W
C7	19.88'	57.00'	19°59'07"	19.78'	N 80°01'56" W
C8	21.60'	57.00'	21°42'42"	21.47'	S 79°07'09" W
C9	50.64'	143.00'	20°17'19"	50.37'	S 78°24'28" W
C10	33.51'	150.00'	12°47'55"	33.44'	N 09°42'18" E
C11	35.10'	150.00'	13°24'30"	35.02'	S 09°24'01" W
C12	54.67'	35.00'	89°30'00"	49.28'	N 45°08'26" E
C13	18.51'	104.40'	10°09'37"	18.49'	N 79°19'11" E

**PLAT (5 OF 5)
C0.9**



CSI-CARTESIAN SURVEYS INC.

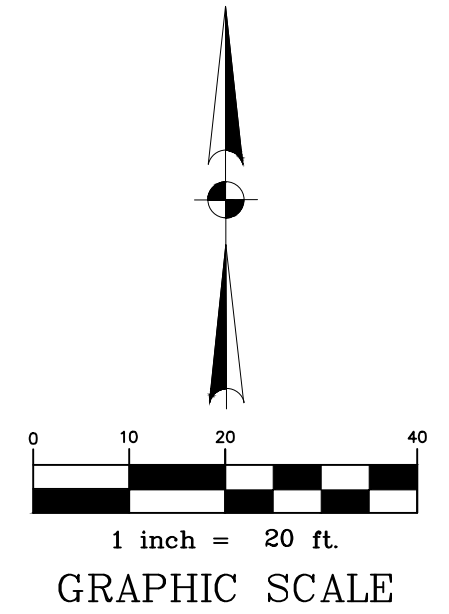
P.O. BOX 44414 RIO RANCHO, N.M. 87174
Phone (505) 896-3050 Fax (505) 891-0244
cartesianbrian@gmail.com



City of Albuquerque
 Planning Department
 Development Review Services
HYDROLOGY SECTION
APPROVED

DATE: 3/6/2026
 BY: *[Signature]*
 HydroTrans # H16D083F2

THE APPROVAL OF THESE PLANS/REPORTS SHALL NOT BE CONSIDERED TO PREVENT VIOLATIONS OF ANY CITY ORDINANCE OR STATE LAW, AND SHALL NOT PREVENT THE CITY OF ALBUQUERQUE FROM REQUESTING CORRECTIONS FOR ERRORS OR DIMENSIONS IN PLANS, SPECIFICATIONS, OR CONSTRUCTION DOCUMENTS. SUCH APPROVED PLANS/REPORTS SHALL NOT BE CHANGED, MODIFIED OR ALTERED WITHOUT AUTHORIZATION. THE APPROVAL OF THESE PLANS/REPORTS SHALL EXPIRE TWO (2) YEARS AFTER THE APPROVAL DATE IF NO BUILDING PERMIT HAS BEEN FILED ON THE DEVELOPMENT.



BENCHMARK:
 ACS MONUMENT "10-H17" HAVING AN ELEVATION OF 5166.734
 ELEVATION = 5166.734 FEET (NAVD88, 2001 ADJUSTMENT)

KEYED NOTES	
	EXISTING ASPHALT PAVEMENT (TO BE REMOVED)
	EXISTING SIDEWALK (TO BE REMOVED)
	LIMITS OF DISTURBED AREA
	SAWCUT (FULL DEPTH)
	1 WATER VALVE
	2 FIRE HYDRANT
	3 LIGHT POLE
	4 WATER LINE
	5 TELEPHONE MANHOLE
	6 UNDERGROUND TELEPHONE LINE
	7 CLEANOUT
	8 UNDERGROUND ELECTRIC
	9 DRIVEWAY
	10 CURB INLET
	11 CURB RAMP
	12 SIDEWALK
	EXISTING ASPHALT PAVEMENT (TO REMAIN)

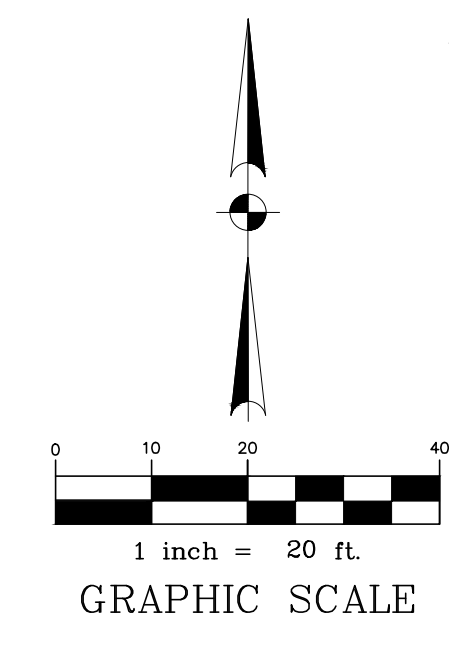
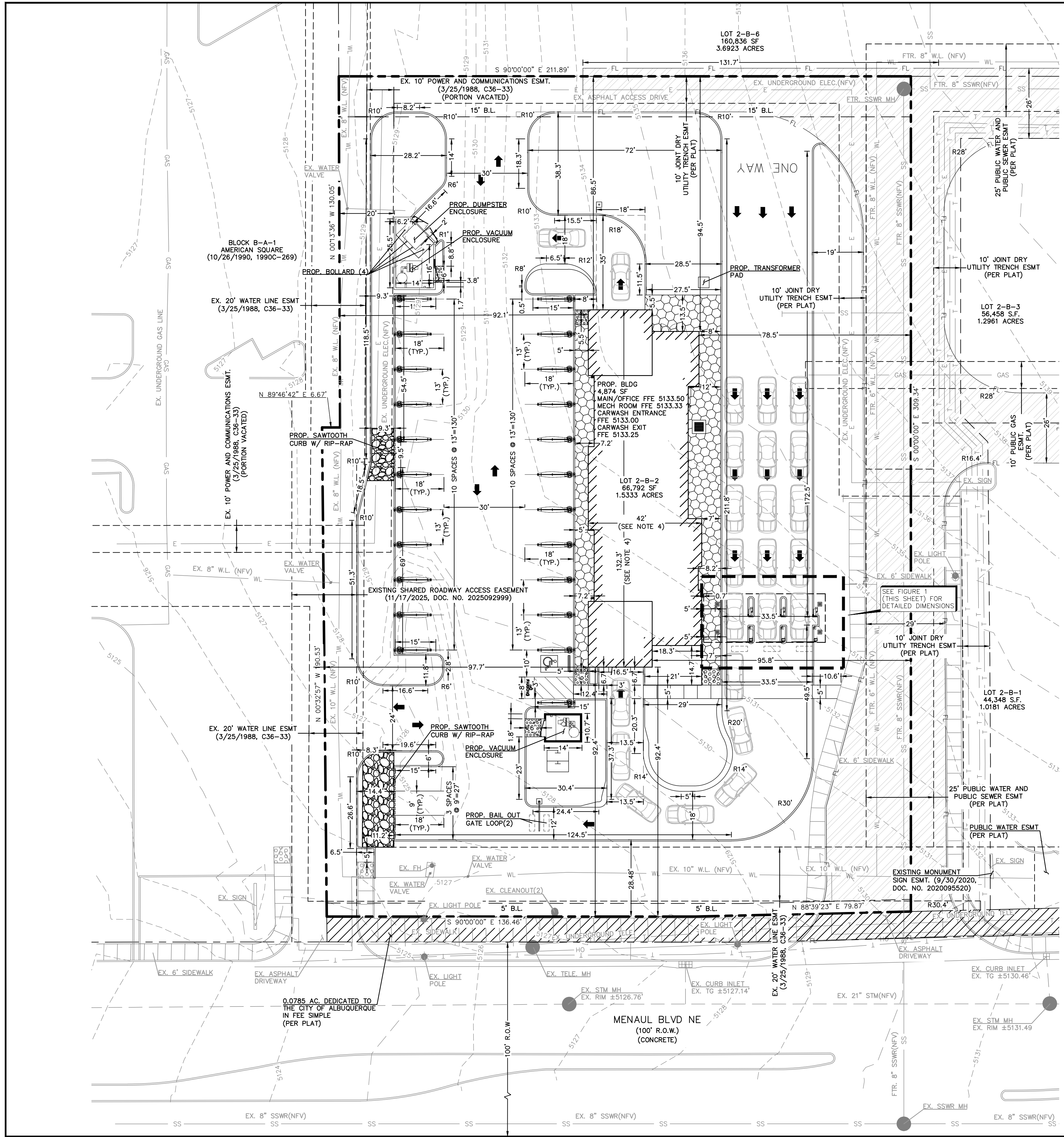
LEGEND		
	GAS	EXISTING GAS LINE
	SS	EXISTING STORM SEWER
	WL	EXISTING WATER LINE
	SS	EXISTING SANITARY SEWER
	OH	EXISTING OH POWER LINE
		EXISTING MANHOLE
	100	EXISTING MAJOR CONTOUR
	99	EXISTING MINOR CONTOUR

- GENERAL NOTES**
- ALL SAWCUTS TO EXTEND FULL DEPTH OF EXISTING PAVEMENT, AND IN NO CASE SHALL THE PROPOSED CONCRETE PAVEMENT SECTION BE LESS THAN 24 INCHES IN WIDTH. CONTRACTOR TO SAWCUT ALONG GUTTER OF EXISTING PAVEMENT AND ADJUST LOCATION OF SAWCUT TO ENSURE ADEQUATE WIDTH OF PROPOSED PAVEMENT.
 - CONTRACTOR IS RESPONSIBLE FOR PROVIDING TRAFFIC CONTROL FOR ALL WORK TO BE DONE IN RIGHT-OF-WAY ACCORDING TO THE LATEST MUTCD REQUIREMENTS.
 - CONTRACTOR TO CLEAR AND GRUB PROJECT SITE AS NECESSARY FOR INSTALLATION OF PROPOSED FACILITIES. CLEARING AND GRUBBING CONSISTS OF REMOVAL AND DISPOSAL OF TREES, STUMPS, BRUSH, ROOTS, VEGETATION, LOGS, RUBBISH AND OTHER OBJECTIONABLE MATTER WITHIN THE DESIGNATED AREA. CONTRACTOR TO REMOVE STUMPS AND ROOTS WITHIN CLEARING LIMITS TO MINIMUM DEPTH OF TWO (2') FEET BELOW NATURAL GROUND ELEVATION. CLEARED AND GRUBBED MATERIAL BECOMES PROPERTY OF THE CONTRACTOR, TO BE REMOVED FROM THE WORK SITE OR DISPOSED OF AT NO EXTRA COST TO THE OWNER.
 - CONTRACTOR RESPONSIBLE TO CLEAR AND DEMO ALL WITHIN LIMITS OF DISTURBANCE LINE.
 - UTILITIES AND APPURTENANCES LABELED AS FUTURE ARE FOR REFERENCE ONLY. CONTRACTOR TO REFERENCE APPROVED PLANS TITLED "CARWASH AND MENAUL COMMERCIAL CENTER" PREPARED BY BOHANNAN HUSTON INC. COA PROJ. NO. 781029

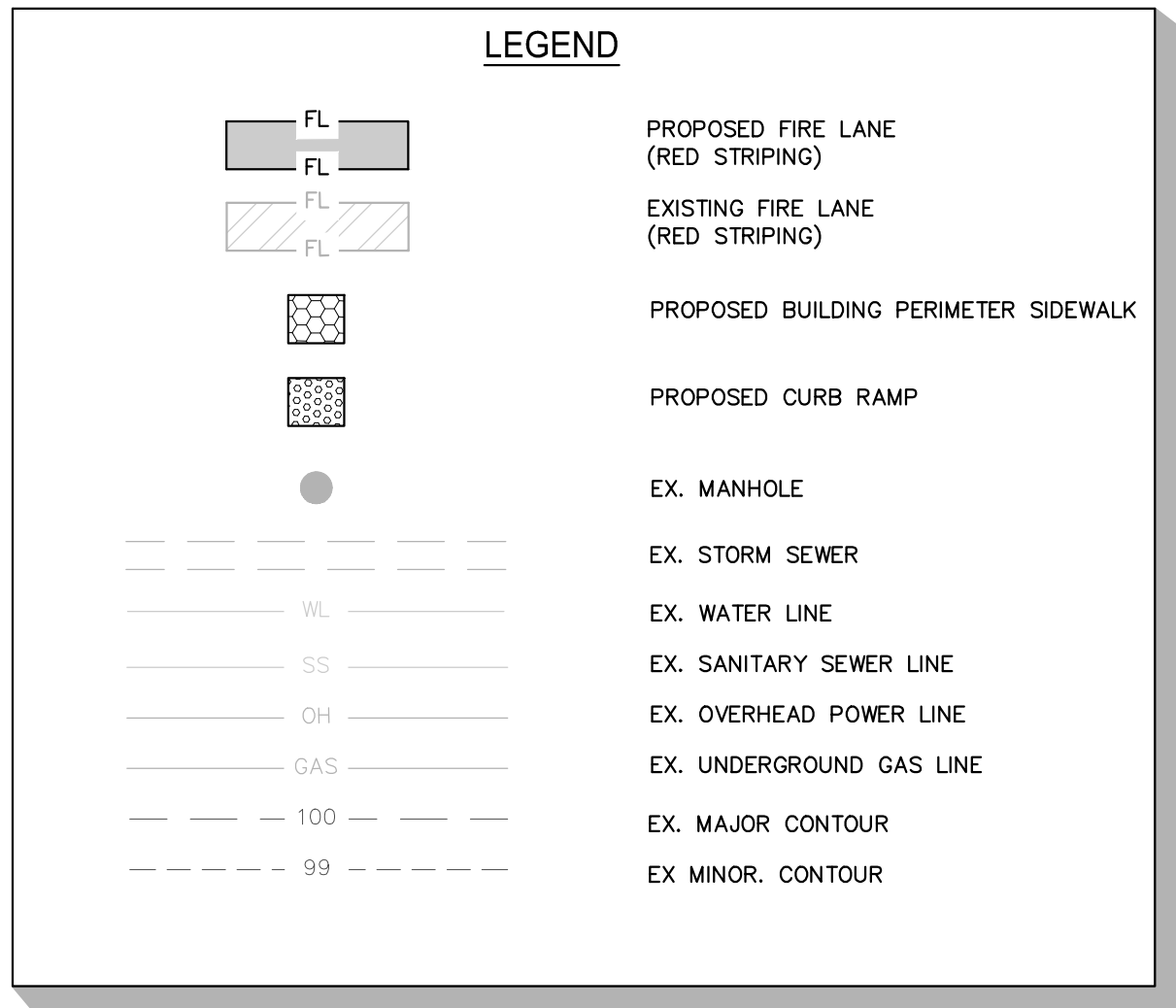
MULTIPLE EXISTING PUBLIC AND PRIVATE UTILITY LINES EXIST ON THIS SITE. THE UTILITY LINES SHOWN ON THESE DRAWINGS REFLECT INFORMATION OBTAINED FROM RECORD DRAWINGS AND MAY NOT INCLUDE ALL EXISTING UTILITIES. CONTRACTOR IS TO USE EXTREME CAUTION DURING ALL CONSTRUCTION ACTIVITIES AND IS SOLELY RESPONSIBLE FOR DAMAGE TO EXISTING FACILITIES.

TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND UTILITIES BEFORE YOU DIG IN NEW MEXICO OR BLAST - STOP CALL
 1-800-321-2537
 NEW MEXICO STATUE 62-14(1978)
 MIN. 2 WORK DAYS NOTICE BEFORE EXCAVATION.

NO.	REVISIONS	DATE
 ALJ Lindsey Civil Engineers 1885 N. Exchange Pkwy, Suite 200 Albuquerque, NM 87112 281.301.9565		
24 FEBRUARY 2026		
ALL PROJECT NO. 6662ACV008	DATE: FEB. 2026	CHECKED BY: RAB
	SCALE: 1"=20'	
	DRAWN BY: JAA	
DEMOLITION PLAN		
MISTER CARWASH 3535 MENAUL BLVD., ALBUQUERQUE, NEW MEXICO 87107		
SHEET C1.0		



BENCHMARK:
ACS MONUMENT "10-H17" HAVING AN ELEVATION OF 5166.734
ELEVATION = 5166.734 FEET (NAVD88, 2001 ADJUSTMENT)



- GENERAL NOTES**
1. PAVEMENT DIMENSIONS AND RADII ARE FACE TO FACE OF CURB, UNLESS OTHERWISE NOTED.
 2. RADII ARE 3' UNLESS OTHERWISE NOTED.
 3. REFER TO SITE ELECTRICAL PLAN FOR PROPOSED SITE LIGHTING LAYOUT.
 4. REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING FOUNDATION DIMENSIONS.
 5. PARKING AREAS ADJACENT TO MAJOR CIRCULATION AISLES OR ADJACENT TO MAJOR ENTRANCES 1% MIN. TO 6% MAX.
 6. HANDICAP PARKING 1% MIN. TO 2% MAX.
 7. ALL CURBING TO BE 6" MIN. AND 8" MAX.
 8. UTILITIES AND APPURTENANCES LABELED AS FUTURE ARE FOR REFERENCE ONLY. CONTRACTOR TO REFERENCE APPROVED PLANS TITLED "CARLISLE AND MENAU COMMERCIAL CENTER" PREPARED BY BOHANNAN HUSTON INC. COA PROJ. NO. 781029

- EXECUTIVE SUMMARY**
1. LOT 2B AMERICAN SQUARE ZONED MX-M, LOCATED AT 3535 MENAU BLVD NE BETWEEN CARLISLE BLVD AND MENAU BLVD CONTAINING APPROXIMATELY 1.57 ACRES (H-16).
 2. PROPOSED CAR WASH LOCATED AT LOT 2-B-2 (3535 MENAU BLVD, NE, NM) OF THE FINAL RECORDED PLAT TITLED "AMERICAN SQUARE" APPROVED 12/17/2025. DOC. NO. 2026002504.
 3. CURRENT OR PRIOR PROJECT AND CASE NUMBERS THAT MAY BE RELEVANT TO YOUR REQUEST: PR-2024-009947, SI-2024-009947.

Site Data Summary Table - Lot 2-B-2	
GENERAL SITE DATA	LOT 2-B-2
LEGAL DESCRIPTION	LT 2-B PLAT FOR LOTS 2-A & 2-B AMERICAN SQUARE
EXISTING ZONING	MX-M
PROPOSED ZONING	MX-M
PROPOSED LAND USE	CAR WASH
LOT AREA (SF/ACRES)	66,792 S.F. / 1.5333 AC
BUILDING FOOTPRINT (SF)	4,874 SF / 0.11 AC
TOTAL BUILDING AREA (SF)	4,874 SF
AREA OF SITE DISTURBANCE	50,882 SF / 1.17 AC
BUILDING HEIGHT (FT)	35 FT
LOT COVERAGE (X.XX%)	72.35%
FLOOR AREA RATIO	0.071
TYPE OF CONSTRUCTION	II-B
SPRINKLER SYSTEM	NO
BUILDING SET BACKS	FRONT 5', REAR 15', SIDE 0'
LANDSCAPE BUFFERS	FRONT 0', REAR 0', SIDE 0'
PARKING REQUIRED	2,1000 SF GROSS FLOOR AREA OF RETAIL, OFFICE AND WAITING AREA (9.75 SPACES REQUIRED)
PARKING PROVIDED	24 SPACES
HANDICAP STALLS REQUIRED	1
HANDICAP STALLS PROVIDED	1

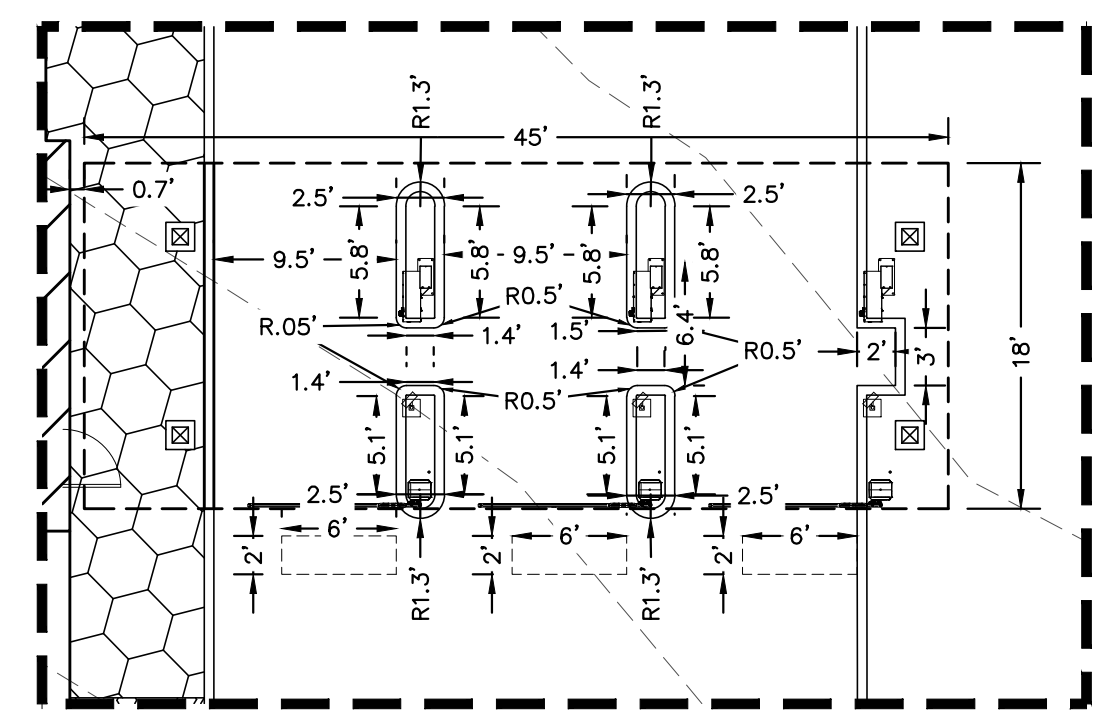


FIGURE 1
SCALE: 1:10

EXISTING SITE DATA	AREA (AC)	AREA (SF)	RATIO (%)
PROJECT SITE	1.53	66,972	N/A
BUILDING FLOOR AREA	0.00	0	0.00%
EXISTING IMPERVIOUS COVER	0.40	17,326	25.87%
LANDSCAPE/ OPEN SPACE	1.13	49,246	73.53%

PROPOSED SITE DATA	AREA (AC)	AREA (SF)	RATIO (%)
PROJECT SITE	1.53	66,792	N/A
BUILDING FLOOR AREA	0.11	4,874	7.30%
PROP. IMPERVIOUS COVER	0.71	31,006	46.42%
TOTAL IMPERVIOUS COVER	1.11	48,332	72.36%
LANDSCAPE/ OPEN SPACE	0.42	18,420	27.58%
MAXIMUM IMPERVIOUS RATIO	1.30	56,739	84.95%

TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN NEW MEXICO OR BLAST - STOP CALL
1-800-321-2537
NEW MEXICO STATUTE 62-14(1978)
MIN. 2 WORK DAYS NOTICE BEFORE EXCAVATION

REVISIONS

NO. DATE

ALJ Lindsey
Civil Engineers
1885 N. Exchange Pkwy, Suite 200
281.301.9565

Brett J. Hamann
BRETT J. HAMANN
NEW MEXICO
25690
LICENSED PROFESSIONAL ENGINEER

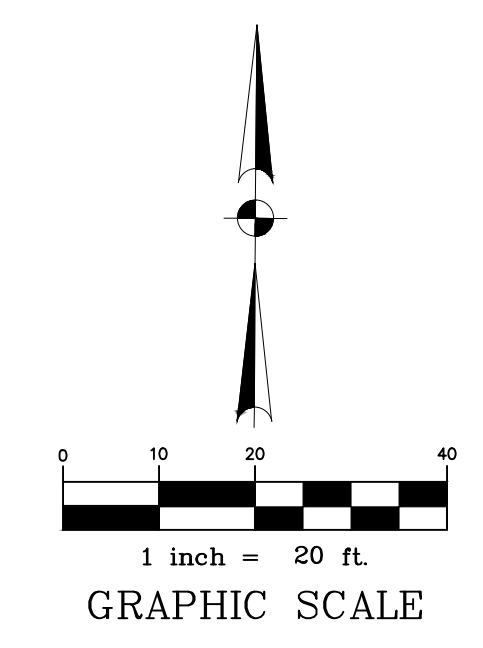
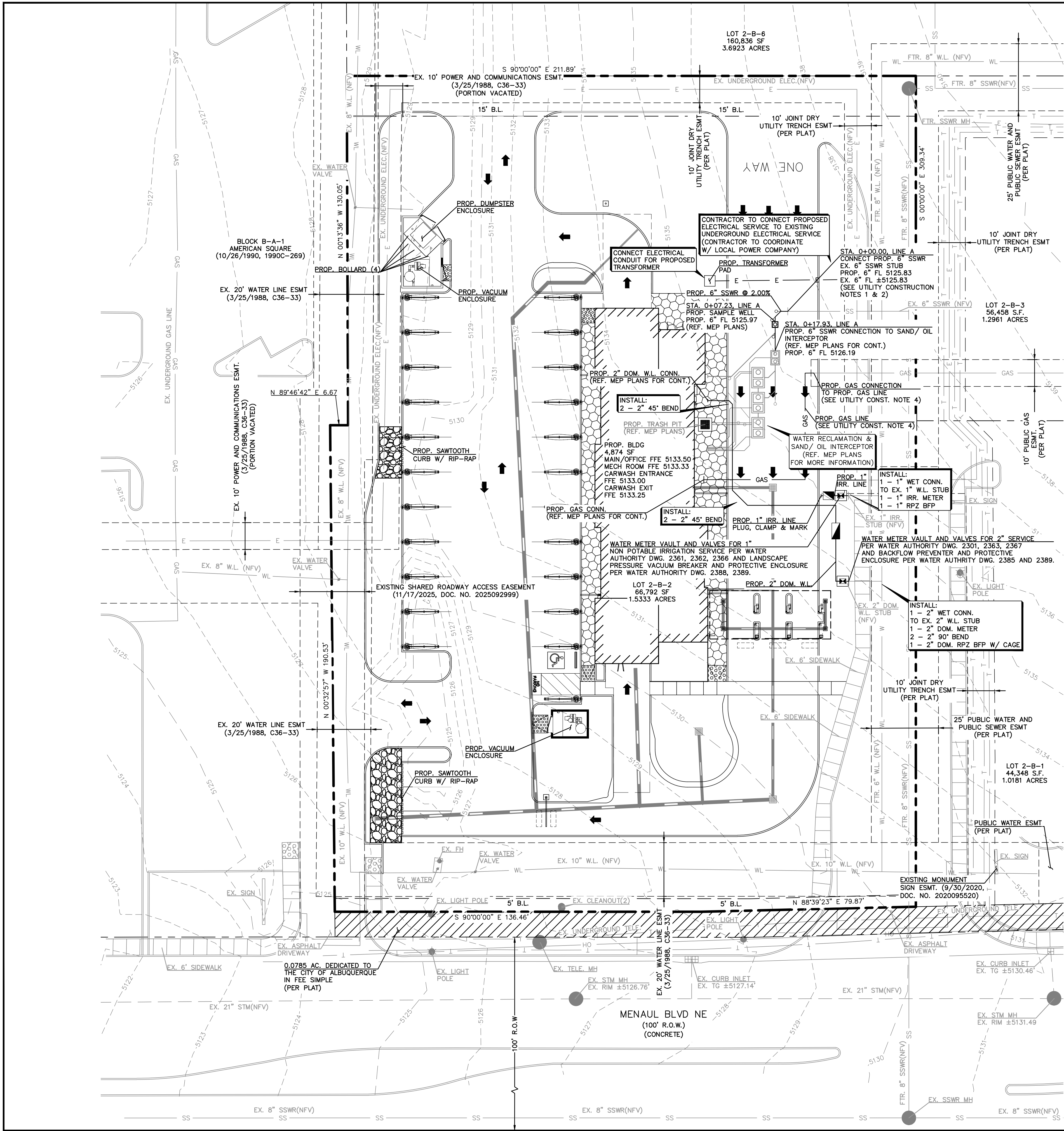
24 FEBRUARY 2026

ALL PROJECT NO. 66624C0008
DATE: FEB. 2026
SCALE: 1:20
DRAWN BY: JAA
CHECKED BY: RAB

DIMENSION CONTROL PLAN

MISTER CARWASH
3535 MENAU BLVD.,
ALBUQUERQUE, NEW MEXICO 87107

SHEET
C1.1



BENCHMARK:
ACS MONUMENT "10-117" HAVING AN ELEVATION OF 5166.734
ELEVATION = 5166.734 FEET (NAVD88, 2001 ADJUSTMENT)

LEGEND

SS	PROPOSED SANITARY SEWER
WL	PROPOSED WATER LINE
---	PROPOSED STORM SEWER
E	PROPOSED ELECTRICAL SERVICE (SEE GENERAL NOTE 4)
---	EX. STORM SEWER
WL	EX. WATER LINE
SS	EX. SANITARY SEWER LINE
---	EX. MAJOR CONTOUR
---	EX. MINOR CONTOUR

UTILITY CONSTRUCTION NOTES

- CONTRACTOR TO VERIFY ALL PROPOSED UTILITY CONNECTIONS FOR BOTH LOCATION AND DEPTH PRIOR TO ORDERING MATERIALS OR COMMENCEMENT OF WORK. SHOULD CONFLICT EXIST CONTRACTOR TO CONTACT OWNER AND ENGINEER OF RECORD IMMEDIATELY TO RESOLVE.
- ALL GRAVITY LINES ARE TO BE CONSTRUCTED BEGINNING AT THE LOWEST POINT AND PROGRESSING UPSTREAM. IF CONTRACTOR ELECTS TO PROCEED WITH CONSTRUCTION OF UPSTREAM PORTIONS FIRST, ADDITIONAL COSTS ARE INCURRED. NO ADDITIONAL PAY OR CHANGE ORDERS WILL BE APPROVED BY ENGINEER.
- CONTRACTOR SHALL CORE DRILL TO MAKE OPENING IN EXISTING MANHOLE. OPENING SHALL BE NO MORE THAN 3" AND NO LESS THAN 1" LARGER IN DIAMETER THAN PROPOSED PIPE. PIPE SHALL NOT PROTRUDE MORE THAN 3" PAST INSIDE FACE OF MANHOLE. FILL VOID AROUND PIPE WITH NON-SHRINK WATERPROOF GROUT AND BACKFILL MANHOLE WITH CEMENT-SAND.
- GAS LINE CONNECTION AND LINE WORK SHOWN FOR REFERENCE ONLY. CONTRACTOR TO COORDINATE WITH LOCAL GAS COMPANY TO DETERMINE ACTUAL REQUIRED LINE SIZE AND GAS LINE LAYOUT. PLEASE REFERENCE MEP PLANS FOR CONNECTION CONTINUATIONS.
- UTILITIES AND APPURTENANCES LABELED AS FUTURE ARE FOR REFERENCE ONLY. CONTRACTOR TO REFERENCE APPROVED PLANS TITLED "CARLISLE AND MENAUL COMMERCIAL CENTER" PREPARED BY BOHANNAN HUSTON INC. COA PROJ. NO. 781029

SANITARY SEWER NOTES

- REFERENCE SANITARY SEWER LINE NOTES ON SHEET C0.1 FOR PIPE MATERIAL REQUIREMENTS.
- REFERENCE MEP PLANS FOR CONTINUATION OF SANITARY FACILITIES INSIDE BUILDING.
- ALL CLEANOUTS LOCATED WITHIN CONCRETE PAVEMENT TO BE TRAFFIC RATED.
- SANITARY SEWER CLEANOUTS TO BE LOCATED EVERY 90'.
- ALL WATER & SANITARY SEWER CROSSINGS TO BE INSTALLED PER LOCAL AHJ REGULATIONS.
- PRIVATE SANITARY SEWER PIPE MATERIAL SHALL CONFORM TO THE FOLLOWING CRITERIA:
 - POLYVINYL CHLORIDE (PVC) SCHEDULE 40 TO BE USED FOR PIPE SIZES 6 INCHES AND SMALLER.
 - STANDARD DIMENSION RATIO (SDR) 35 PVC OR 26 PVC CAN BE USED FOR PIPE SIZES 8 INCHES AND LARGER. SEE NOTE 6 BELOW REGARDING SDR 26 FITTINGS.

WATER NOTES

- REFERENCE WATER LINE NOTES ON SHEET C0.1 FOR PIPE MATERIAL REQUIREMENTS.
- REFERENCE MEP PLANS FOR CONTINUATION OF WATER FACILITIES INSIDE BUILDING.
- FIRE LINE IS SHOWN FOR ALIGNMENT AND POINT OF CONNECTION PURPOSES ONLY. ALL FIRE LINES ARE TO BE DESIGNED, INSTALLED, AND TESTED BY A LICENSED RME-U PER NFPA REGULATIONS, INCLUDING BUT NOT LIMITED TO SIZE, MATERIALS, THRUST BLOCKING, APPURTENANCES, ETC.
- ALL UTILITY BOXES LOCATED WITHIN CONCRETE PAVEMENT TO BE TRAFFIC RATED.
- FITTINGS IDENTIFIED ON THESE PLANS ARE SHOWN FOR INSTALLATION LOCATION PURPOSES. NOT ALL FITTINGS ARE SHOWN OR INDICATED ON THESE PLANS.
- ALL WATER & SANITARY SEWER CROSSINGS TO BE INSTALLED PER LOCAL AHJ REGULATIONS.
- 4" THRU 12" WATER LINES SHALL BE P.V.C. CLASS 150, DR-18, AWWA C-900 AND 1" THRU 3" WATER LINES SHALL BE PVC SCHEDULE 40. 4" THRU 54" D.I.P. WATER LINES SHALL BE AWWA C151 (ANSI A21.51) AND DOUBLE WRAPPED IN 8-MIL POLYETHYLENE. PIPE SHALL BE LINED IN ACCORDANCE WITH AWWA C104 (ANSI A21.4).

GENERAL NOTES

- REFER TO SITE ELECTRICAL PLAN BY MEP FOR PROPOSED SITE LIGHTING LAYOUT.
- GRAPHICAL LIMITS OF PAVEMENT REMOVAL AND REPLACEMENT FOR INSTALLATION OF PROPOSED UTILITIES ARE APPROXIMATE. CONTRACTOR TO ENSURE PROPOSED PAVEMENT MEETS LOCAL AHJ REQUIREMENTS, DETAILS, & SPECS.
- PROPOSED UTILITY WORK WITHIN AHJ ROW WILL REQUIRE A TRAFFIC CONTROL PLAN. TRAFFIC CONTROL PLAN IS TO BE PROVIDED BY CONTRACTOR, NO SEPARATE PAY, UNLESS ALREADY PROVIDED IN THIS PLAN SET.
- REFERENCE MEP PLANS FOR ELECTRICAL CONDUIT SIZES AND CONNECTION CONTINUATIONS

MULTIPLE EXISTING PUBLIC AND PRIVATE UTILITY LINES EXIST ON THIS SITE. THE UTILITY LINES SHOWN ON THESE DRAWINGS REFLECT INFORMATION OBTAINED FROM RECORD DRAWINGS AND MAY NOT INCLUDE ALL EXISTING UTILITIES. CONTRACTOR IS TO USE EXTREME CAUTION DURING ALL CONSTRUCTION ACTIVITIES AND IS SOLELY RESPONSIBLE FOR DAMAGE TO EXISTING FACILITIES.

TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN NEW MEXICO OR BLAST - STOP CALL
1-800-321-2537
NEW MEXICO STATUTE 62-14(1978)
MIN. 2 WORK DAYS NOTICE BEFORE EXCAVATION

REVISONS

NO. DATE

ALJ Lindsey
Civil Engineers
1885 N. Exchange Pkwy, Suite 210
281.301.9595

Brett J. Hanrahan
BRETT J. HANRAHAN
NEW MEXICO
25690
LICENSED PROFESSIONAL ENGINEER

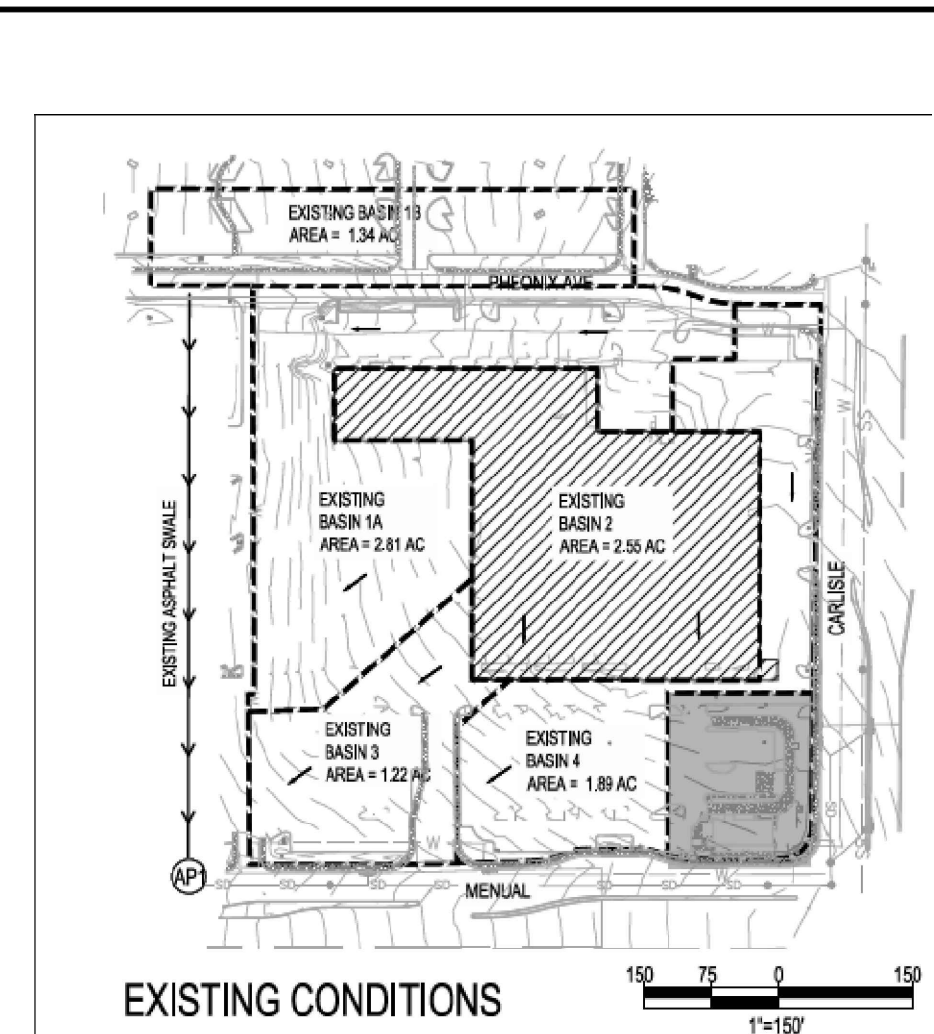
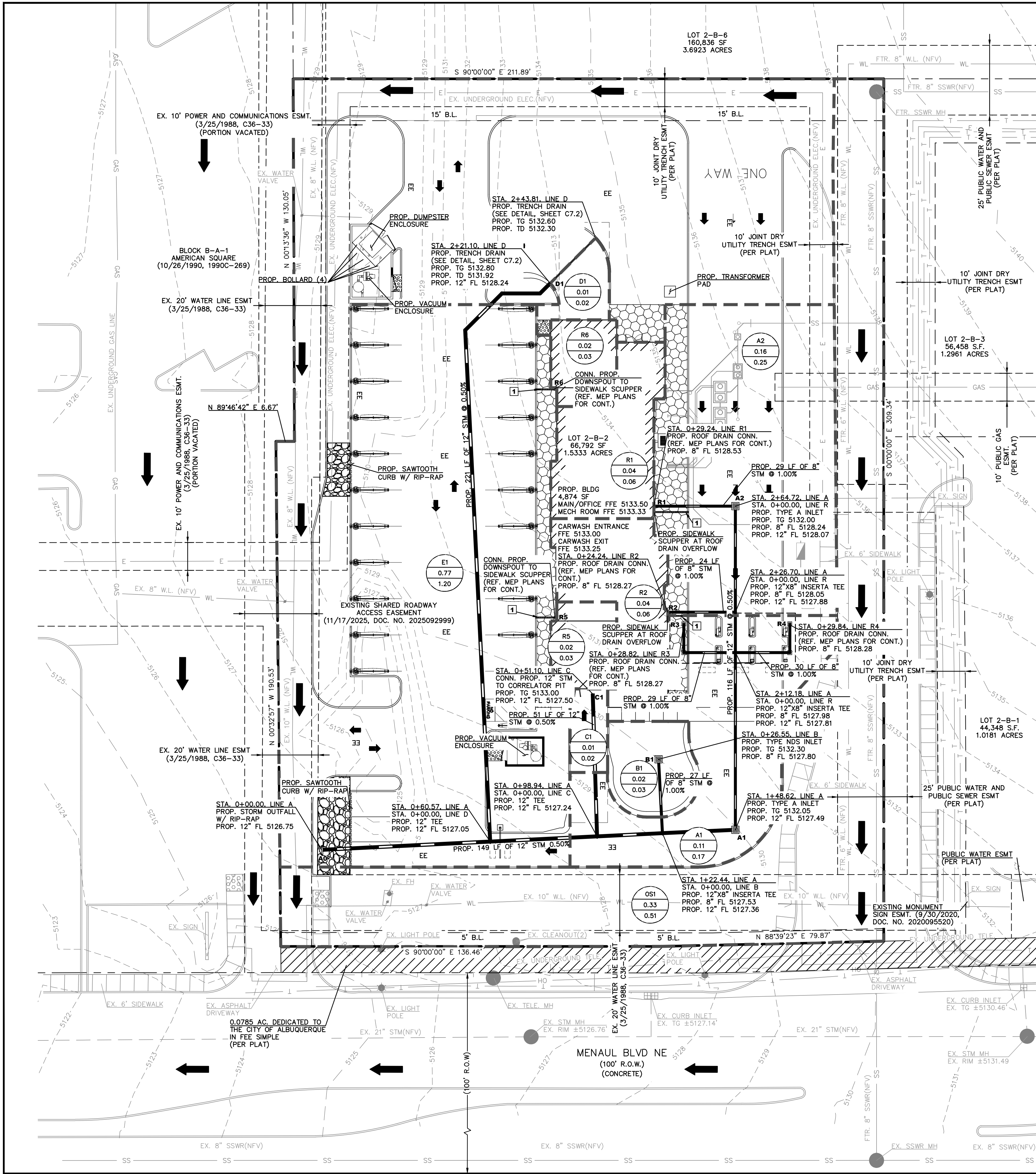
24 FEBRUARY 2026

ALL PROJECT NO. 6662ACU008
DATE: FEB. 2026
SCALE: 1"=20'
DRAWN BY: JAA
CHECKED BY: RAB

UTILITY PLAN

MISTER CARWASH
3535 MENAUL BLVD.,
ALBUQUERQUE, NEW MEXICO 87107

SHEET
C2.0



EXISTING CONDITIONS

IN EXISTING CONDITIONS, THE SITE CONSISTS OF ONE LARGE BUILDING AND ASSOCIATED PARKING LOTS THAT GENERALLY SLOPE FROM THE NORTHEAST CORNER TO THE SOUTHWEST CORNER. THE SITE IS 100% IMPERVIOUS AND ALL OF THE RUNOFF GENERATED BY THE SITE IS ULTIMATELY DISCHARGING INTO MENAUL BLVD. NO OFFSITE DRAINAGE IS EXPECTED TO FLOW THROUGH THE SITE. THE ADJACENT EXISTING ESTABLISHMENT ON THE SOUTHEAST CORNER WILL REMAIN AND WILL CONTINUE TO DISCHARGE INTO MENAUL BLVD. THE NORTHERN MOST PORTION OF THE SITE, EXISTING BASIN 1B, WILL REMAIN UNTOUCHED DURING DEVELOPMENT. EXISTING BASIN 1B DRAINS WEST OPPOSITE ALONG PROPOSED AVENUE. EXISTING BASIN 1A AND 3 DISCHARGE ALONG THE WESTERN BOUNDARY OF THE SITE BEFORE ENTERING AN ASPHALT SWALE THAT CONVEYS THE FLOW INTO MENAUL BLVD. THESE TWO BASINS GENERATE 17 ACFS. EXISTING BASIN 2, WHICH ENCOMPASSES THE ENTIRETY OF THE EXISTING BUILDING ON SITE, IS SAID TO DRAIN STRAIGHT TO MENAUL FOR THE PROPOSED DRAINAGE PLAN FOR AMERICAN SQUARE. EXISTING BASIN 4 DISCHARGES TO MENAUL VIA AN EXISTING INLET. EXISTING BASIN 2 AND 4 PRODUCE 11.04 CFS AND 8.20 CFS, RESPECTIVELY. IN EXISTING CONDITIONS, THE SITE AS A WHOLE GENERATES 36.70 CFS AND DISCHARGES INTO MENAUL BLVD.

Carlsile and Menaul
Existing Basin Data Table (Assumed 100% impervious area)
This table is based on page 416 of the DPM, Zone 2

BASIN	Area	Land Treatment Percentages				Q(100yr)	CFS
		A	B	C	D		
EXISTING BASIN 1A	2.81	0.0%	0.0%	0.0%	0.0%	100.0%	12.16
EXISTING BASIN 2	2.55	0.0%	0.0%	0.0%	0.0%	100.0%	11.04
EXISTING BASIN 3	1.22	0.0%	0.0%	0.0%	0.0%	100.0%	5.26
EXISTING BASIN 4	1.09	0.0%	0.0%	0.0%	0.0%	100.0%	8.20
SUBTOTAL	8.48						36.70

Carlsile and Menaul
Interior Conditions Data Table
This table is based on page 418 of the DPM, Zone 2

Lot ID	Area (AC)	Land Treatment Percentages				Q(100yr)	V _{100yr} (CF)
		A	B	C	D		
Lot 1	1.06	0.0%	0.0%	100.0%	0.0%	0.84	889
Lot 2	1.32	0.0%	0.0%	100.0%	0.0%	0.83	899
Lot 3	1.32	0.0%	0.0%	100.0%	0.0%	0.80	768
Lot 4	0.89	0.0%	0.0%	100.0%	0.0%	0.54	518
Lot 5	1.19	0.0%	0.0%	100.0%	0.0%	0.73	693
Lot 6A	2.52	0.0%	0.0%	100.0%	0.0%	1.53	1467
SUBTOTAL	8.50					5.18	673

Carlsile and Menaul
Proposed Lot Data Table (Assumed 90% impervious area)
This table is based on page 418 of the DPM, Zone 2

LOT ID	Area (AC)	Land Treatment Percentages				Q(100yr)	V _{100yr} (CF)	SWQV'
		A	B	C	D			
LOT 1	1.06	0.0%	0.0%	10.0%	90.0%	4.49	0.19	891
LOT 2	1.32	0.0%	0.0%	10.0%	90.0%	3.58	0.24	1121
LOT 4	0.89	0.0%	0.0%	10.0%	90.0%	2.12	0.19	759
LOT 5	1.19	0.0%	0.0%	10.0%	90.0%	5.01	0.22	1013
LOT 6A	2.52	0.0%	0.0%	10.0%	90.0%	12.56	0.46	2157
SUBTOTAL	8.50					35.88		

For redevelopment site, SWQV' = 0.28 in
* Allowable discharge flow from each lot

FEES IN LIEU

1. THE OWNER HAS ELECTED TO PAY THE PAYMENT IN LIEU FOR THE REQUIRED STORMWATER QUALITY VOLUME.

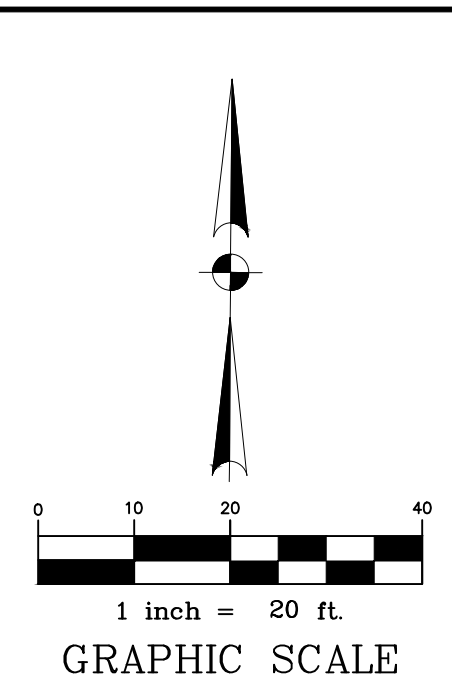
REQUIRED SITE VOLUME:

REQUIRED RUNOFF: 80% PERCENTILE
REQUIRED VOLUME: 0.26" * 48,332 SF = 1047 CF

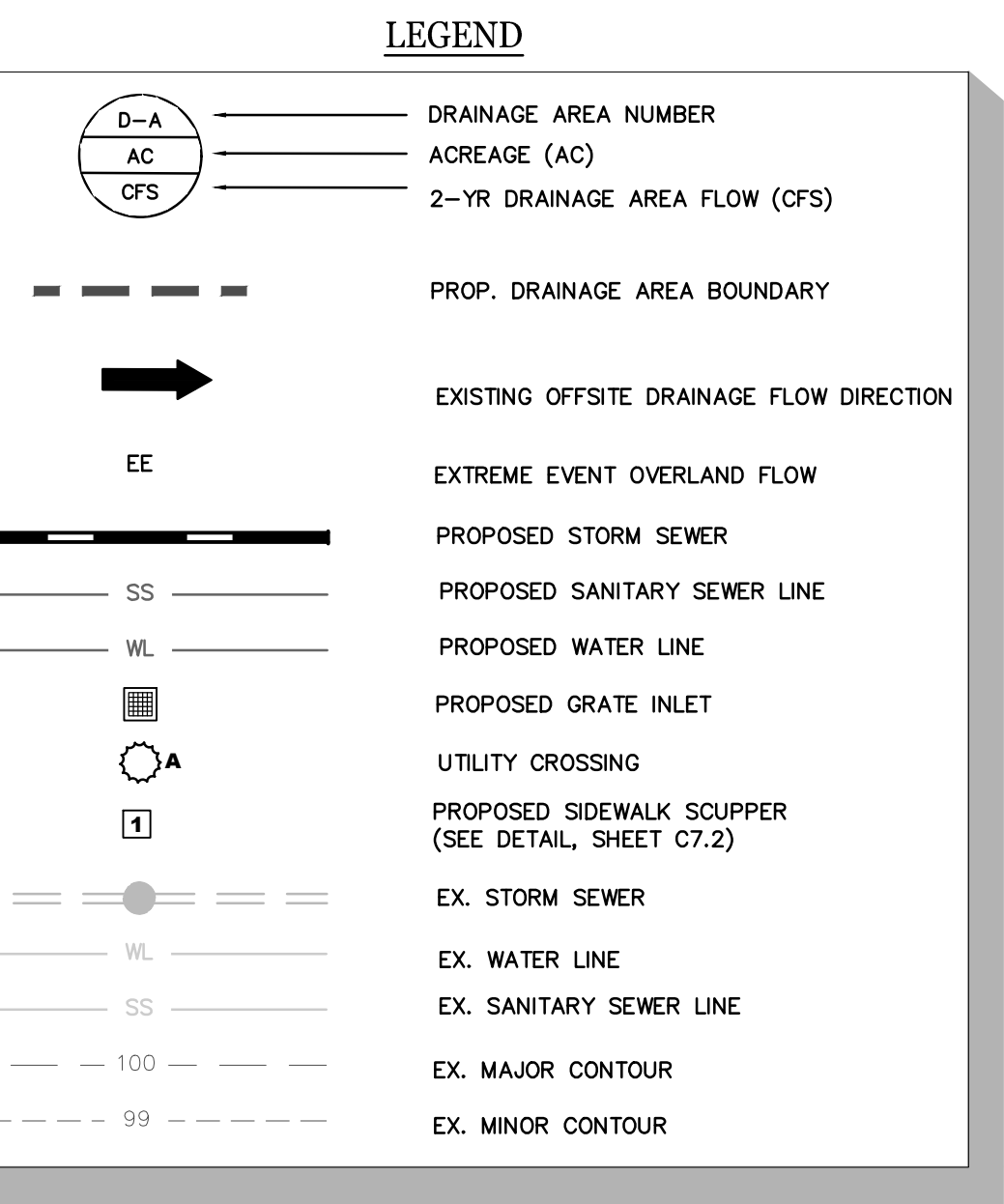
SITE INFORMATION:

PROPERTY AREA: 66,752 S.F./1.53 AC
EXISTING ZONING: MX-M
PROPOSED ZONING: MX-M
PROPOSED USE: CAR WASH
AREA OF SITE DISTURBANCE: 50,882 S.F./1.17 AC
PROPERTY OWNER: MISTER CAR WASH

MULTIPLE EXISTING PUBLIC AND PRIVATE UTILITY LINES EXIST ON THIS SITE. THE UTILITY LINES SHOWN ON THESE DRAWINGS REFLECT INFORMATION OBTAINED FROM RECORD DRAWINGS AND MAY NOT INCLUDE ALL EXISTING UTILITIES. CONTRACTOR IS TO USE EXTREME CAUTION DURING ALL CONSTRUCTION ACTIVITIES AND IS SOLELY RESPONSIBLE FOR DAMAGE TO EXISTING FACILITIES.



BENCHMARK:
ACS MONUMENT "10-H17" HAVING AN ELEVATION OF 5166.734
ELEVATION = 5166.734 FEET (NAVD88, 2001 ADJUSTMENT)



- GENERAL NOTES**
- REFERENCE STORM SEWER NOTES SHEET C0.1 FOR PIPE MATERIAL REQUIREMENTS.
 - REFERENCE MEP PLANS FOR EXACT CONTINUATION OF PROPOSED STORM SEWER INSIDE OF BUILDING.
 - FOR TYPE A INLET, TYPE NDS INLET, TRENCH DRAIN, AND BACKFILL DETAILS, SEE SHEET C7.2.
 - CONTRACTOR TO VERIFY STORM SEWER CONNECTION FOR LOCATION AND DEPTH PRIOR TO ORDERING MATERIALS OR COMMENCEMENT OF WORK.
 - TOP OF GRATE ELEVATIONS SHOWN ARE FOR REFERENCE ONLY. SEE GRADING ON SHEET C7.2 FOR FINAL TOP OF GRATE ELEVATIONS.
 - ALL GRAVITY STORM LINES TO BE CONSTRUCTED STARTED FROM THE LOWEST POINT.
 - UTILITIES AND APPURTENANCES LABELED AS FUTURE ARE FOR REFERENCE ONLY. CONTRACTOR TO REFER TO APPROVED PLANS TITLED "CARLSILE AND MENAUL COMMERCIAL CENTER" PREPARED BY BOHANNAN HUSTON INC. COA PROJ. NO. 781029

City of Albuquerque
Planning Department
Development Review Services
HYDROLOGY SECTION
APPROVED

DATE: 3/6/2026
BY: *[Signature]*
HydroTrans #: H16D083F2

THE APPROVAL OF THESE PLANS REPORTS SHALL NOT BE CONSIDERED TO BE A VIOLATION OF ANY CITY ORDINANCE OR STATE LAW, AND SHALL NOT PREVENT THE CITY OF ALBUQUERQUE FROM REQUESTING CORRECTIONS FOR ERRORS OR OMISSIONS IN PLANS, SPECIFICATIONS, OR CONSTRUCTION DOCUMENTS. SUCH APPROVED PLANS REPORTS SHALL NOT BE CHANGED, MODIFIED OR ALTERED WITHOUT AUTHORIZATION.

THE APPROVAL OF THESE PLANS REPORTS SHALL EXPIRE TWO (2) YEARS AFTER THE ORIGINAL DATE OF THE ORIGINAL PERMIT HAS BEEN ISSUED ON THE DEVELOPMENT.

CALL BEFORE YOU DIG
TEXAS ONE CALL PARTICIPANTS REQUEST 72 HOURS NOTICE BEFORE YOU DIG, DRILL OR BLAST - STOP CALL
OR BLAST - STOP CALL
TEXAS ONE CALL SYSTEM
1-800-344-8377
IN HOUSTON
(713)-223-4567

REVISIONS

DATE

NO.

ALJ Lindsey
Civil Engineers
1885 N. Exchange Pkwy, Suite 200
281.301.9565

Brett J. Hanrahan
BRETT J. HANRAHAN
NEW MEXICO
25690
LICENSED PROFESSIONAL ENGINEER

24 FEBRUARY 2026

ALL PROJECT NO.: 6662ACV008
DATE: FEB. 2026
SCALE: 1"=20'
DRAWN BY: JAA
CHECKED BY: RAB

DRAINAGE PLAN

MISTER CARWASH
3535 MENAUL BLVD.,
ALBUQUERQUE, NEW MEXICO 87107

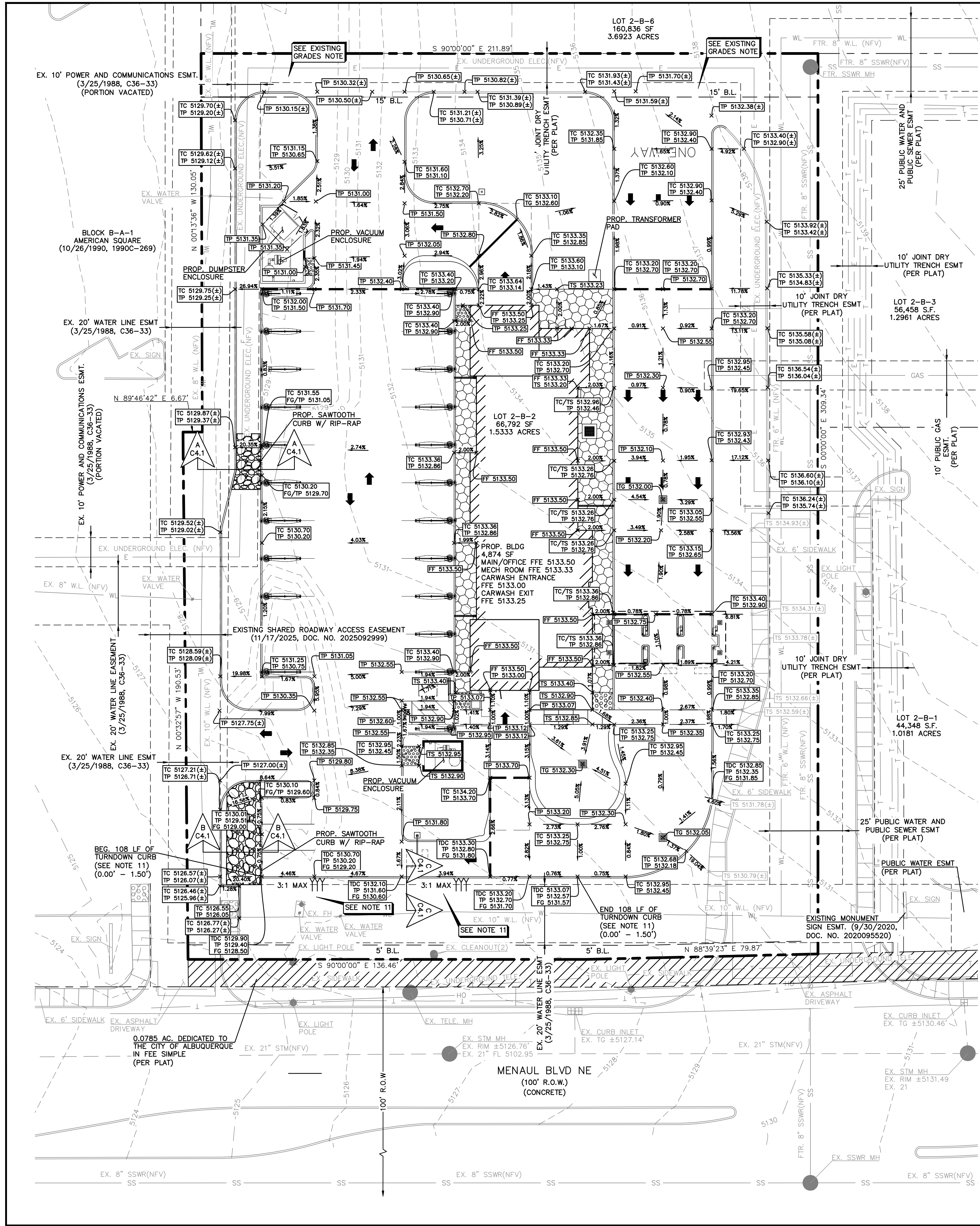
SHEET
C3.0

CUMULATIVE STORM SEWER CALCULATIONS

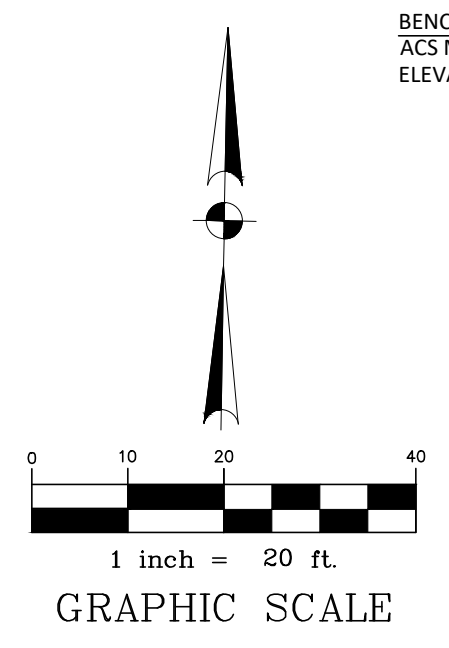
Storm Sewer Design Analysis																				Design Frequency: 2 years																	
#2566 Mister Carwash																				100-Year Multiplier: 1.00																	
3535 Menaul Boulevard																				Downstream 25-year WS ELEV: 5127.75 feet																	
Albuquerque, New Mexico (Zone 3)																																					
Manhole No. From	Manhole No. To	Sta. Up (ft)	Sta. Down (ft)	Drainage Area (acres)	Total Area (acres)	Runoff Coefficient C	DA C * A	Total C * A	Time of Conc. (min)	Intensity I (in/hr)	Drainage Area Flow (cfs)	Total Flow (cfs)	Reach Length (ft)	Diameter (in)	Slope %	Manning's Roughness Coefficient "n"	Design Capacity (cfs)	Design Velocity (ft/sec)	Full Pipe Flow Area (sq ft)	Wetted Perimeter (ft)	Fall (ft)	Drop from Downstream Manhole (ft)	Flowline Elevation Upstream (ft)	Flowline Elevation Downstream (ft)	Minimum Depth Ratio (y/d or y/h)	Minimum W.S. Elev. Downstream (ft)	Actual Depth Ratio (y/d or y/h)	Actual Velocity (ft/sec)	Actual Flow per Barrel Area (sq ft)	Wetted Perimeter (ft)	Hydraulic Gradient %	Change in Head (ft)	Elevation of Hyd. Grad. Upstream (ft)	Elevation of Hyd. Grad. Downstream (ft)	Top of Pipe Elevation Upstream (ft)	Top of Pipe Elevation Downstream (ft)	Pent / Grate Elevation (ft)
A2	A1	2+64.72	1+48.62	0.16	0.26	0.80	0.13	0.21	12.00	1.94	0.25	0.40	116	12	0.500	0.013	2.5	3.2	0.8	3.1	0.58	0.00	5128.07	5127.49	0.27	5127.76	0.31	2.04	0.20	1.16	0.334	0.39	5128.19	5127.80	5129.07	5128.49	5132.00
A1	A0	1+48.62	0+00.00	0.11	0.41	0.80	0.09	0.33	12.00	1.94	0.17	0.64	149	12	0.500	0.013	2.5	3.2	0.8	3.1	0.74	0.00	5127.49	5126.75	0.34	5127.09	1.00	0.81	0.79	3.14	0.032	0.05	5127.80	5127.75	5128.49	5127.75	5132.00
B1	A1	0+26.55	0+00.00	0.02	0.02	0.80	0.02	0.02	12.00	1.94	0.03	0.03	27	8	1.000	0.013	1.2	3.5	0.3	2.1	0.27	0.00	5127.80	5127.53	0.11	5127.60	0.40	0.24	0.13	0.91	0.006	0.00	5127.80	5127.80	5128.47	5128.20	5132.30
C1	A1	0+51.10	0+00.00	0.01	0.01	0.80	0.01	0.01	12.00	1.94	0.02	0.02	51	12	0.500	0.013	2.5	3.2	0.8	3.1	0.26	0.00	5127.50	5127.24	0.05	5127.29	0.56	0.04	0.44	1.67	0.000	0.00	5127.80	5127.80	5128.50	5128.24	5133.00
D1	A1	2+43.79	0+00.00	0.01	0.01	0.80	0.01	0.01	12.00	1.94	0.02	0.02	244	12	0.500	0.013	2.5	3.2	0.8	3.1	1.22	0.00	5128.24	5127.02	0.05	5127.07	0.78	0.02	0.65	2.14	0.000	0.00	5127.80	5127.80	5129.24	5128.02	5132.80
R1	A2	0+29.24	0+00.00	0.04	0.04	0.80	0.03	0.03	12.00	1.94	0.06	0.06	29	8	1.000	0.013	1.2	3.5	0.3	2.1	0.29	0.00	5128.53	5128.24	0.15	5128.34	1.00	0.18	0.35	2.09	0.003	0.00	5128.91	5128.91	5129.20	5128.91	5133.00
R2	A2	0+24.24	0+00.00	0.04	0.04	0.80	0.03	0.03	12.00	1.94	0.06	0.06	24	8	1.000	0.013	1.2	3.5	0.3	2.1	0.24	0.00	5128.29	5128.05	0.15	5128.15	0.20	1.25	0.05	0.62	0.344	0.08	5128.27	5128.19	5128.96	5128.72	5133.00
R3	A2	0+28.82	0+00.00	0.01	0.01	0.80	0.01	0.01	12.00	1.94	0.02	0.02	29	8	1.000	0.013	1.2	3.5	0.3	2.1	0.29	0.00	5128.27	5127.98	0.07	5128.03	0.31	0.18	0.09	0.77	0.004	0.00	5128.19	5128.19	5128.94	5128.65	5133.00
R4	A2	0+29.84	0+00.00	0.01	0.01	0.80	0.01	0.01	12.00	1.94	0.02	0.02	30	8	1.000	0.013	1.2	3.5	0.3	2.1	0.30	0.00	5128.28	5127.98	0.07	5128.03	0.31	0.18	0.09	0.77	0.004	0.00	5128.19	5128.19	5128.95	5128.65	5133.00
R5	E1	0+00.00	0+00.00	0.02	0.02	0.80	0.02	0.02	12.00	1.94	0.03	0.03																									
R6	E1	0+00.00	0+00.00	0.02	0.02	0.80	0.02	0.02	12.00	1.94	0.03	0.03																									
E1	OUT	0+00.00	0+00.00	0.77	0.81	0.80	0.62	0.65	12.00	1.94	1.20	1.26																									
OS1	OS	0+00.00	0+00.00	0.33	0.33	0.80	0.26	0.26	12.00	1.94	0.51	0.51																									

Storm Sewer Design Analysis																				Design Frequency: 10 years																	
#2566 Mister Carwash																				100-Year Multiplier: 1.00																	
3535 Menaul Boulevard																				Downstream 25-year WS ELEV: 5127.75 feet																	
Albuquerque, New Mexico (Zone 3)																																					
Manhole No. From	Manhole No. To	Sta. Up (ft)	Sta. Down (ft)	Drainage Area (acres)	Total Area (acres)	Runoff Coefficient C	DA C * A	Total C * A	Time of Conc. (min)	Intensity I (in/hr)	Drainage Area Flow (cfs)	Total Flow (cfs)	Reach Length (ft)	Diameter (in)	Slope %	Manning's Roughness Coefficient "n"	Design Capacity (cfs)	Design Velocity (ft/sec)	Full Pipe Flow Area (sq ft)	Wetted Perimeter (ft)	Fall (ft)	Drop from Downstream Manhole (ft)	Flowline Elevation Upstream (ft)	Flowline Elevation Downstream (ft)	Minimum Depth Ratio (y/d or y/h)	Minimum W.S. Elev. Downstream (ft)	Actual Depth Ratio (y/d or y/h)	Actual Velocity (ft/sec)	Actual Flow per Barrel Area (sq ft)	Wetted Perimeter (ft)	Hydraulic Gradient %	Change in Head (ft)	Elevation of Hyd. Grad. Upstream (ft)	Elevation of Hyd. Grad. Downstream (ft)	Top of Pipe Elevation Upstream (ft)	Top of Pipe Elevation Downstream (ft)	Pent / Grate Elevation (ft)
A2	A1	2+64.72	1+48.62	0.16	0.26	0.80	0.13	0.21	12.00	3.12	0.40	0.65	116	12	0.500	0.013	2.5	3.2	0.8	3.1	0.58	0.00	5128.07	5127.49	0.34	5127.83	0.38	2.37	0.27	1.33	0.353	0.41	5128.28	5127.87	5129.07	5128.49	5132.00
A1	A0	1+48.62	0+00.00	0.11	0.41	0.80	0.09	0.33	12.00	3.12	0.27	1.02	149	12	0.500	0.013	2.5	3.2	0.8	3.1	0.74	0.00	5127.49	5126.75	0.44	5127.19	1.00	1.30	0.79	3.14	0.083	0.12	5127.87	5127.75	5128.49	5127.75	5132.00
B1	A1	0+26.55	0+00.00	0.02	0.02	0.80	0.02	0.02	12.00	3.12	0.05	0.05	27	8	1.000	0.013	1.2	3.5	0.3	2.1	0.27	0.00	5127.80	5127.53	0.13	5127.62	0.51	0.28	0.18	1.06	0.006	0.00	5127.87	5127.87	5128.47	5128.20	5132.30
C1	A1	0+51.10	0+00.00	0.01	0.01	0.80	0.01	0.01	12.00	3.12	0.02	0.02	51	12	0.500	0.013	2.5	3.2	0.8	3.1	0.26	0.00	5127.50	5127.24	0.07	5127.31	0.63	0.05	0.52	1.83	0.000	0.00	5127.87	5127.87	5128.50	5128.24	5133.00
D1	A1	2+43.79	0+00.00	0.01	0.01	0.80	0.01	0.01	12.00	3.12	0.02	0.02	244	12	0.500	0.013	2.5	3.2	0.8	3.1	1.22	0.00	5128.24	5127.02	0.07	5127.09	0.85	0.04	0.71	2.35	0.000	0.00	5127.87	5127.87	5129.24	5128.02	5132.80
R1	A2	0+29.24	0+00.00	0.04	0.04	0.80	0.03	0.03	12.00	3.12	0.10	0.10	29	8	1.000	0.013	1.2	3.5	0.3	2.1	0.29	0.00	5128.53	5128.24	0.19	5128.37	0.19	2.16	0.05	0.60	1.096	0.32	5128.69	5128.37	5129.20	5128.91	5133.00
R2	A2	0+24.24	0+00.00	0.04	0.04	0.80	0.03	0.03	12.00	3.12	0.10	0.10	24	8	1.000	0.013	1.2	3.5	0.3	2.1	0.24	0.00	5128.29	5128.05	0.19	5128.18	0.35	0.95	0.10	0.83	0.110	0.03	5128.31	5128.28	5128.96	5128.72	5133.00
R3	A2	0+28.82	0+00.00	0.01	0.01	0.80	0.01	0.01	12.00	3.12	0.02	0.02	29	8	1.000	0.013	1.2	3.5	0.3	2.1	0.29	0.00	5128.27	5127.98	0.09	5128.04	0.45	0.16	0.15	0.98	0.002	0.00	5128.28	5128.28	5128.94	5128.65	5133.00
R4	A2	0+29.84	0+00.00	0.01	0.01	0.80	0.01	0.01	12.00	3.12	0.02	0.02	30	8	1.000	0.013	1.2	3.5	0.3	2.1	0.30	0.00	5128.28	5127.98	0.09	5128.04	0.45	0.16	0.15	0.98	0.002	0.00	5128.28	5128.28	5128.95	5128.65	5133.00
R5	E1	0+00.00	0+00.00	0.02	0.02	0.80	0.02	0.02	12.00	3.12	0.05	0.05																									
R6	E1	0+00.00	0+00.00	0.02	0.02	0.80	0.02	0.02	12.00	3.12	0.05	0.05																									
E1	OUT	0+00.00	0+00.00	0.77	0.81	0.80	0.62	0.65	12.00	3.12	1.92	2.02																									
OS1	OS	0+00.00	0+00.00	0.33	0.33	0.80	0.26	0.26	12.00	3.12	0.82	0.82																									

Storm Sewer Design Analysis																				Design Frequency: 100 years																	
#2566 Mister Carwash																				100-Year Multiplier: 1.00																	
3535 Menaul Boulevard																				Downstream 25-year WS ELEV: 5127.75 feet																	
Albuquerque, New Mexico (Zone 3)																																					
Manhole No. From	Manhole No. To	Sta. Up (ft)	Sta. Down (ft)	Drainage Area (acres)	Total Area (acres)	Runoff Coefficient C	DA C * A	Total C * A	Time of Conc. (min)	Intensity I (in/hr)	Drainage Area Flow (cfs)	Total Flow (cfs)	Reach Length (ft)	Diameter (in)	Slope %	Manning's Roughness Coefficient "n"	Design Capacity (cfs)	Design Velocity (ft/sec)	Full Pipe Flow Area (sq ft)	Wetted Perimeter (ft)	Fall (ft)	Drop from Downstream Manhole (ft)	Flowline Elevation Upstream (ft)	Flowline Elevation Downstream (ft)	Minimum Depth Ratio (y/d or y/h)	Minimum W.S. Elev. Downstream (ft)	Actual Depth Ratio (y/d or y/h)	Actual Velocity (ft/sec)	Actual Flow per Barrel Area (sq ft)	Wetted Perimeter (ft)	Hydraulic Gradient %	Change in Head (ft)	Elevation of Hyd. Grad. Upstream (ft)	Elevation of Hyd. Grad. Downstream (ft)	Top of Pipe Elevation Upstream (ft)	Top of Pipe Elevation Downstream (ft)	Pent / Grate Elevation (ft)
A2	A1	2+64.72	1+48.62	0.16	0.26	0.80	0.13	0.21	12.00	4.96	0.63	1.03	116	12	0.500	0.013	2.5	3.2	0.8	3.1	0.58	0.00	5128.07	5127.49	0.44	5127.93	0.57	2.28	0.45	1.69	0.231	0.27	5128.33	5128.06	5129.07	5128.49	5132.00
A1	A0	1+48.62	0+00.00	0.11	0.41	0.80	0.09	0.33	12.00	4.96	0.44	1.63	149	12	0.500	0.013	2.5	3.2	0.8	3.1	0.74	0.00	5127.49	5126.75	0.58	5127.33	1.00	2.07	0.79	3.14	0.209	0.31	5128.06	5127.75	5128.49	5127.75	5132.00
B1	A1	0+26.55	0+00.00	0.02																																	



City of Albuquerque
 Planning Department
 Development Review Services
HYDROLOGY SECTION
APPROVED
 DATE: 3/6/2026
 BY: *[Signature]*
 HydroTeam # H16D083F2



BENCHMARK:
 ACS MONUMENT "10-117" HAVING AN ELEVATION OF 5166.734
 ELEVATION = 5166.734 FEET (NAVD83, 2001 ADJUSTMENT)

EXISTING CONDITIONS

EXISTING CONDITIONS:
 IN EXISTING CONDITIONS, THE SITE CONSISTS OF ONE LARGE BUILDING AND ASSOCIATED PARKING LOTS THAT GENERALLY SLOPE FROM THE NORTHEAST CORNER TO THE SOUTHWEST CORNER. THE SITE IS 100% IMPERVIOUS AND ALL OF THE RUNOFF GENERATED BY THE SITE IS ULTIMATELY DISCHARGING INTO MENAUL BLVD. NO OFF-SITE DRAINAGE IS EXPECTED TO FLOW THROUGH THE SITE. THE ADJACENT EXISTING ESTABLISHMENT ON THE SOUTHWEST CORNER WILL REMAIN AND WILL CONTINUE TO DISCHARGE INTO MENAUL BLVD. THE NORTHERN MOST PORTION OF THE SITE, EXISTING BASIN 1B, WILL REMAIN UNTOUCHED DURING DEVELOPMENT. EXISTING BASIN 1B DRAINS WEST OFF SITE ALONG PHOENIX AVENUE. EXISTING BASIN 1A AND 3 DISCHARGE ALONG THE WESTERN BOUNDARY OF THE SITE BEFORE ENTERING AN ASPHALT DRIVEWAY THAT CONVEYS THE FLOW INTO MENAUL BLVD. THESE TWO BASINS GENERATE 17 ACFS. EXISTING BASIN 2, WHICH ENCOMPASSES THE ENTIRETY OF THE EXISTING BUILDING ON SITE, IS SAID TO ROOF DRAIN STRAIGHT TO MENAUL BLVD. PER THE PRIOR DRAINAGE PLAN FOR AMERICAN SQUARE, EXISTING BASIN 4 DISCHARGES TO MENAUL VIA AN EXISTING INLET. EXISTING BASIN 2 AND 4 PRODUCE 11.04 CFS AND 8.20 CFS, RESPECTIVELY. IN EXISTING CONDITIONS, THE SITE AS A WHOLE GENERATES 36.70 CFS AND DISCHARGES INTO MENAUL BLVD.

Carlisle and Menaul
 Existing Basin Data Table (Assumed 100% impervious area)
 This table is based on page 6-10 of the DPM, Zone 2

BASIN ID	Area (AC)	Land Treatment Percentages				C ₁ (100y)	C ₂ (5)
		A	B	C	D		
EXISTING BASIN 1A	2.81	0.0%	0.0%	0.0%	100.0%	12.16	
EXISTING BASIN 2	2.55	0.0%	0.0%	0.0%	100.0%	11.04	
EXISTING BASIN 3	1.22	0.0%	0.0%	0.0%	100.0%	5.26	
EXISTING BASIN 4	1.59	0.0%	0.0%	0.0%	100.0%	8.20	
SUBTOTAL	8.48	-	-	-	-	36.70	

Carlisle and Menaul
 Interim Conditions Data Table
 This table is based on page 6-11 of the DPM, Zone 2

Lot ID	Area (AC)	Land Treatment Percentages				C ₁ (100y)	C ₂ (5)	V ₁₀₀ (in)	V ₅ (in)
		A	B	C	D				
LOT 1	1.05	0.0%	0.0%	0.0%	100.0%	0.24	0.24	0.02	0.02
LOT 2	1.53	0.0%	0.0%	0.0%	100.0%	0.32	0.32	0.03	0.03
LOT 3	1.52	0.0%	0.0%	0.0%	100.0%	0.32	0.32	0.03	0.03
LOT 4	0.89	0.0%	0.0%	0.0%	100.0%	0.21	0.21	0.02	0.02
LOT 5	1.19	0.0%	0.0%	0.0%	100.0%	0.27	0.27	0.02	0.02
LOT 6A	2.52	0.0%	0.0%	0.0%	100.0%	0.57	0.57	0.04	0.04
SUBTOTAL	8.80	-	-	-	-	6.16	6.16	0.73	0.73

Carlisle and Menaul
 Proposed Lot Data Table (Assumed 90% impervious area)
 This table is based on page 6-10 of the DPM, Zone 2

LOT ID	Area (AC)	Land Treatment Percentages				C ₁ (100y)	C ₂ (5)	V ₁₀₀ (in)	SWQV ¹
		A	B	C	D				
LOT 1	1.05	0.0%	0.0%	0.0%	10.0%	60.0%	4.40	0.19	0.01
LOT 2	1.53	0.0%	0.0%	0.0%	10.0%	60.0%	6.40	0.26	0.02
LOT 3	1.52	0.0%	0.0%	0.0%	10.0%	60.0%	6.40	0.26	0.02
LOT 4	0.89	0.0%	0.0%	0.0%	10.0%	60.0%	3.73	0.16	0.01
LOT 5	1.19	0.0%	0.0%	0.0%	10.0%	60.0%	5.07	0.22	0.01
LOT 6A	2.52	0.0%	0.0%	0.0%	10.0%	60.0%	15.56	0.46	0.03
SUBTOTAL	8.80	-	-	-	-	-	35.48	-	-

FEE IN LIEU
 1. THE OWNER HAS ELECTED TO PAY THE PAYMENT IN LIEU FOR THE REQUIRED STORMWATER QUALITY VOLUME.

REQUIRED SITE VOLUME:
 REQUIRED RUNOFF: 80TH PERCENTILE
 REQUIRED VOLUME: 0.26" * 48,332 SF = 1047 CF

SITE INFORMATION:
 PROPERTY AREA: 66,752 S.F./1.53 AC
 EXISTING ZONING: MX-M
 PROPOSED ZONING: MX-M
 PROPOSED USE: CAR WASH
 AREA OF SITE DISTURBANCE: 50,882 S.F./1.17 AC
 PROPERTY OWNER: MISTER CAR WASH

MULTIPLE EXISTING PUBLIC AND PRIVATE UTILITY LINES EXIST ON THIS SITE. THE UTILITY LINES SHOWN ON THESE DRAWINGS REFLECT INFORMATION OBTAINED FROM RECORD DRAWINGS AND MAY NOT INCLUDE ALL EXISTING UTILITIES. CONTRACTOR IS TO USE EXTREME CAUTION DURING ALL CONSTRUCTION ACTIVITIES AND IS SOLELY RESPONSIBLE FOR DAMAGE TO EXISTING FACILITIES.

TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN NEW MEXICO OR BLAST - STOP CALL
 1-800-321-2537
 NEW MEXICO STATUTE 62-14(1978)
 MIN. 2 WORK DAYS NOTICE BEFORE EXCAVATION

LEGEND

- PROPOSED TYPE "A" INLET (SEE DETAIL, SHEET C7.2)
- TOP OF GRATE
- TOP OF PAVEMENT
- TOP OF CURB
- TOP OF SIDEWALK
- FINISHED GROUND
- FINISHED FLOOR
- TOP OF RAMP
- EXISTING SANITARY OR STORM SEWER MANHOLE
- PROPOSED HIGH POINT OF PAVEMENT
- DRAINAGE FLOW ARROWS
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR

- GENERAL NOTES**
- REFER TO ARCHITECTURAL PLANS FOR GRADES INSIDE THE BUILDING ENVELOPE.
 - PAVING CONTRACTOR TO CONFIRM AND/OR ADJUST ALL EXISTING AND PROPOSED UTILITIES AND APPURTENANCES TO FINISHED GRADE PRIOR TO PLACEMENT OF ANY PAVING.
 - CONTRACTOR TO MATCH EXISTING TOP OF PAVEMENT AND CURB ELEVATIONS.
 - CONTRACTOR TO INSTALL NEW SIDEWALK IN ADA ACCESSIBLE LOCATIONS AT MAXIMUM 5% LONGITUDINAL SLOPE AND 2% CROSS SLOPE.
 - ALL GRAVITY STORM LINES TO BE CONSTRUCTED STARTING FROM THE LOWEST POINT.
 - CONTRACTOR TO VERIFY STORM SEWER CONNECTION FOR LOCATION AND DEPTH PRIOR TO ORDERING MATERIALS OR COMMENCEMENT OF WORK.
 - FOR TYPE "A" INLET, JUNCTION BOX, TRENCH DRAIN, AND BACKFILL DETAILS, SEE SHEET C7.2.
 - REFERENCE MEP PLANS FOR EXACT CONTINUATION OF PROPOSED STORM SEWER INSIDE OF BUILDING.
 - REFERENCE STORM SEWER NOTES SHEET CO.1 FOR PIPE MATERIAL AND REQUIREMENTS.
 - UTILITIES AND APPURTENANCES LABELED AS FUTURE ARE FOR REFERENCE ONLY. CONTRACTOR TO REFERENCE APPROVED PLANS TITLED "CARLISLE AND MENAUL COMMERCIAL CENTER" PREPARED BY BOHANNAN HUSTON INC. COA PROJ. NO. 781092.
 - CONTRACTOR TO FIELD VERIFY EXISTING GRADES PRIOR TO CONSTRUCTION TO DETERMINE IF TURNDOWN CURB WITH 3:1 MAX SIDE SLOPES IS REQUIRED. SITE IS CURRENTLY BEING RE-GRADED AS A PART OF THE "CARLISLE AND MENAUL COMMERCIAL CENTER" PLANS PREPARED BY BOHANNAN HUSTON INC. CONTRACTOR SHALL VERIFY FILL DOES NOT IMPACT THE EXISTING FIRE HYDRANT AND MINIMIZE FILL OVER THE EXISTING WATER LINE. IF TURNDOWN CURB IS REQUIRED WITHIN STATED LIMITS, A MAXIMUM HEIGHT OF 18 INCHES WITH 3:1 MAX SIDE SLOPES IS PERMITTED. NO OTHER CONFIGURATION WILL BE ACCEPTED. CONTRACTOR TO CONTACT OWNER/ENGINEER IMMEDIATELY IF ISSUES ARISE.

EXISTING GRADES NOTE
 EXISTING GRADES SHOWN ALONG THE NORTHERN ACCESS DRIVE AND EASTERN ACCESS DRIVE ARE BASED ON PROPOSED ELEVATIONS SHOWN IN THE PUBLIC INFRASTRUCTURE IMPROVEMENT PLANS TITLED "CARLISLE AND MENAUL COMMERCIAL CENTER" PREPARED BY BOHANNAN HUSTON INC. COA PROJ. NO. 781092. CONTRACTOR TO FIELD VERIFY ACCESS DRIVES PRIOR TO ORDERING MATERIALS OR COMMENCEMENT OF WORK. SHOULD DISCREPANCIES EXIST CONTRACTOR TO NOTIFY ENGINEER OF RECORD AND OWNERSHIP IMMEDIATELY TO RESOLVE.

ALJLindsey
 Civil Engineers
 1885 N. Exchange Pkwy, Suite 200
 281-381-9565

Brett J. Hamel
 BRETT J. HAMEL
 NEW MEXICO
 25690
 LICENSED PROFESSIONAL ENGINEER

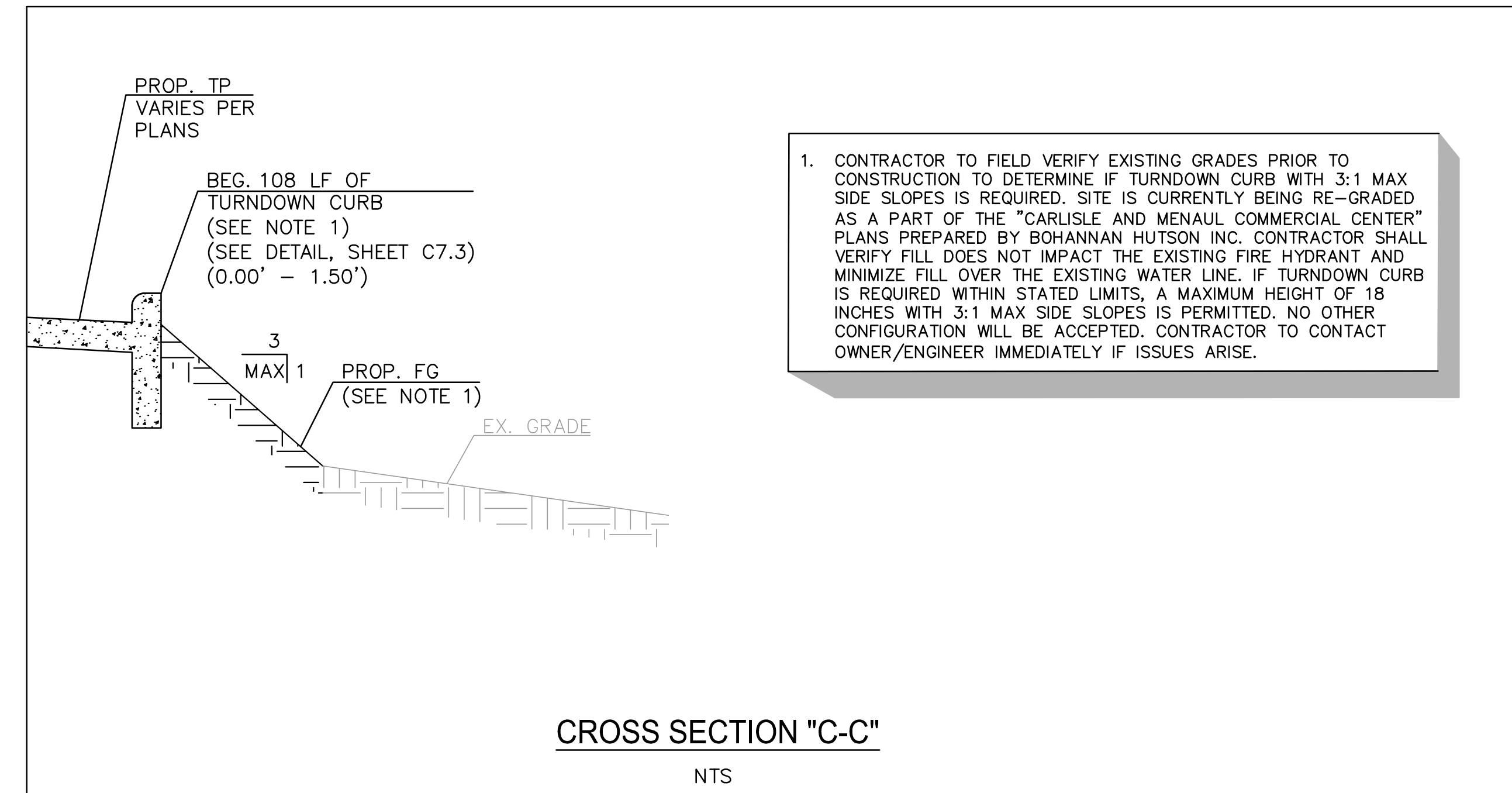
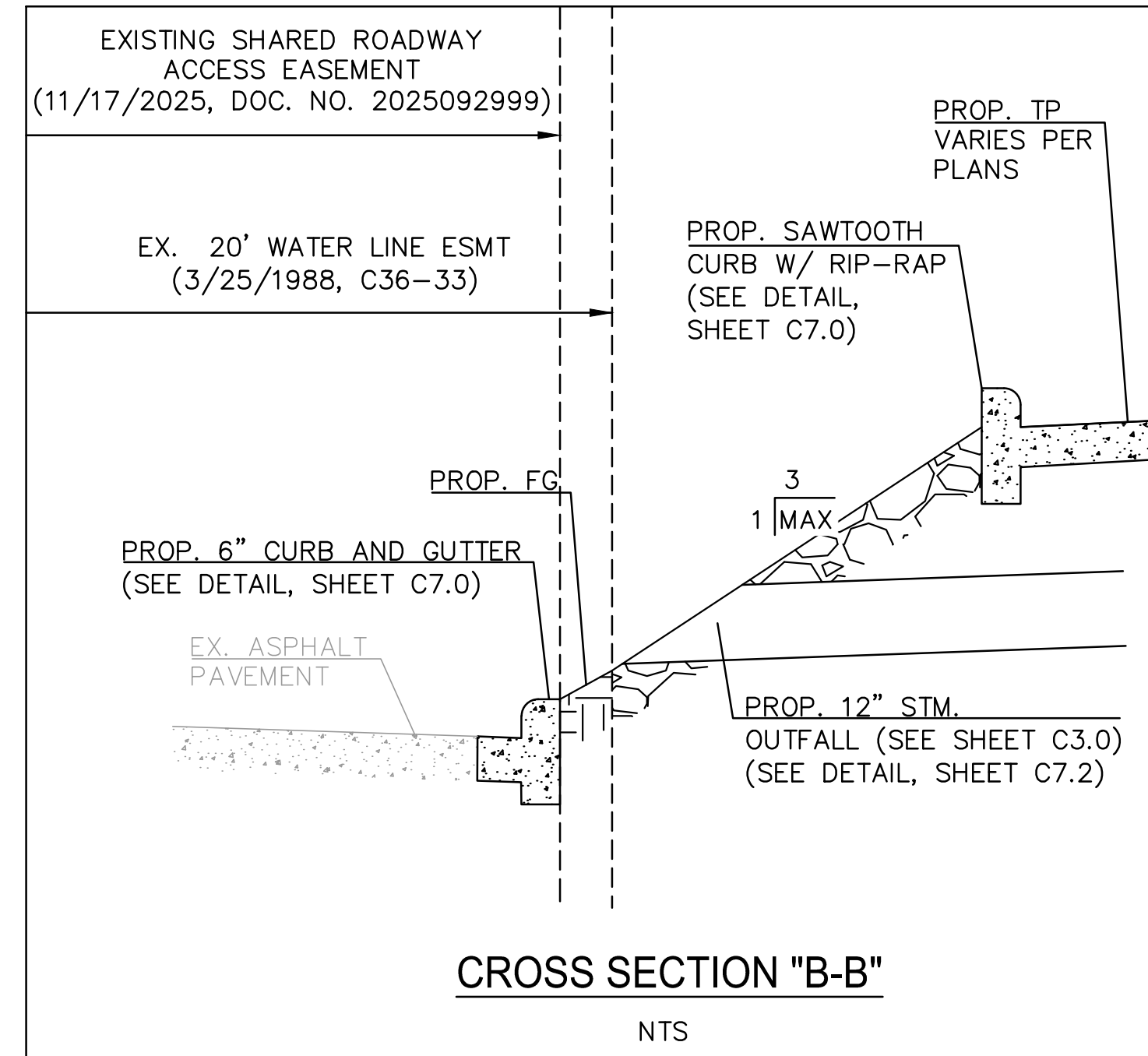
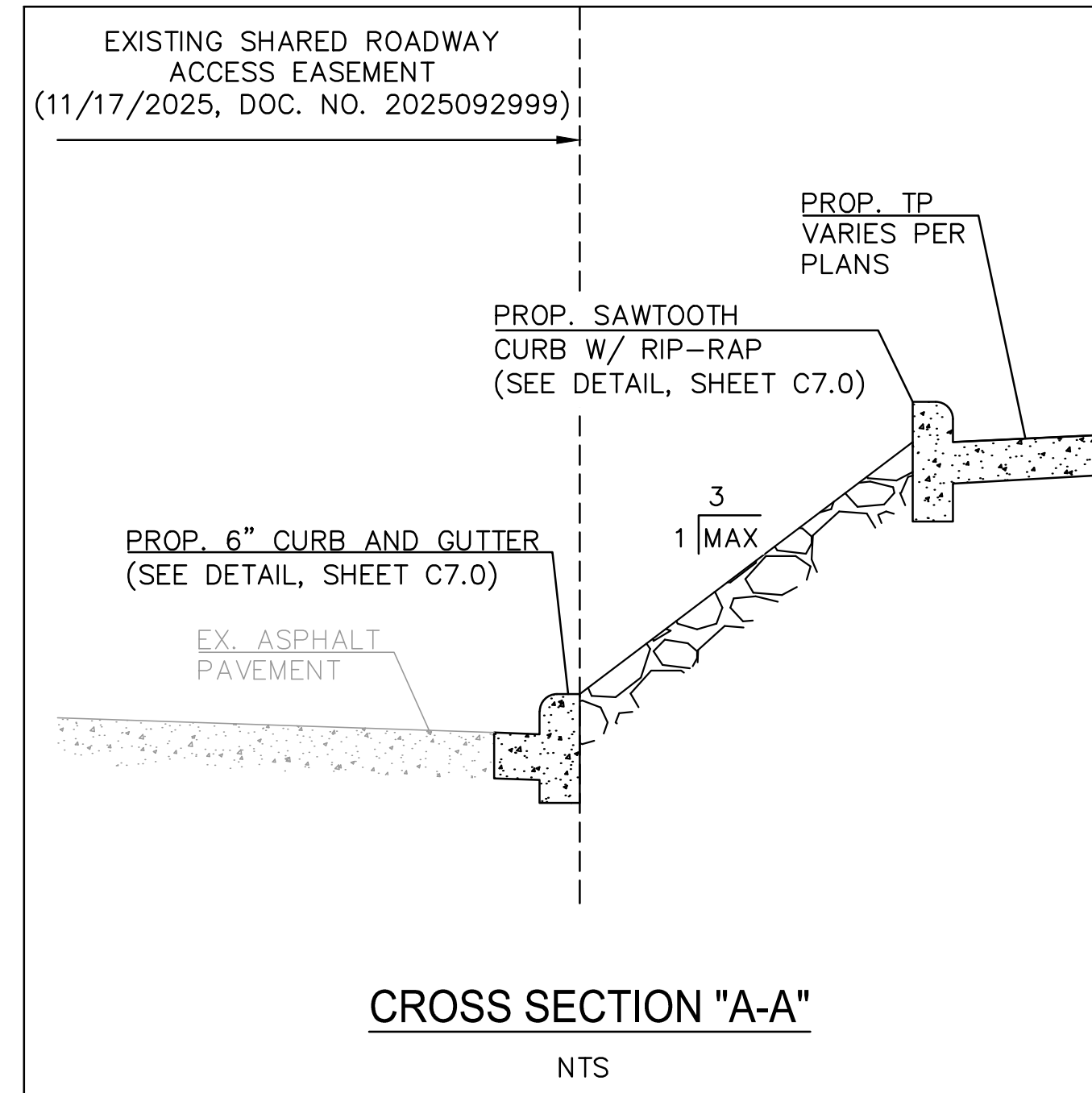
24 FEBRUARY 2026

AL PROJECT NO. 686-24-CV-008
 DATE: FEB. 2026
 SCALE: 1"=20'
 DRAWN BY: J.A.
 CHECKED BY: RAB

GRADING PLAN

MISTER CARWASH
 3535 MENAUL BLVD.,
 ALBUQUERQUE, NEW MEXICO 87107

SHEET
C4.0



NO.	REVISIONS	DATE

ALJLindsey
Civil Engineers
1885 N. Kenilworth Pkwy, Suite 200
Tomball, TX 77375
281.301.9555

Brett T. Hanrahan
BRETT T. HANRAHAN
NEW MEXICO
25690
LICENSED PROFESSIONAL ENGINEER

24 FEBRUARY 2026

ALJ PROJECT NO. 666-24-CV-008	DATE: FEB. 2026	SCALE: N.T.S.	DRAWN BY: JA	CHECKED BY: RAB
----------------------------------	-----------------	---------------	--------------	-----------------

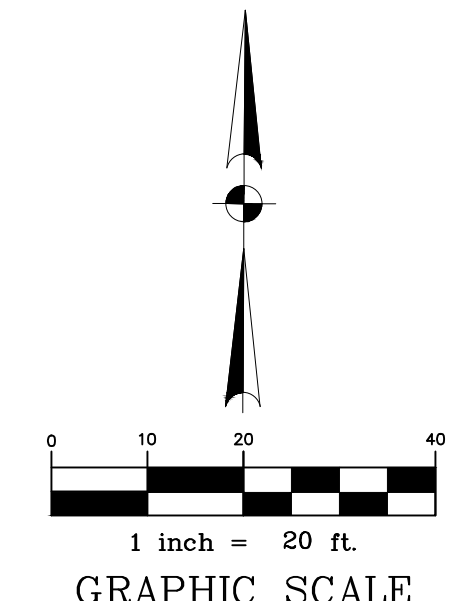
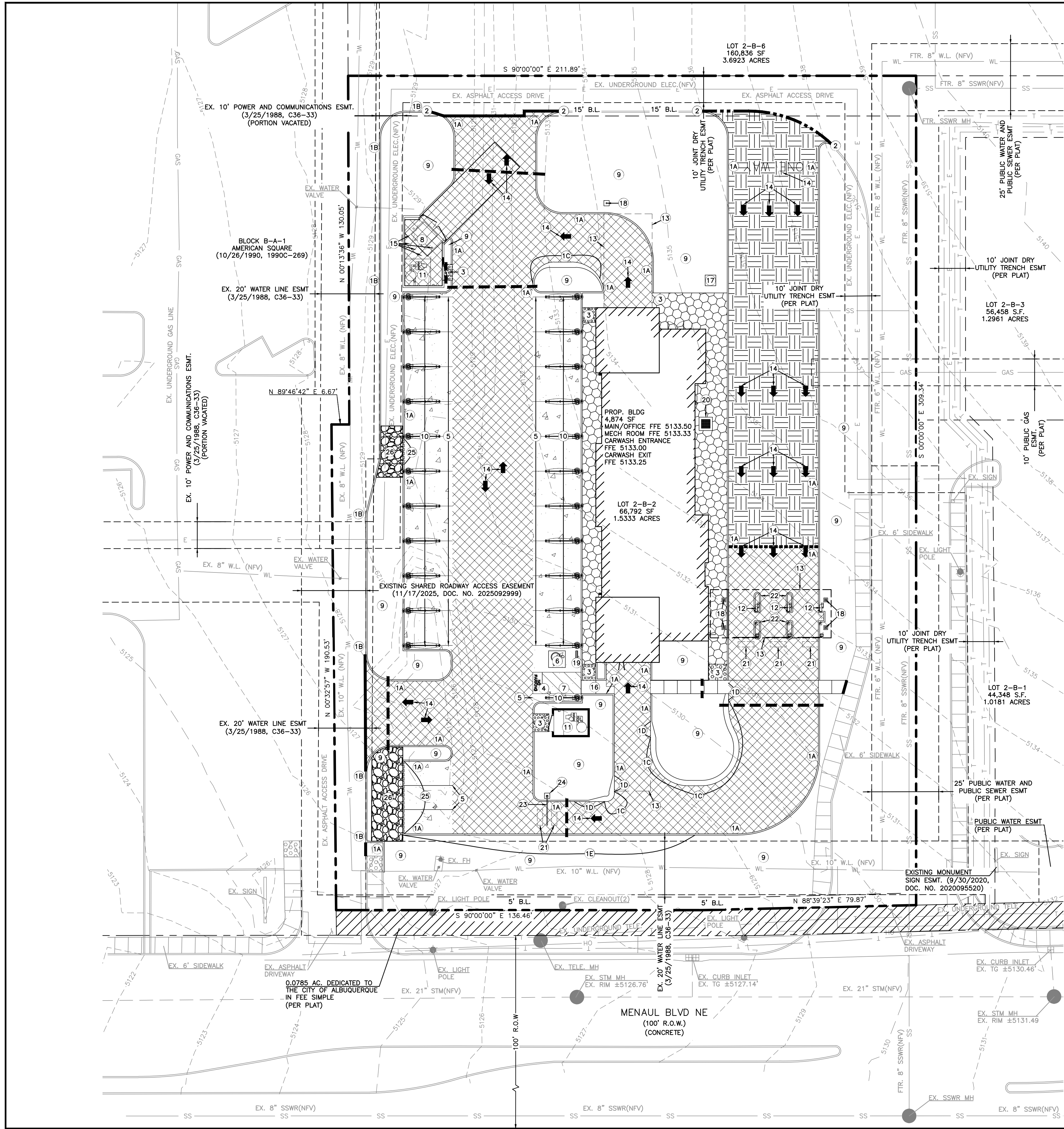
GRADING CROSS SECTIONS

MISTER CARWASH
3535 MENAUL BLVD.,
ALBUQUERQUE, NEW MEXICO 87107

City of Albuquerque
Planning Department
Development Review Services
HYDROLOGY SECTION
APPROVED

DATE: 3/6/2026
BY: *[Signature]*
HydroTrans #: H16D083F2

THE APPROVAL OF THESE PLANS/REPORTS SHALL NOT BE CONSTRUED TO PERMIT VIOLATIONS OF ANY CITY ORDINANCE OR STATE LAW, AND SHALL NOT PREVENT THE CITY OF ALBUQUERQUE FROM REQUESTING CORRECTIONS FOR ERRORS OR OMISSIONS IN PLANS, SPECIFICATIONS, OR CONSTRUCTION DOCUMENTS. SUCH APPROVED PLANS/REPORTS SHALL NOT BE CHANGED, MODIFIED OR ALTERED WITHOUT AUTHORIZATION. THE APPROVAL OF THESE PLANS/REPORTS SHALL EXPIRE TWO (2) YEARS AFTER THE APPROVAL DATE IF NO BUILDING PERMIT HAS BEEN FILED ON THE DEVELOPMENT.



BENCHMARK:
ACS MONUMENT "10-H17" HAVING AN ELEVATION OF 5166.734
ELEVATION = 5166.734 FEET (NAVD88, 2001 ADJUSTMENT)

KEYED NOTES

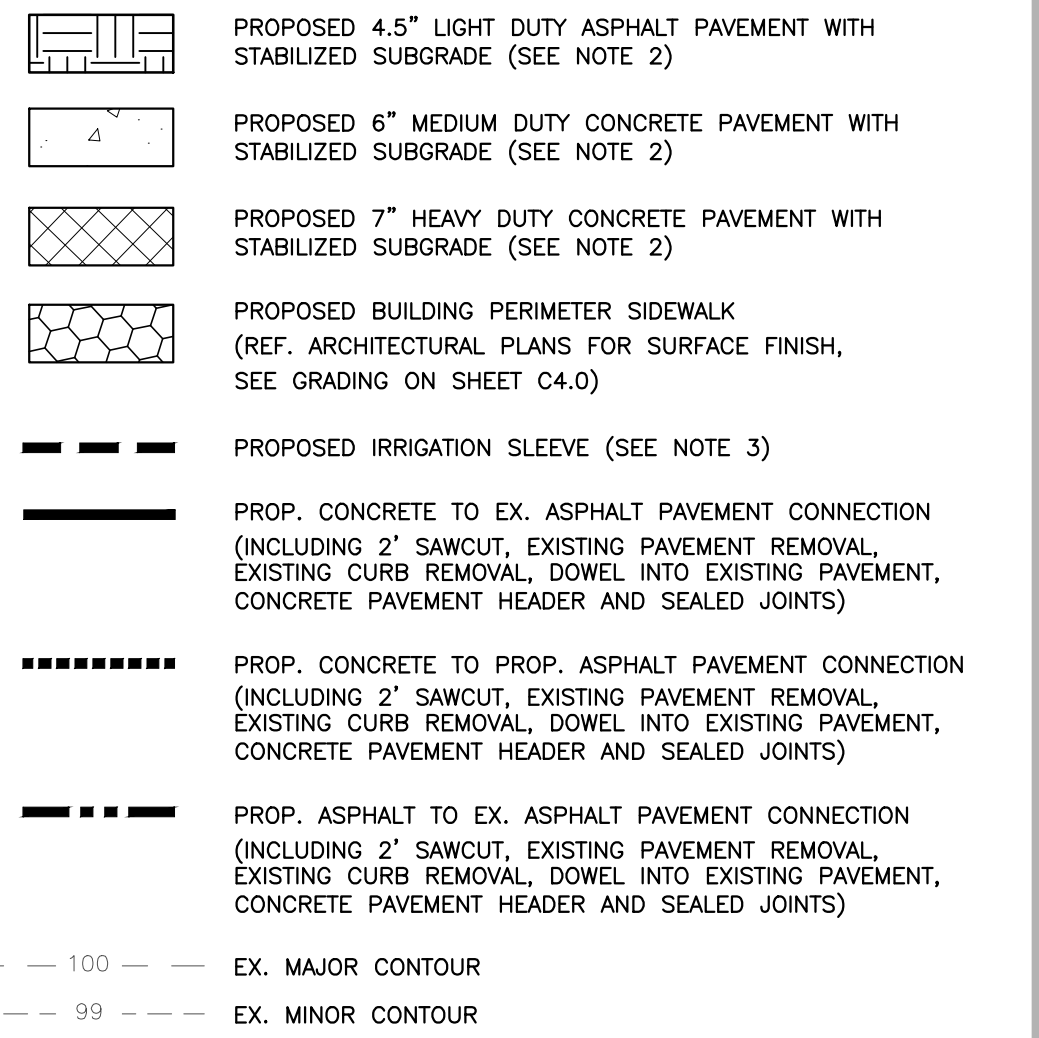
- 1A) PROPOSED 6" MONOLITHIC CURB (SEE MISTER CARWASH DETAIL, SHEET C7.3)
- 1B) PROPOSED CURB AND GUTTER (SEE DETAIL, SHEET C7.0)
- 1C) PROPOSED ROLLED CURB (SEE MISTER CARWASH DETAIL, SHEET C7.3)
- 1D) PROPOSED TAPERED CURB (SEE MISTER CARWASH DETAIL, SHEET C7.3)
- 1E) PROPOSED TURNDOWN CURB (SEE DETAIL, SHEET C7.3)
- 2) TIE PROPOSED CURB INTO EXISTING CURB
- 3) CONSTRUCT CURB RAMP (SEE DETAIL, SHEET C7.1)
- 4) 4" PAINTED WHITE STRIPING @ 2' O.C. @ 45°
- 5) 90° WHITE PARKING LOT STRIPING
- 6) HANDICAP PARKING SYMBOL W/ SIGNAGE (SEE DETAIL, SHEET C7.1)
- 7) HANDICAP ACCESSIBLE PARKING STALL STRIPING (DETAILS, SHEETS C7.1 & C7.3)
- 8) DUMPSTER ENCLOSURE
- 9) LANDSCAPED AREA (REF. LANDSCAPE PLANS)
- 10) VACUUM STALL (SEE MISTER CARWASH DETAIL, SHEET C7.3)
- 11) VACUUM ENCLOSURE (SEE MISTER CARWASH DETAIL, SHEET C7.3)
- 12) POINT OF SALE (SEE MISTER CARWASH DETAIL, SHEET C7.3)
- 13) CANOPY (SEE MISTER CARWASH DETAIL, SHEET C7.3)
- 14) DIRECTIONAL ARROWS
- 15) BOLLARD (SEE DETAIL, SHEET C7.0)
- 16) SIDEWALK (WIDTH PER PLANS)
- 17) TRANSFORMER PAD (REF. MEP PLANS)
- 18) COLUMN (REF. ARCHITECTURAL PLANS)
- 19) WHEEL STOP (SEE DETAIL, SHEET C7.1)
- 20) TRASH PIT (REF. MEP PLANS)
- 21) 2' x 6' BAIL OUT GATE LOOP (REF. ARCHITECTURAL PLANS)
- 22) 42" ISLAND (SEE DETAIL, SHEET C7.3)
- 23) BAIL LANE GATE (REF. ARCHITECTURAL PLANS)
- 24) 2' x 2' CONCRETE PAD WITH POWER AT BAIL LANE FOR GATE (REF. ARCHITECTURAL PLANS)
- 25) SAWTOOTH CURB (SEE DETAIL, SHEET C7.0)
- 26) RIP-RAP (SEE DETAIL, SHEET C7.0)

GENERAL NOTES

1. REFER TO SITE ELECTRICAL PLAN FOR PROPOSED SITE LIGHTING LAYOUT.
2. PAVEMENT AND SUBGRADE THICKNESS INCLUDED ON THIS SHEET FOR REFERENCE ONLY. REFER TO GEOTECHNICAL REPORT PREPARED BY NVS, DATED 11/01/2024 (PROJECT NO. 4430424.1509000.00).
3. REFER TO IRRIGATION PLAN FOR EXACT LOCATION, SIZE, AND QUANTITY OF IRRIGATION SLEEVES.
4. MAXIMUM CONTROL JOINT SPACING TO BE 15'-FT AND EXPANSION JOINT SPACING TO BE 60'-FT.
5. CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4,000 PSI AT 28 DAYS AND ALL STEEL TO BE GRADE 60, UNLESS OTHERWISE SPECIFIED IN GEOTECHNICAL REPORT.
6. PAVING CONTRACTOR TO CONFIRM AND/OR ADJUST ALL EXISTING AND PROPOSED UTILITIES AND APPURTENANCES TO FINISHED GRADE PRIOR TO PLACEMENT OF ANY PAVING.
7. UTILITIES AND APPURTENANCES LABELED AS FUTURE ARE FOR REFERENCE ONLY. CONTRACTOR TO REFERENCE APPROVED PLANS TITLED "CARLISLE AND MENAUL COMMERCIAL CENTER" PREPARED BY BOHANNAN HUSTON INC. COA PROJ. NO. 781029

PAVING DATA

LIGHT DUTY ASPHALT AREA AT COMPLETION	5,397 SF
MEDIUM DUTY CONCRETE AREA AT COMPLETION	5,631 SF
HEAVY DUTY CONCRETE AREA AT COMPLETION	15,669 SF
TOTAL PAVED AREA (ON SITE) AT COMPLETION	26,697 SF



MULTIPLE EXISTING PUBLIC AND PRIVATE UTILITY LINES EXIST ON THIS SITE. THE UTILITY LINES SHOWN ON THESE DRAWINGS REFLECT INFORMATION OBTAINED FROM RECORD DRAWINGS AND MAY NOT INCLUDE ALL EXISTING UTILITIES. CONTRACTOR IS TO USE EXTREME CAUTION DURING ALL CONSTRUCTION ACTIVITIES AND IS SOLELY RESPONSIBLE FOR DAMAGE TO EXISTING FACILITIES.

TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN NEW MEXICO OR BLAST - STOP CALL
1-800-321-2537
NEW MEXICO STATUTE 62-14(1978)
MIN. 2 WORK DAYS NOTICE BEFORE EXCAVATION

REVISIONS

DATE

NO.

ALJ Lindsey
Civil Engineers
1885 N. Exchange Pkwy, Suite 200
281.301.9565

Brett Hamel
BRETT T. HANRAHAN
NEW MEXICO
25690
LICENSED PROFESSIONAL ENGINEER

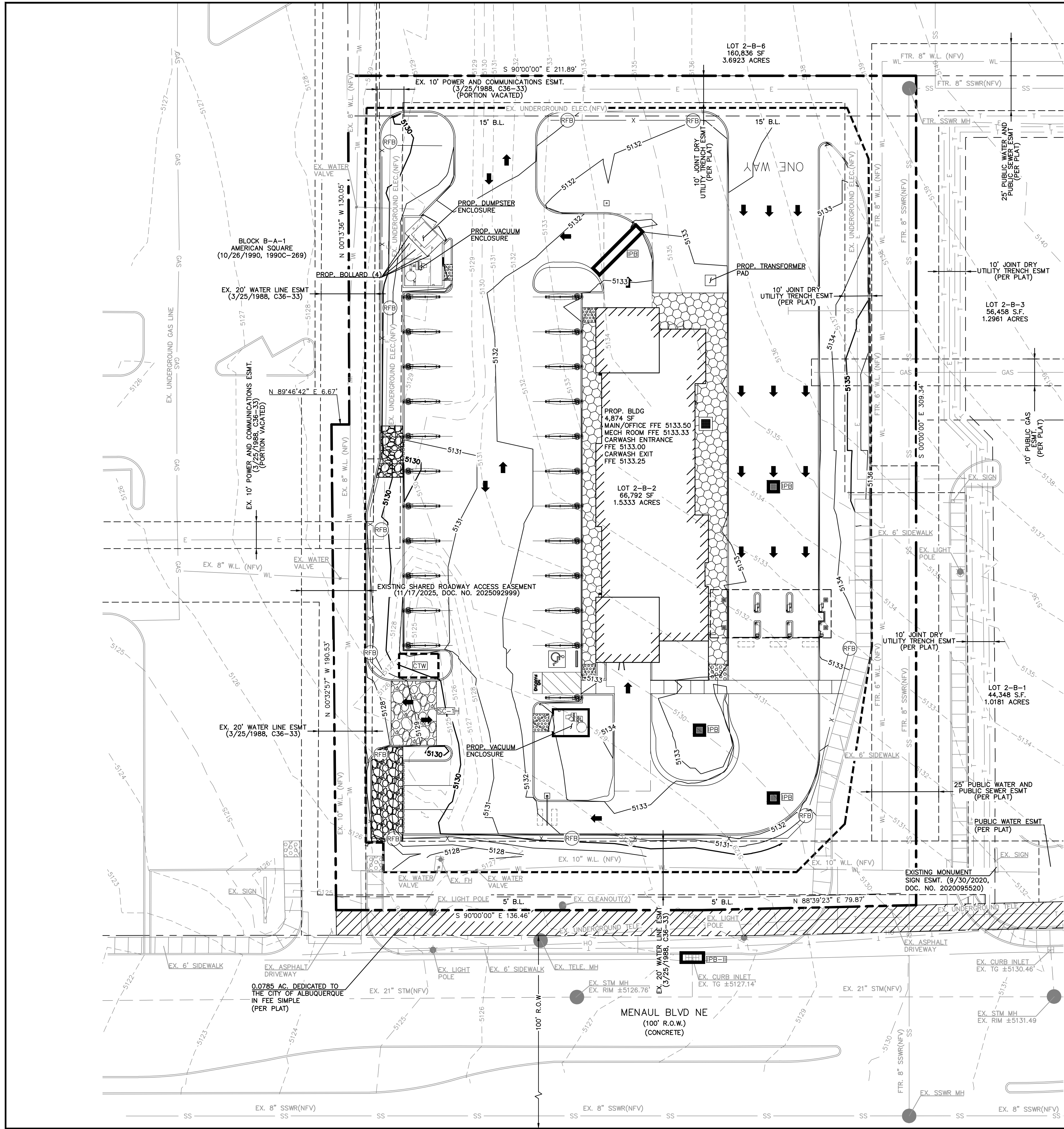
24 FEBRUARY 2026

ALJ PROJECT NO. 68624CCL008
DATE: FEB. 2026
SCALE: 1"=20'
DRAWN BY: JAA
CHECKED BY: RAB

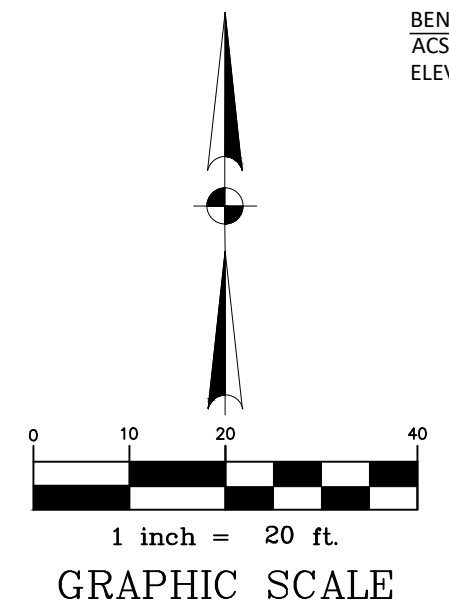
PAVING PLAN

MISTER CARWASH
3535 MENAUL BLVD.,
ALBUQUERQUE, NEW MEXICO 87107

SHEET
C5.0



BENCHMARK:
ACS MONUMENT "10-H17" HAVING AN ELEVATION OF 5166.734
ELEVATION = 5166.734 FEET (NAVD88, 2001 ADJUSTMENT)



LEGEND

- STABILIZED CONSTRUCTION ENTRANCE (SEE DETAIL, SHEET C7.5)
- CONCRETE TRUCK WASHOUT (SEE DETAIL, SHEET C7.5)
- SILT FENCE (SEE DETAIL, SHEET C7.5)
- INLET PROTECTION BARRIER (STAGE 2) (SEE DETAIL, SHEET C7.5)
- INLET PROTECTION BARRIER - STAGE II (SEE DETAIL, SHEET C7.5)
- LIMITS OF DISTURBED AREA
- PROP. MAJOR CONTOUR
- PROP. MINOR CONTOUR
- EX. MAJOR CONTOUR
- EX. MINOR CONTOUR

SITE DATA

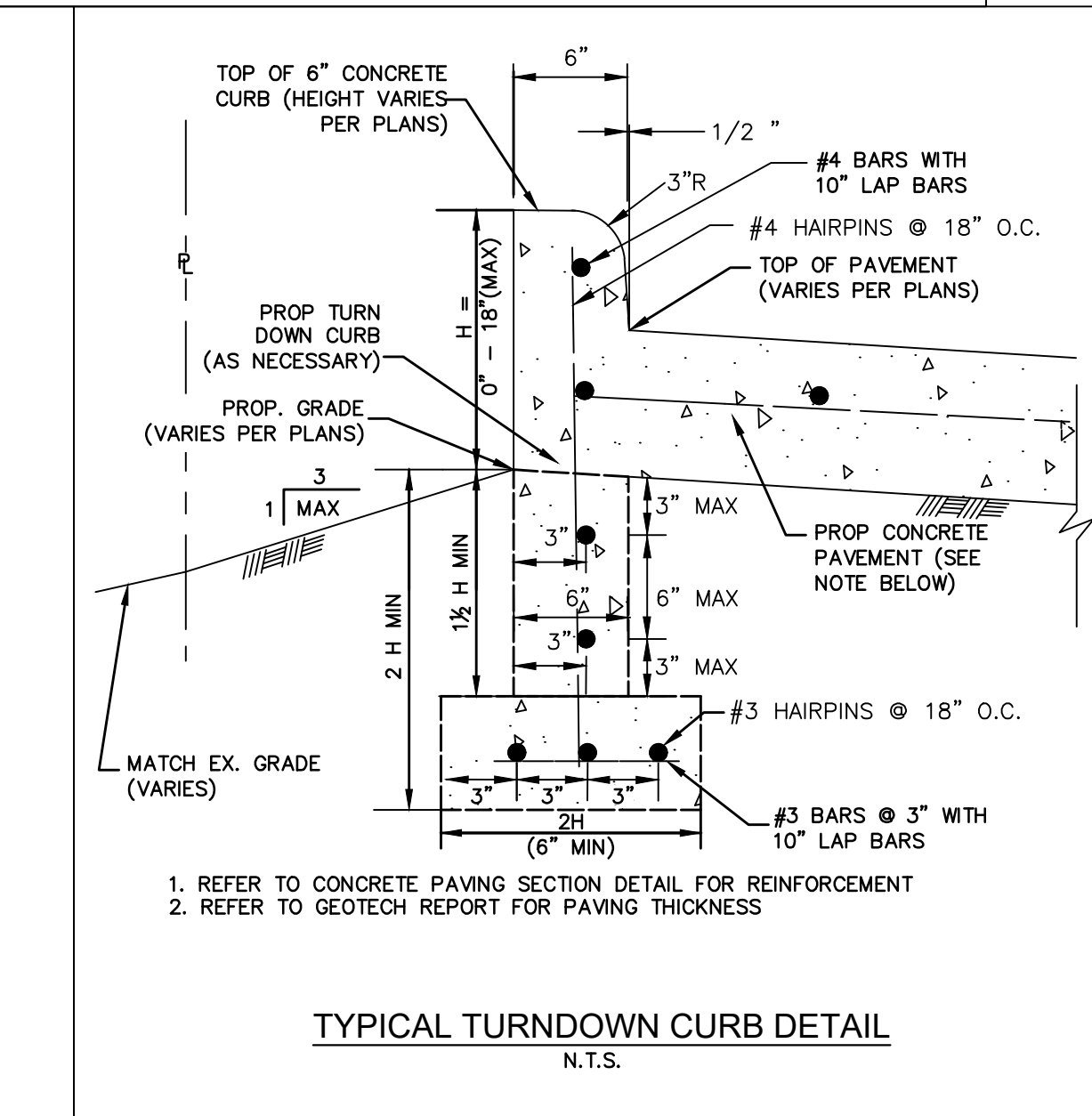
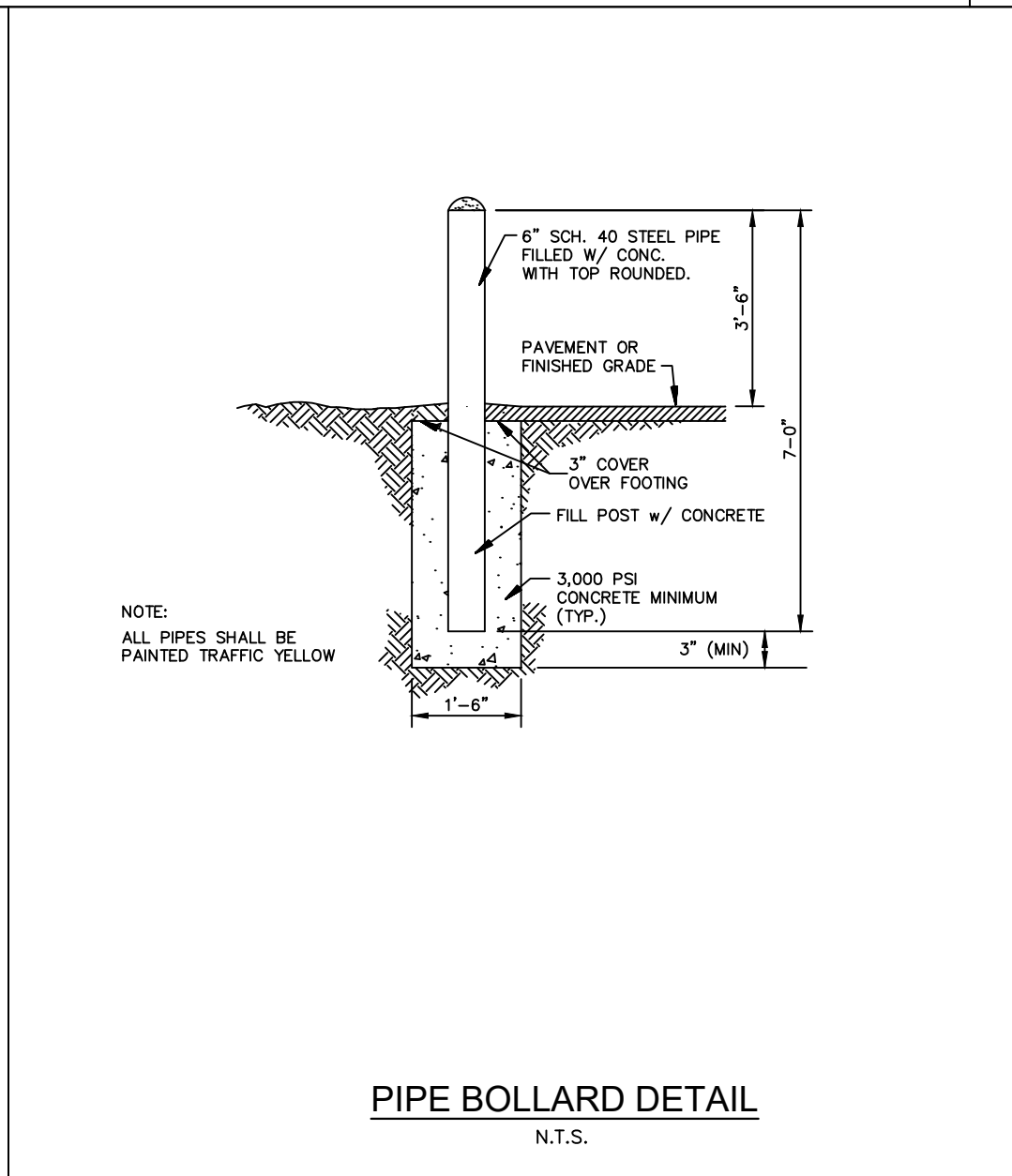
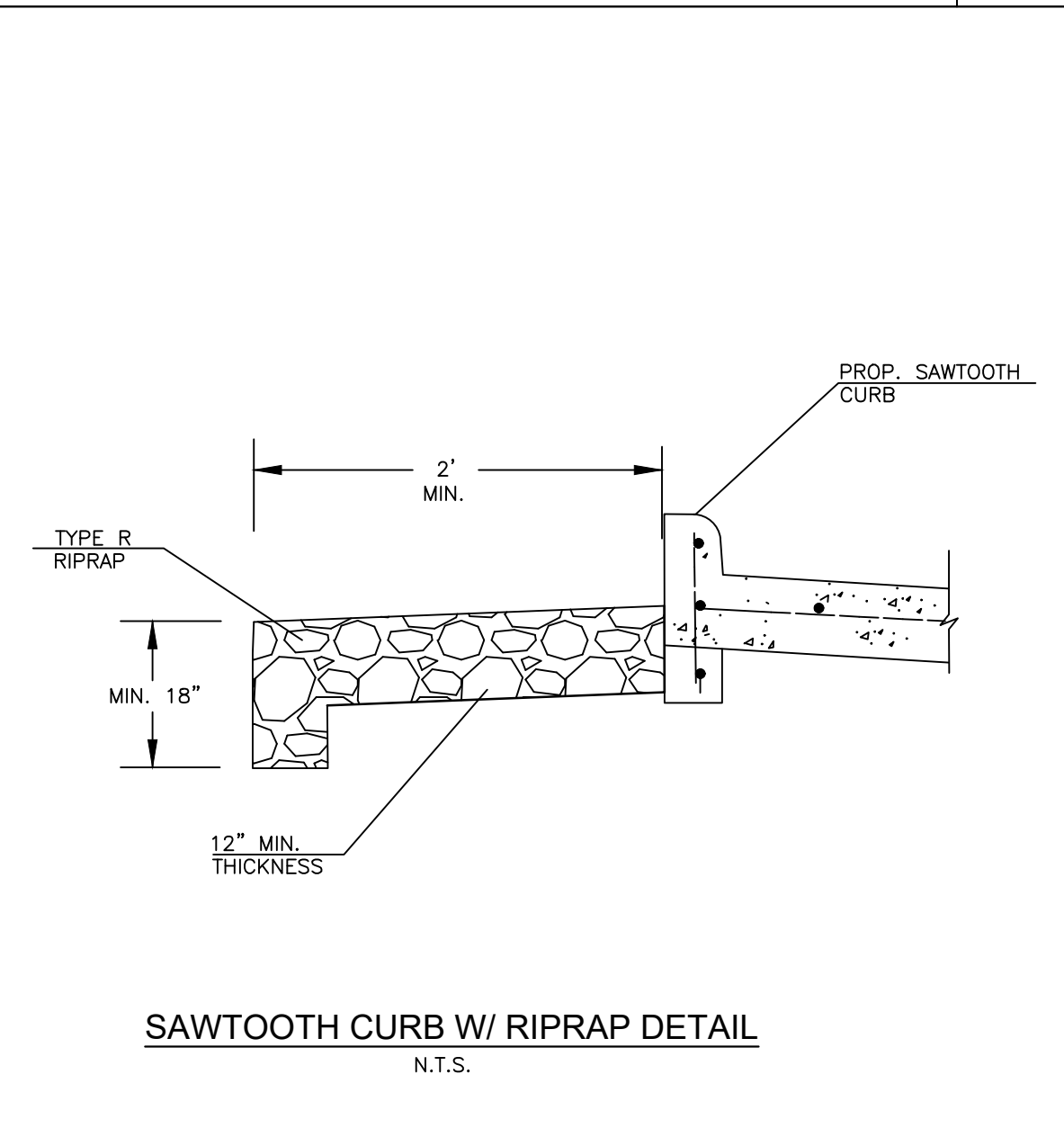
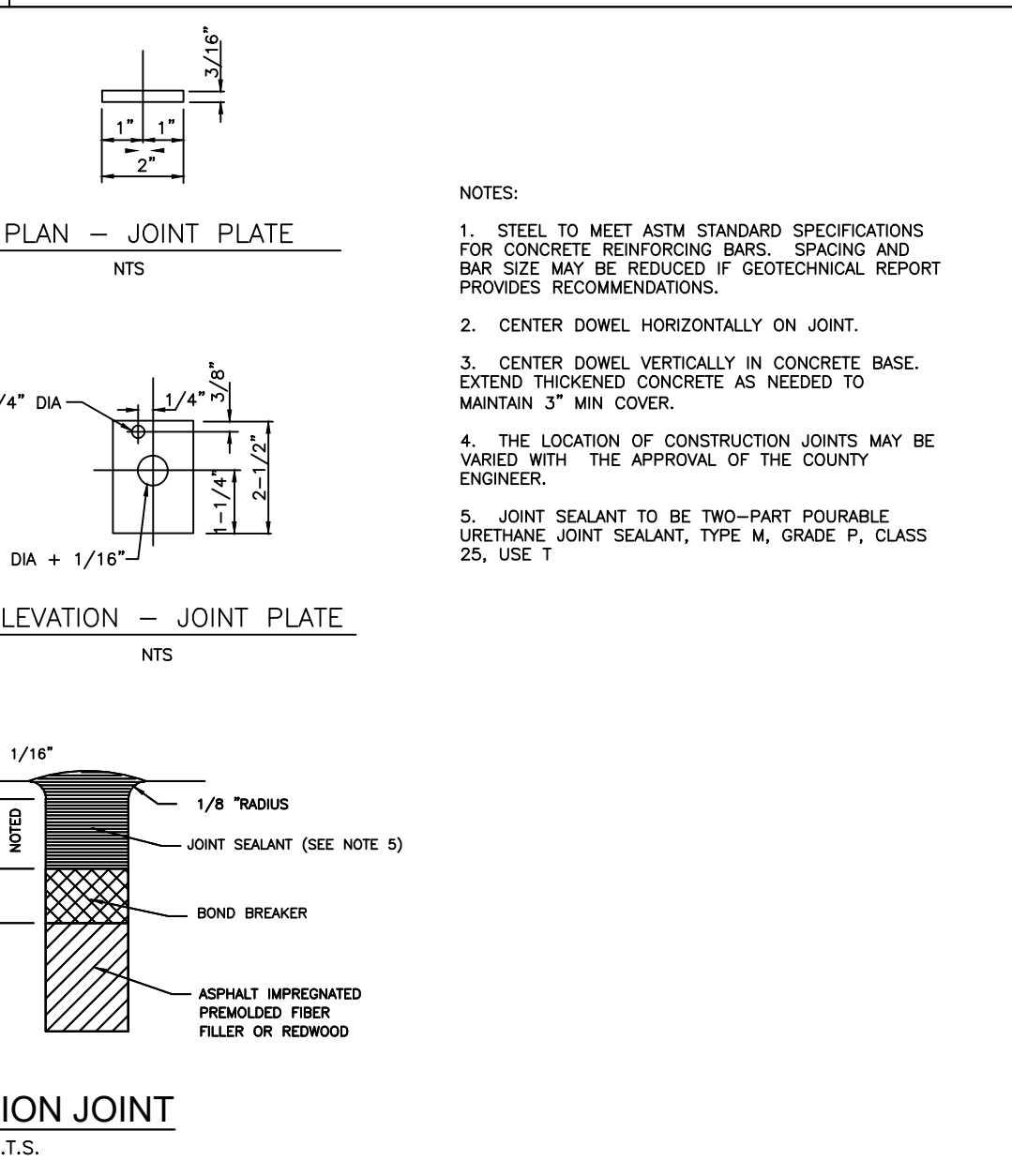
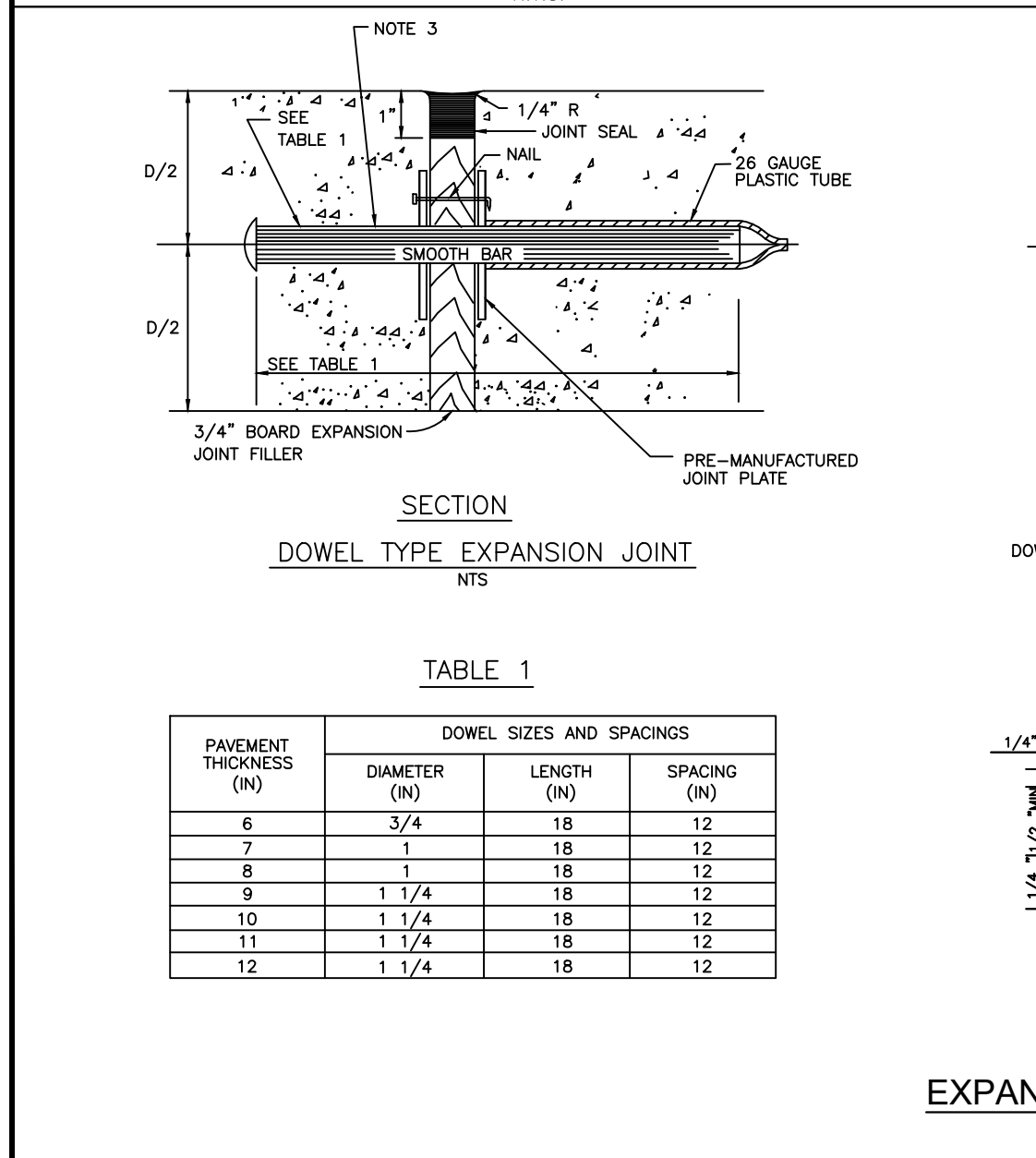
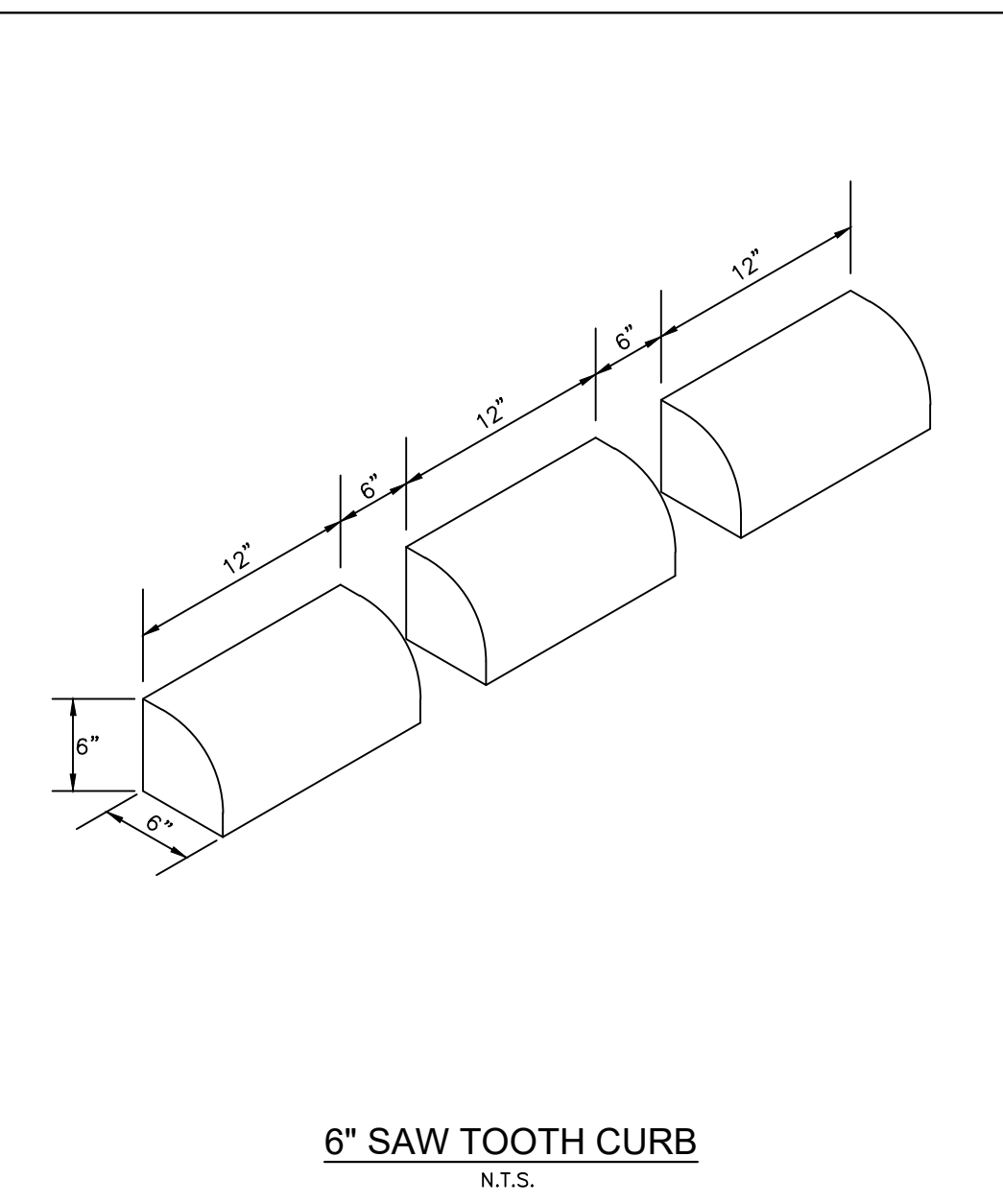
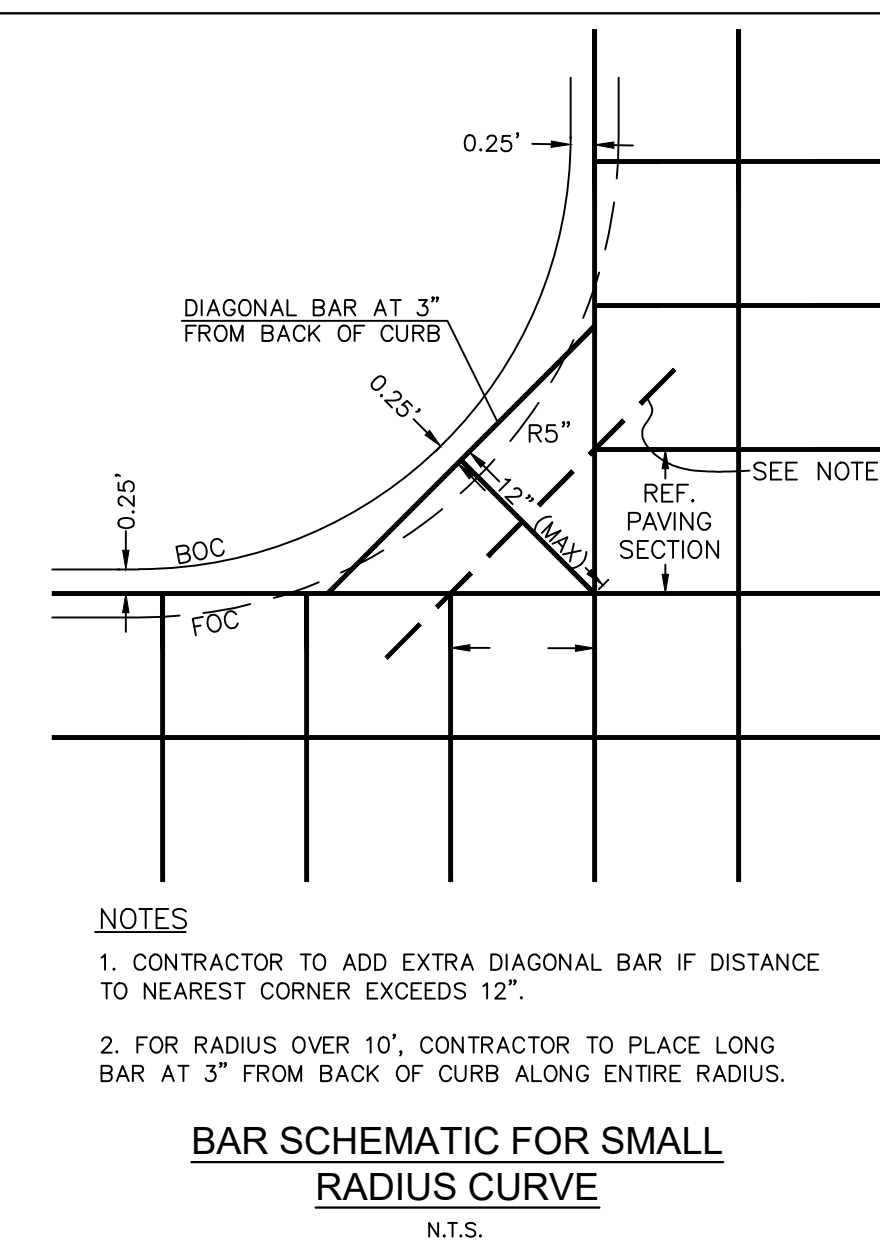
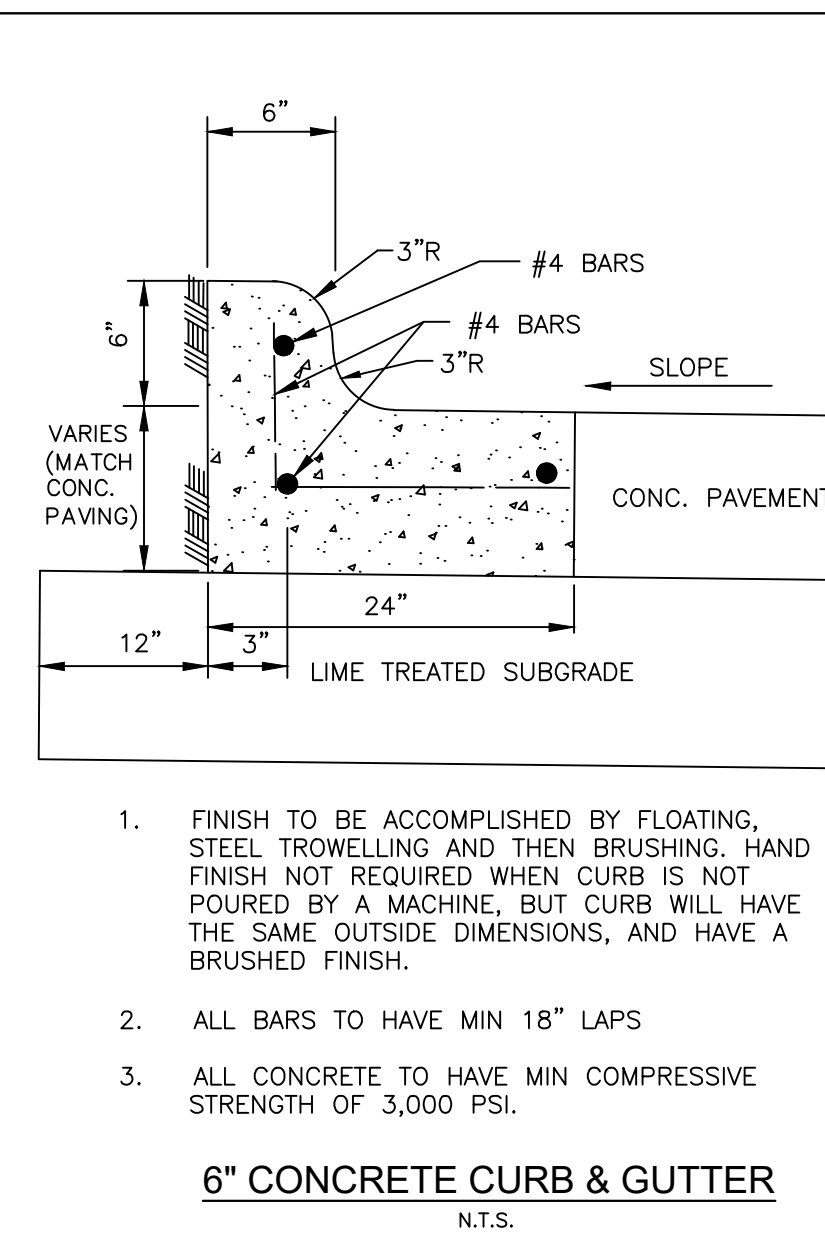
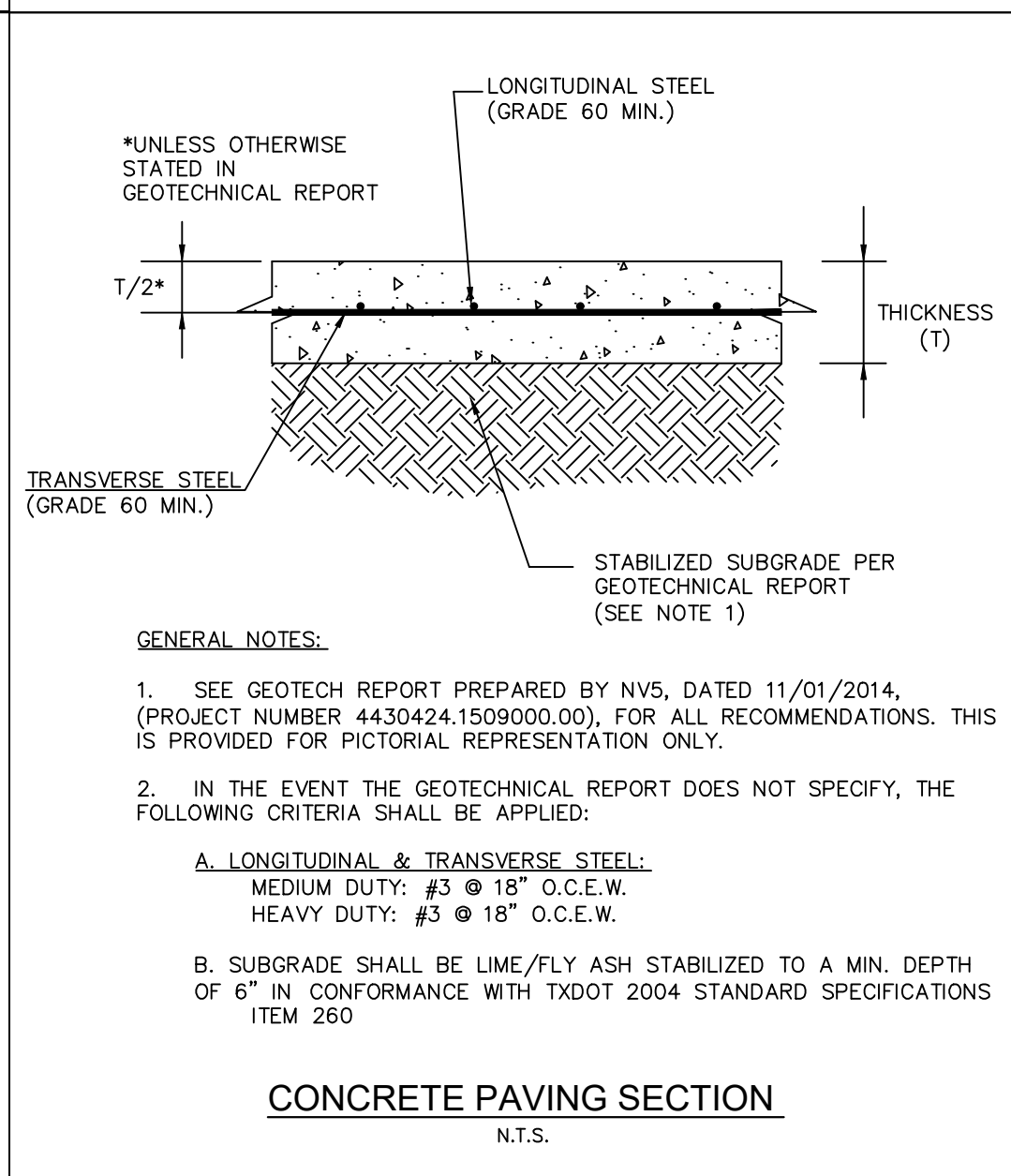
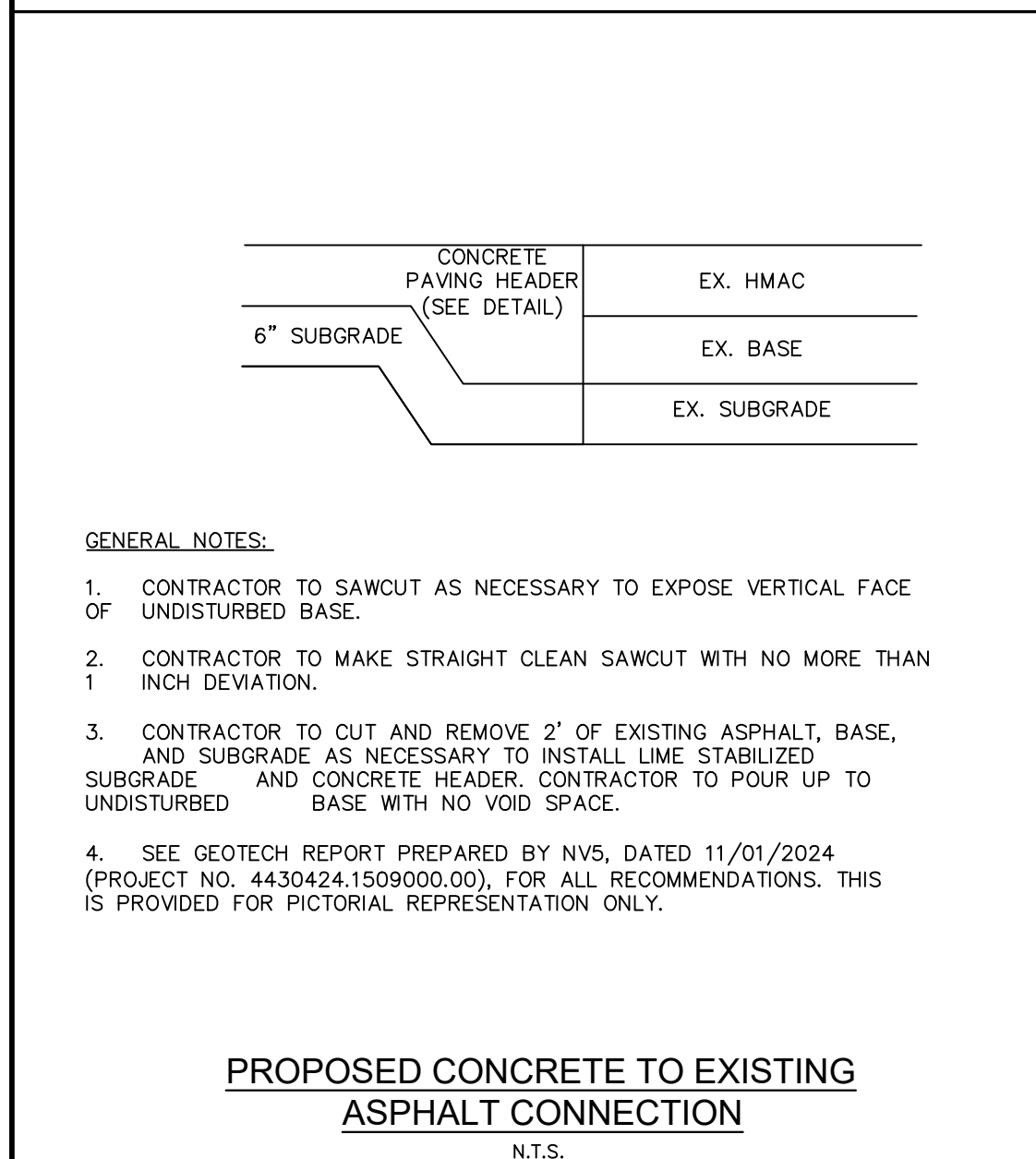
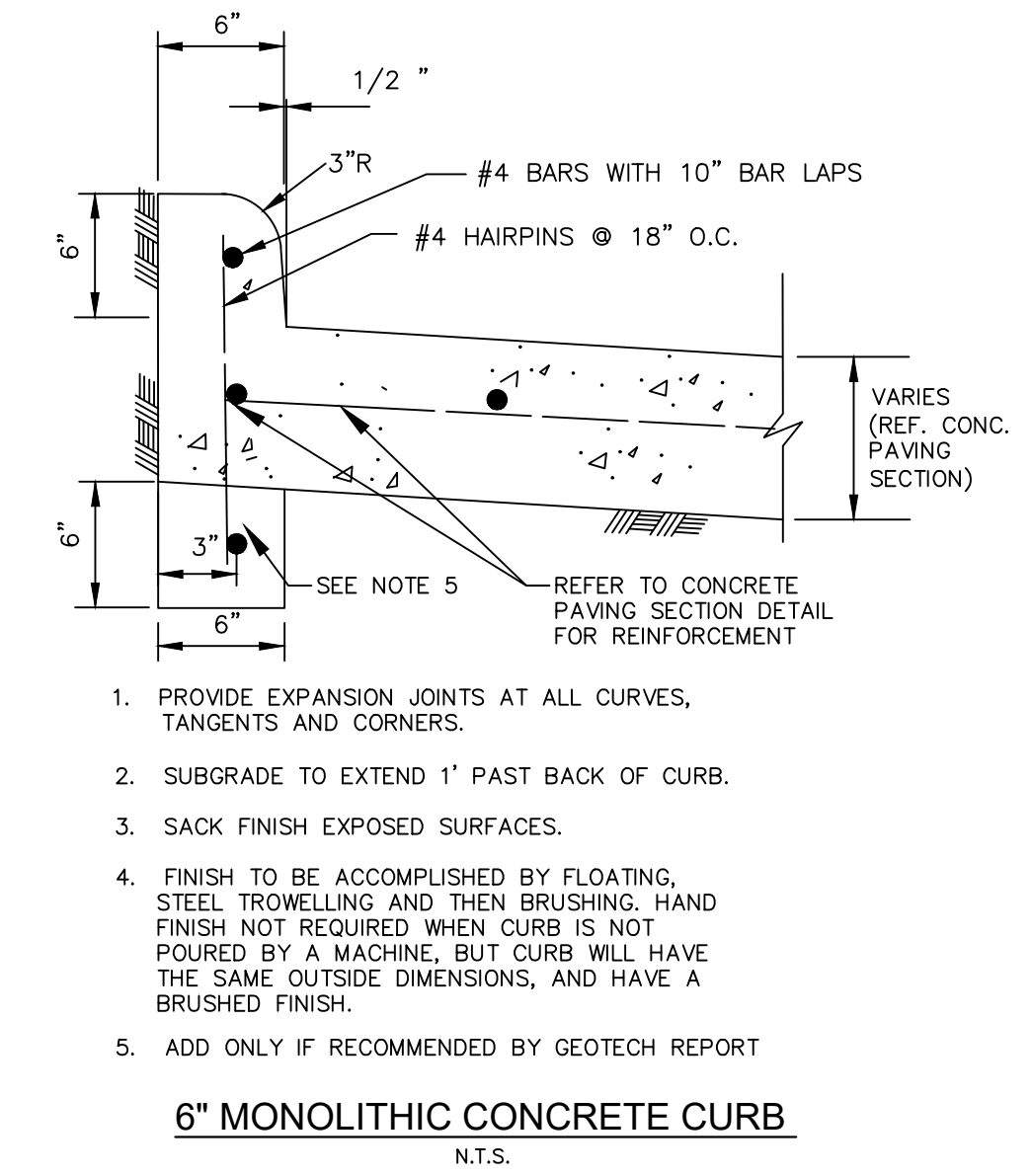
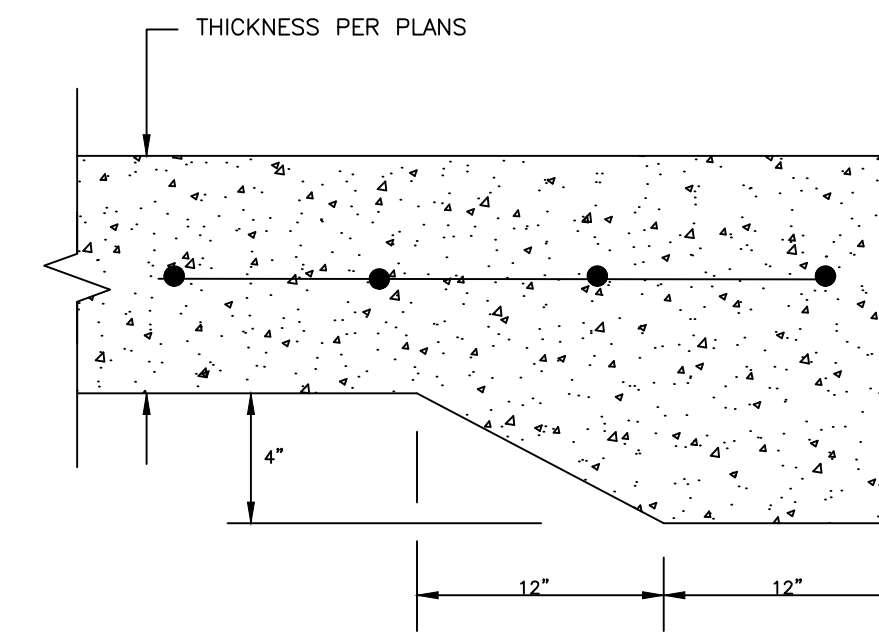
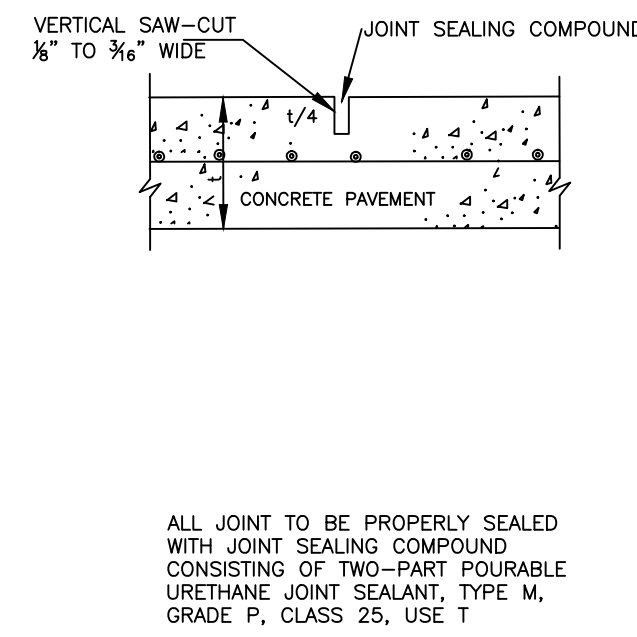
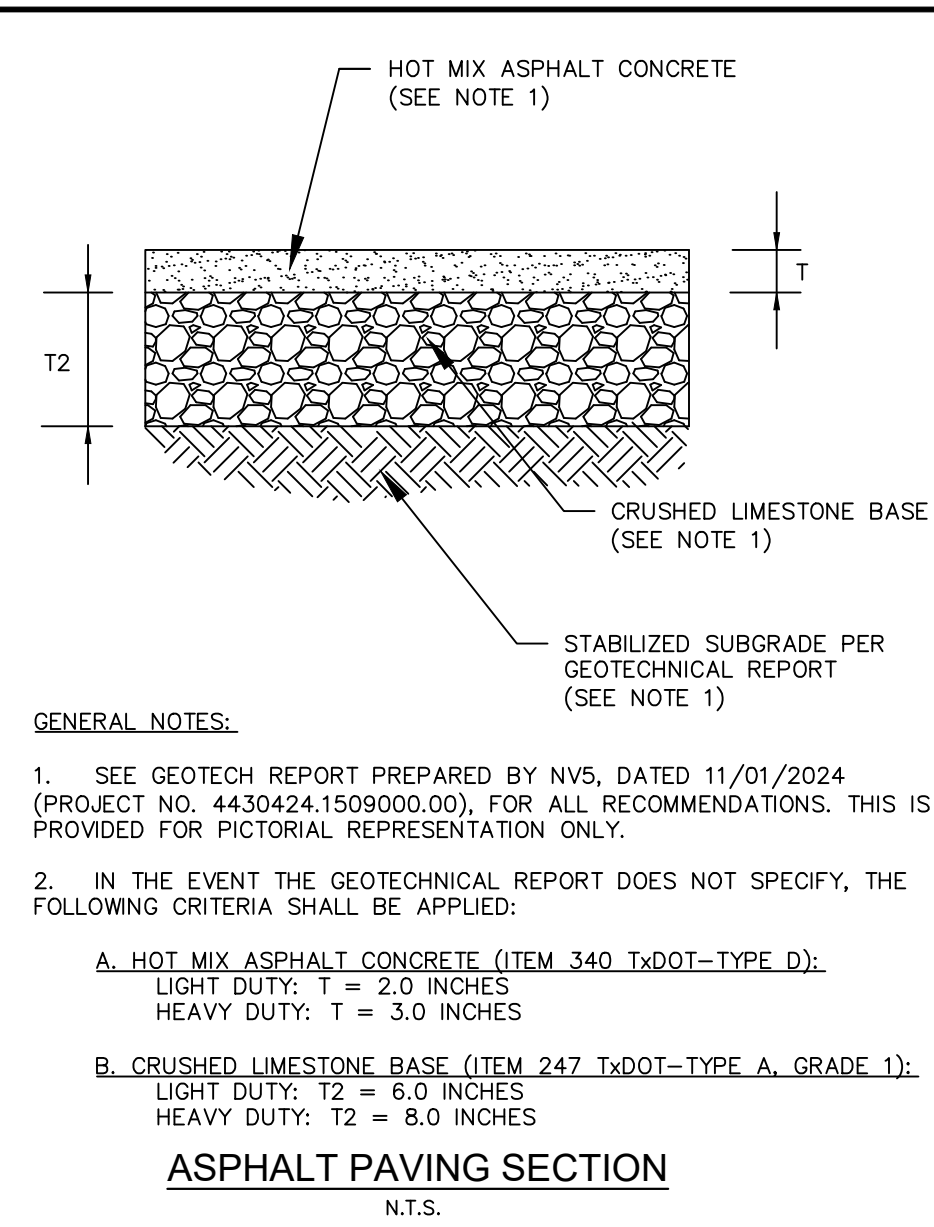
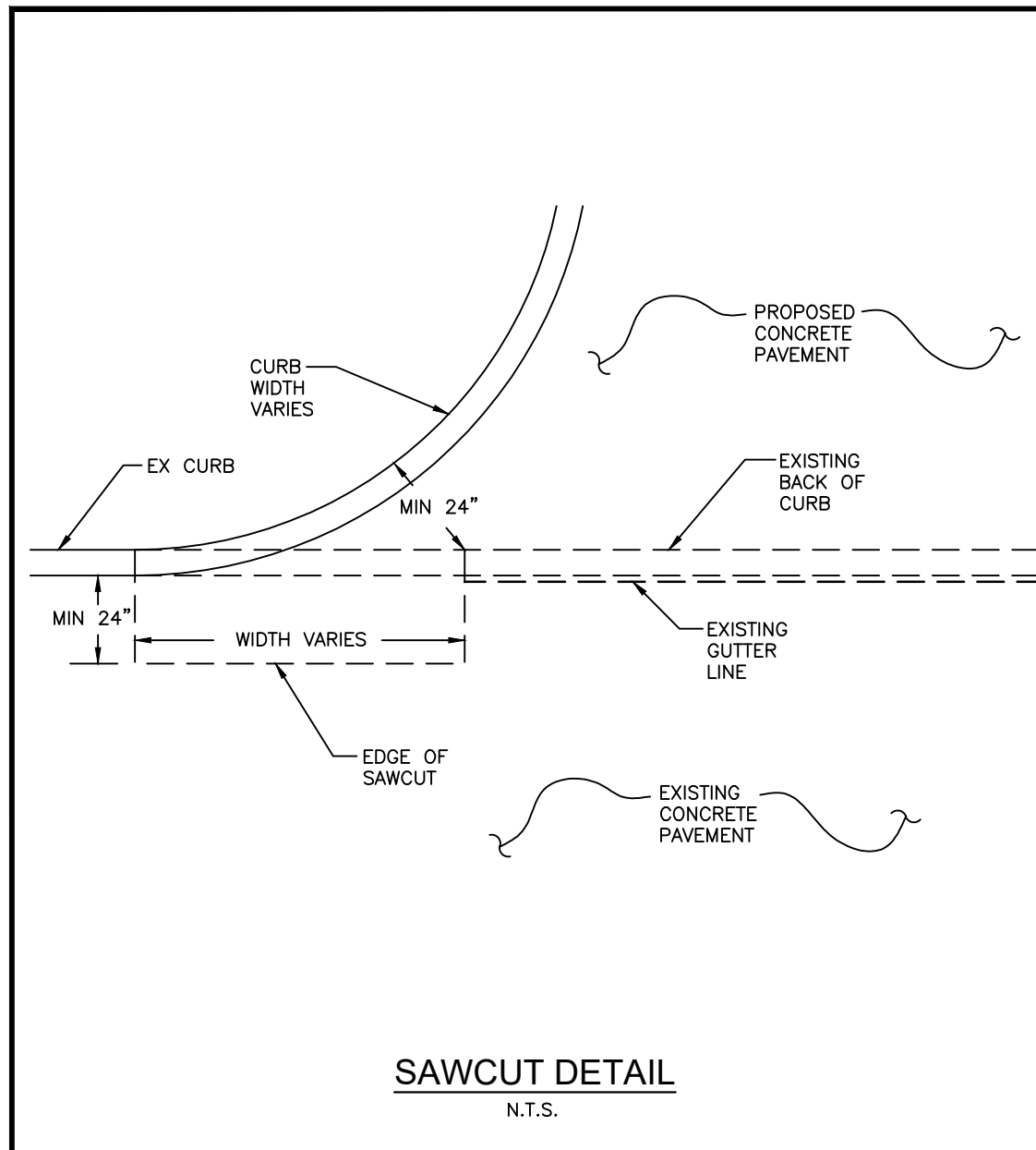
TOTAL LOT AREA	1.53 AC
TOTAL AREA DISTURBED	1.17 AC
PAVED AREA AT COMPLETION	1.00 AC
ROOFED AREA AT COMPLETION	0.11 AC
LANDSCAPED AREA AT COMPLETION	0.42 AC

- ### GENERAL NOTES
- CONTRACTOR TO MAINTAIN A CLEAN PROJECT SITE AND ENSURE THAT ALL DEBRIS IS PLACED IN DESIGNATED AREA PER PLANS. ALL SPOIL MATERIAL GENERATED FROM CONSTRUCTION ACTIVITY TO BE HAULED OFFSITE AND DISPOSED IN ACCORDANCE WITH LOCAL LAWS, RULES, AND REGULATIONS.
 - PRIOR TO ANY AREA DISTURBANCE (INCLUDING THE STAGING AREA AND ANY WORK WITHIN THE ADJACENT RIGHT-OF-WAY) AN EROSION AND SEDIMENT CONTROL (ESC) PLAN AND OWNER'S CERTIFIED NOTICE OF INTENT (NOI) IS REQUIRED TO BE SUBMITTED TO THE STORMWATER QUALITY ENGINEER (DOUG HUGHES, PE JHUGHES@CABQ.GOV, 505-924-3420) 14 DAYS PRIOR TO ANY EARTH DISTURBANCE.
 - UTILITIES AND APPURTENANCES LABELED AS FUTURE ARE FOR REFERENCE ONLY. CONTRACTOR TO REFERENCE APPROVED PLANS TITLED "CARUISE AND MENAUL COMMERCIAL CENTER" PREPARED BY BOHANNAN HUSTON INC. COA PROJ. NO. 781029

MULTIPLE EXISTING PUBLIC AND PRIVATE UTILITY LINES EXIST ON THIS SITE. THE UTILITY LINES SHOWN ON THESE DRAWINGS REFLECT INFORMATION OBTAINED FROM RECORD DRAWINGS AND MAY NOT INCLUDE ALL EXISTING UTILITIES. CONTRACTOR IS TO USE EXTREME CAUTION DURING ALL CONSTRUCTION ACTIVITIES AND IS SOLELY RESPONSIBLE FOR DAMAGE TO EXISTING FACILITIES.

TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN NEW MEXICO OR BLAST - STOP CALL
1-800-321-2537
NEW MEXICO STATUTE 62-14(1978)
MIN. 2 WORK DAYS NOTICE BEFORE EXCAVATION

<p>ALJ Lindsey Civil Engineers 1885 N. Exchange Pkwy, Suite 200 281.301.9565</p> <p><i>Brett Hamel</i> BRETT T. HANRAHAN NEW MEXICO 25690 LICENSED PROFESSIONAL ENGINEER</p> <p>24 FEBRUARY 2026</p> <p>ALJ PROJECT NO. 6862ACV008 DATE: FEB. 2026 SCALE: 1:20 DRAWN BY: JAA CHECKED BY: RAB</p>	<p>NO. _____</p> <p>REVISIONS _____</p> <p>DATE _____</p> <p style="text-align: center;">EROSION CONTROL PLAN</p> <p>MISTER CARWASH 3535 MENAUL BLVD., ALBUQUERQUE, NEW MEXICO 87107</p> <p>SHEET C6.0</p>
----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------



REVISIONS

DATE

ALJ Lindsey
Civil Engineers
1885 N. Exchange Pkwy, Suite 200
Albuquerque, NM 87111
281.301.9565

Brett Hamel
BRETT T. HAMRATH
NEW MEXICO
25690
LICENSED PROFESSIONAL ENGINEER

24 FEBRUARY 2026

AL PROJECT NO. 66624CCL008
DATE: FEB. 2026
SCALE: N/A
DRAWN BY: JAA
CHECKED BY: RAB

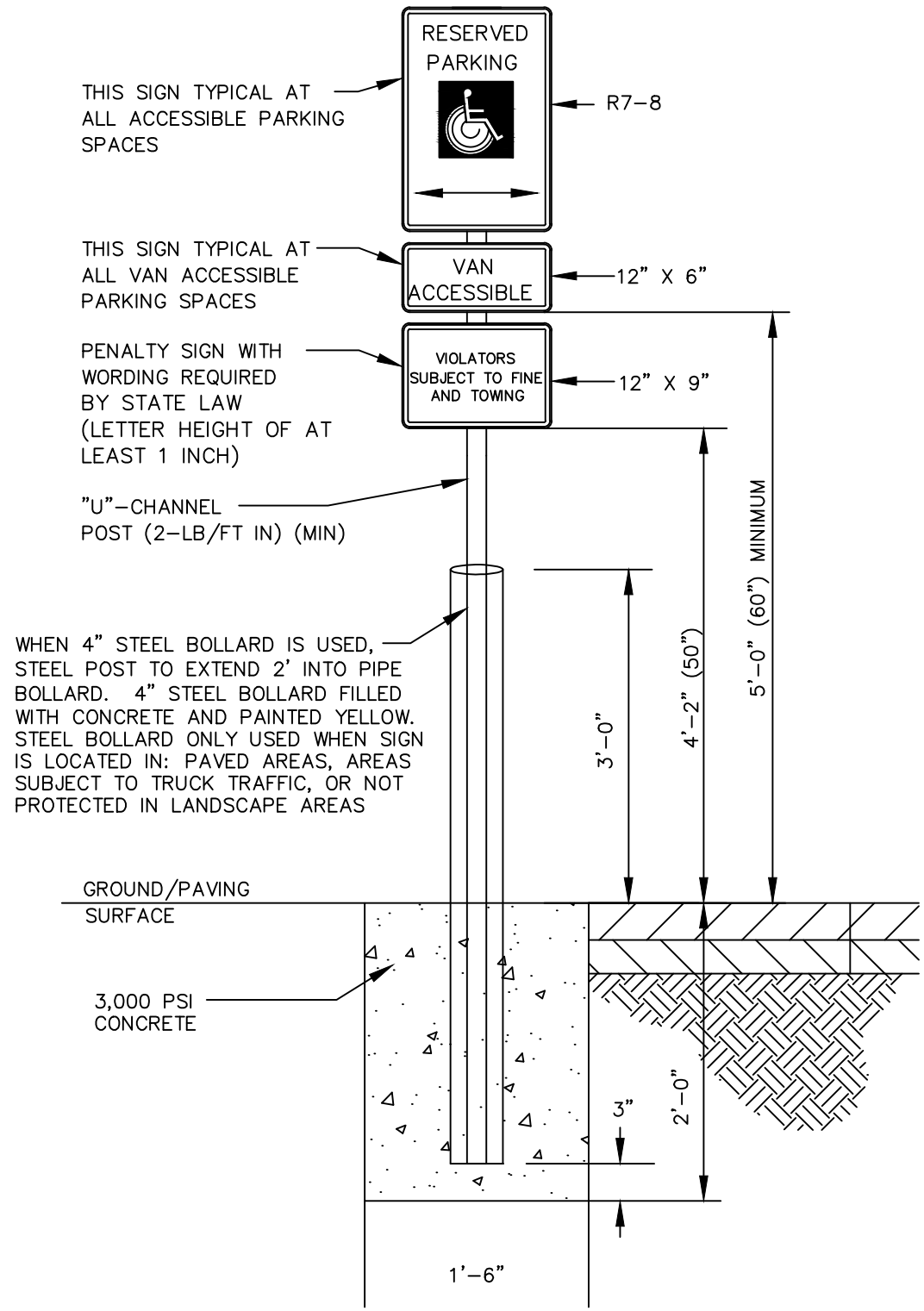
CONSTRUCTION DETAILS (1 OF 6)

MISTER CARWASH
3535 MENAUL BLVD.,
ALBUQUERQUE, NEW MEXICO 87107

SHEET C7.0

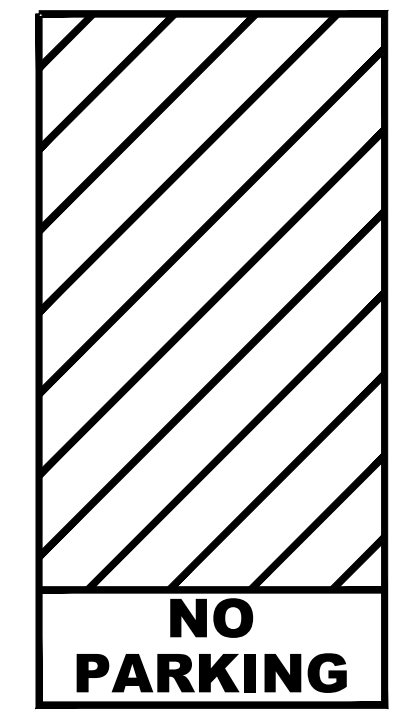
- NOTES:
1. PROVIDE IN ACCORDANCE WITH THE TEXAS ACCESSIBILITY STANDARDS (TAS)
 2. INSTALL WHERE HANDICAP STALLS ARE INDICATED ON PLAN
 3. VAN ACCESSIBLE SIGNAGE ON VAN SPACES ONLY - SEE PLAN FOR LOCATION

COLOR CHART
 BLUE: LETTERS, BORDER, & SYMBOL
 WHITE: SIGN BACKGROUND

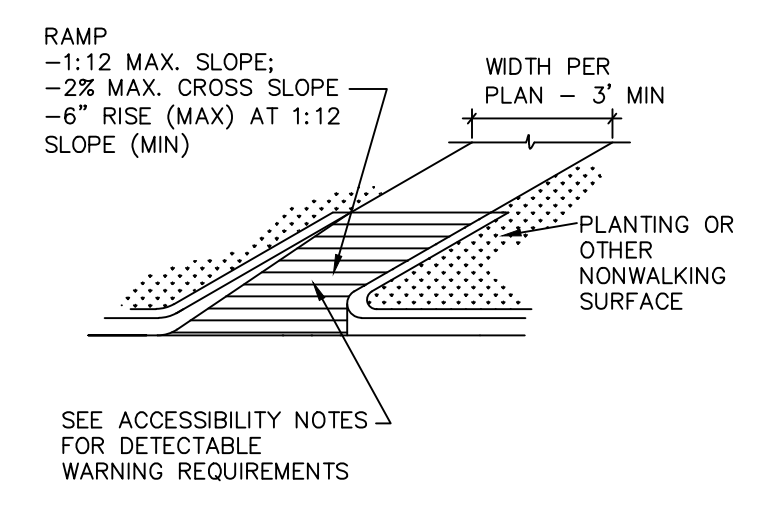


ACCESSIBLE PARKING SIGN
N.T.S.

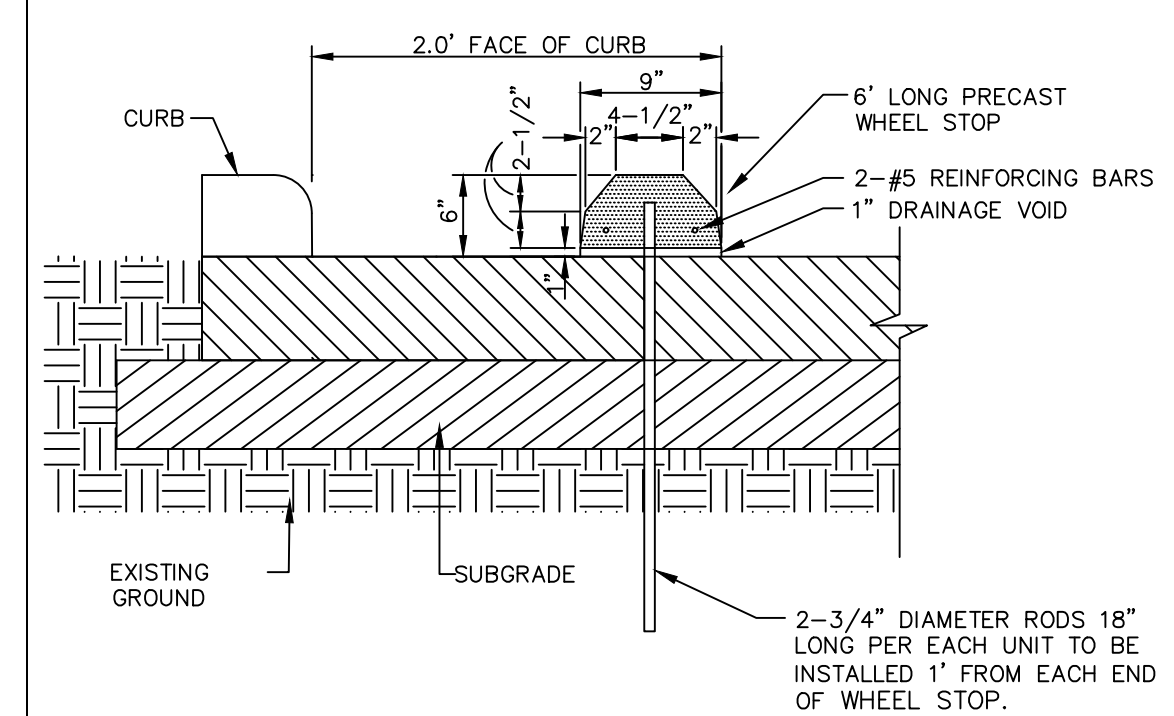
- NOTES:
1. THE INTERNATIONAL SYMBOL OF ACCESSIBILITY PAINTED CONSPICUOUSLY ON THE SURFACE IN A COLOR THAT CONTRASTS THE PAVEMENT.
 2. THE WORDS "NO PARKING" PAINTED ON ANY ACCESS AISLE ADJACENT TO THE PARKING SPACE. THE WORDS MUST BE PAINTED:
 2.1. IN ALL CAPITAL LETTERS.
 2.2. WITH A LETTER HEIGHT OF AT LEAST TWELVE INCHES, AND STROKE WIDTH OF AT LEAST TWO INCHES.
 2.3. CENTERED WITHIN EACH ACCESS AISLE ADJACENT TO THE PARKING SPACE.



ACCESSIBLE PARKING ACCESS AISLE
N.T.S.

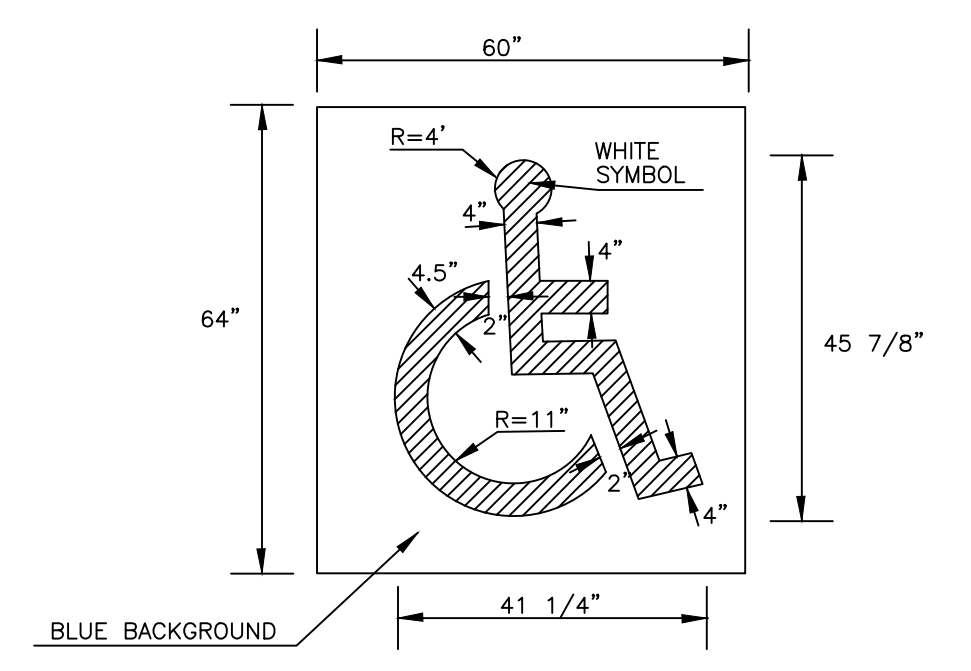


CURB RAMP DETAIL - SQUARE SIDES
N.T.S.

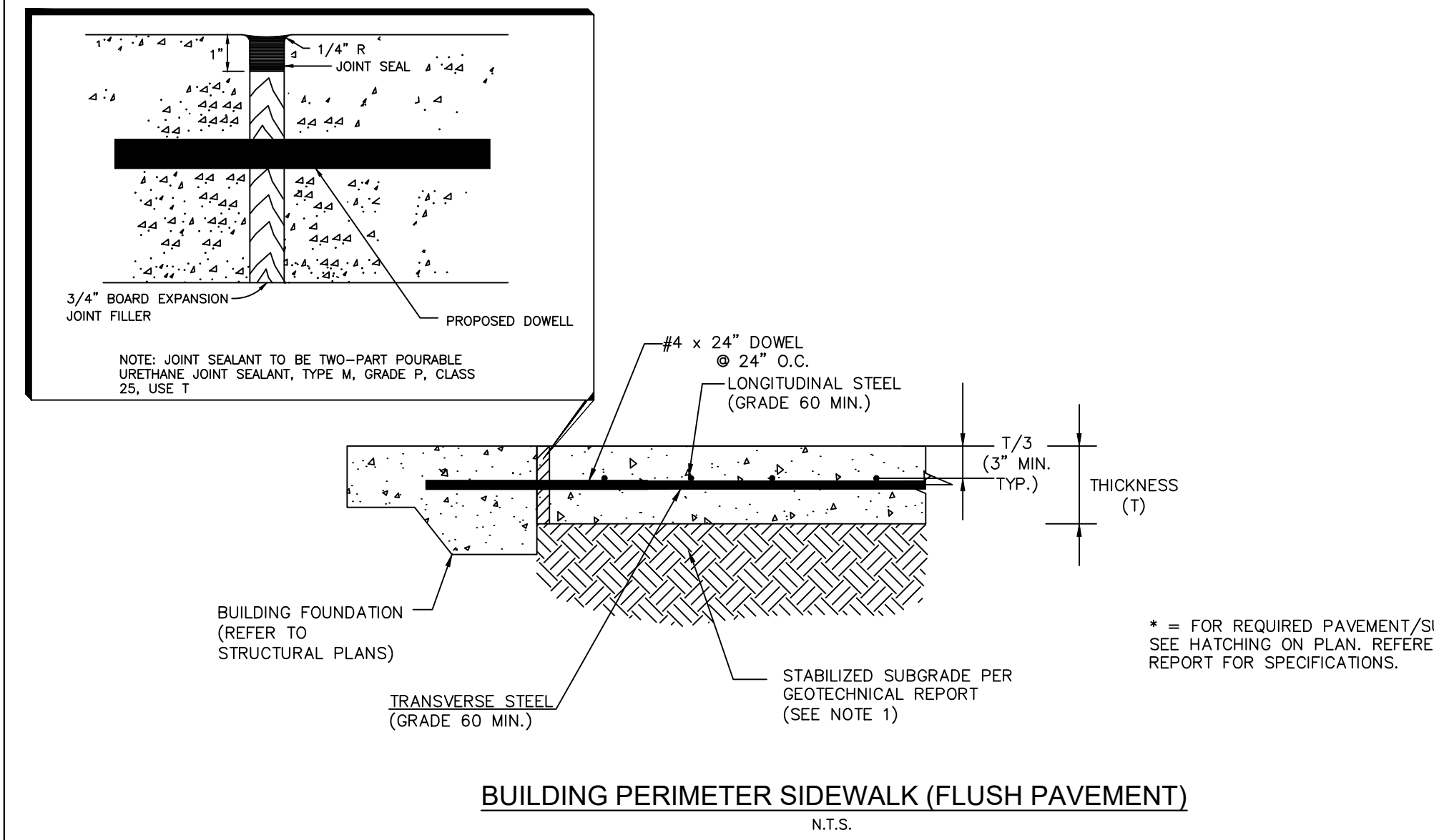


- NOTES:
1. CONCRETE USED FOR WHEEL STOP TO HAVE MINIMUM COMPRESSIVE STRENGTH OF 2,500 PSI.

WHEEL STOP
N.T.S.

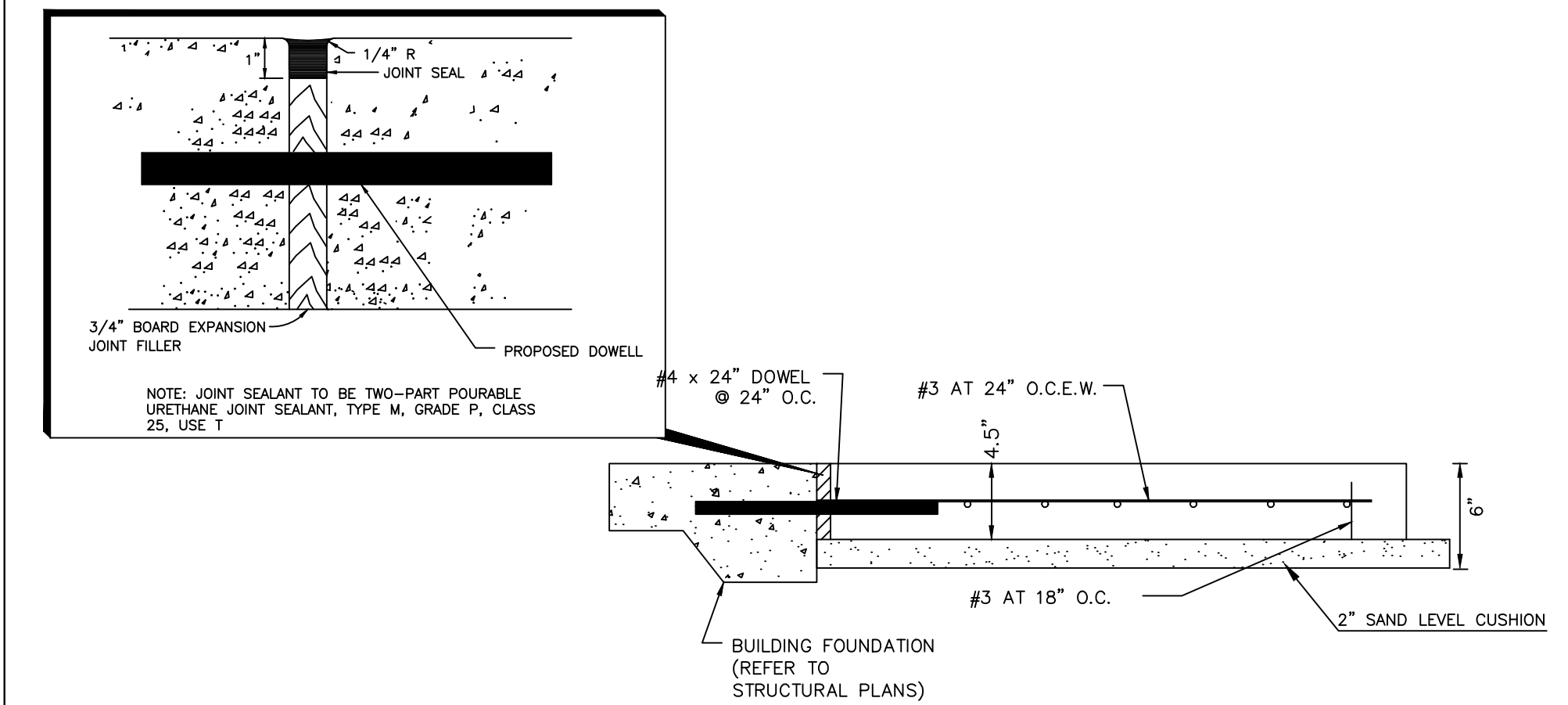


HANDICAP SURFACE PAINT DETAIL
N.T.S.

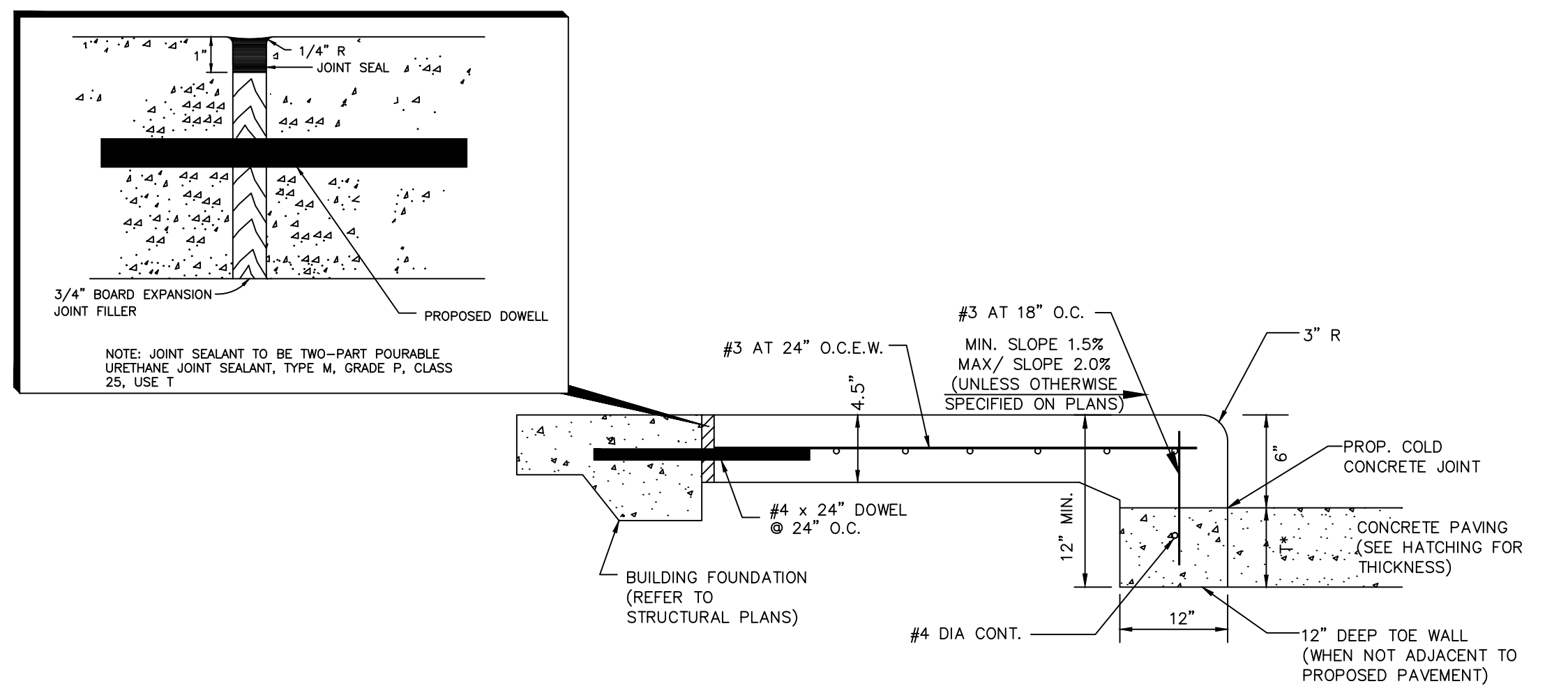


* = FOR REQUIRED PAVEMENT/SUBGRADE THICKNESS. SEE HATCHING ON PLAN. REFERENCE GEOTECHNICAL REPORT FOR SPECIFICATIONS.

BUILDING PERIMETER SIDEWALK (FLUSH PAVEMENT)
N.T.S.



BUILDING PERIMETER SIDEWALK TO LANDSCAPE
N.T.S.



BUILDING PERIMETER SIDEWALK
N.T.S.

* = FOR REQUIRED PAVEMENT/SUBGRADE THICKNESS. SEE HATCHING ON PLAN. REFERENCE GEOTECHNICAL REPORT FOR SPECIFICATIONS.

NO.	REVISIONS	DATE

ALJLindsey
 Civil Engineers
 1885 N. El Paso Hwy, Suite 200
 281-301-9955

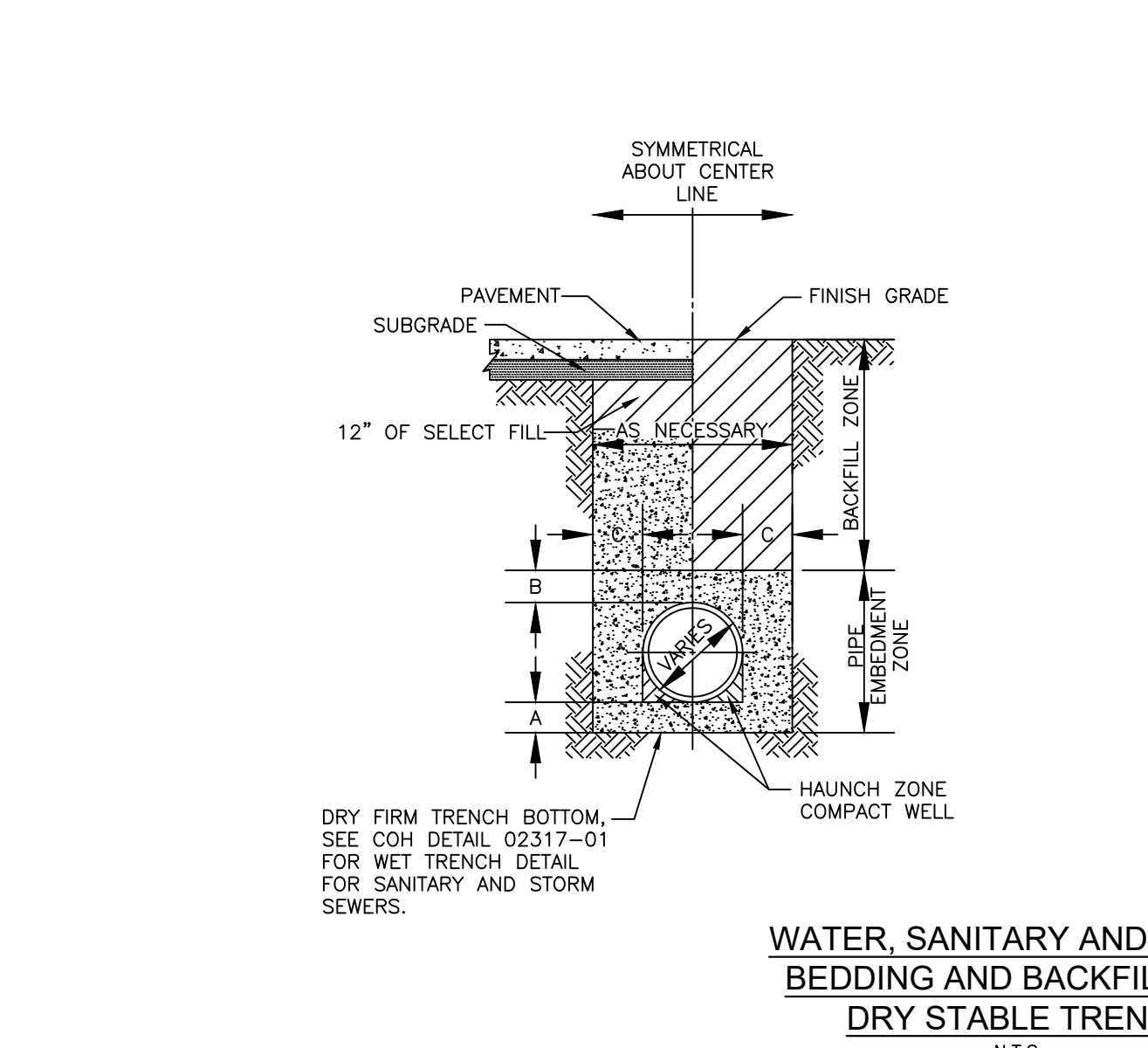
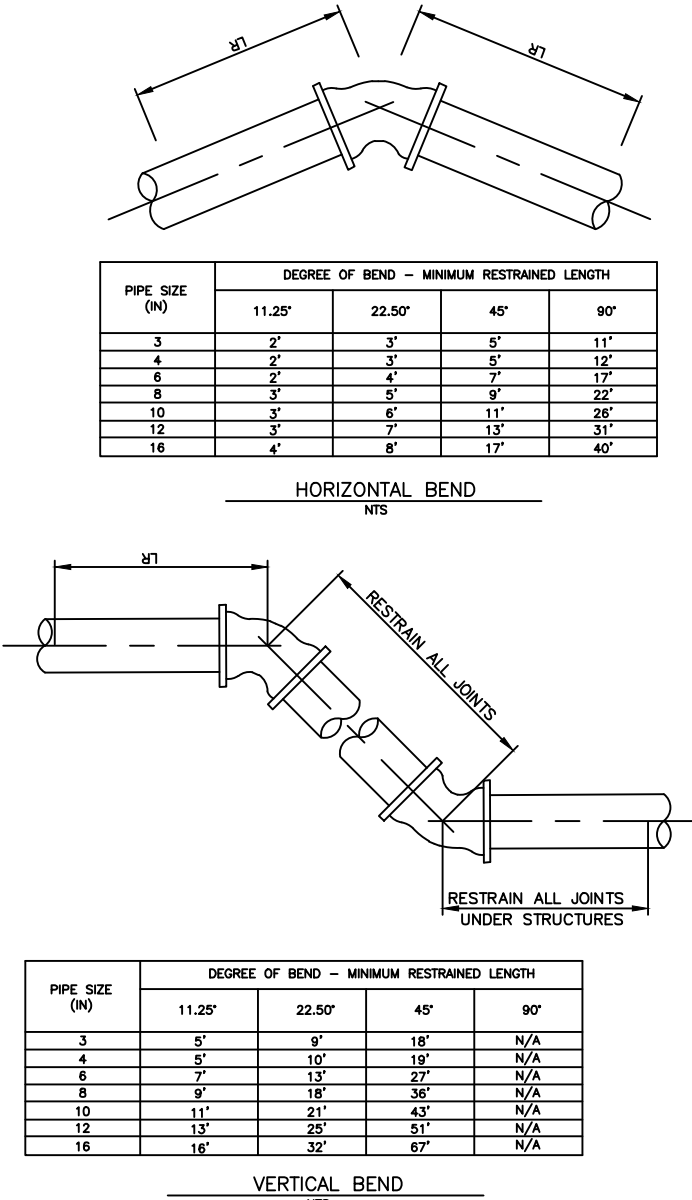
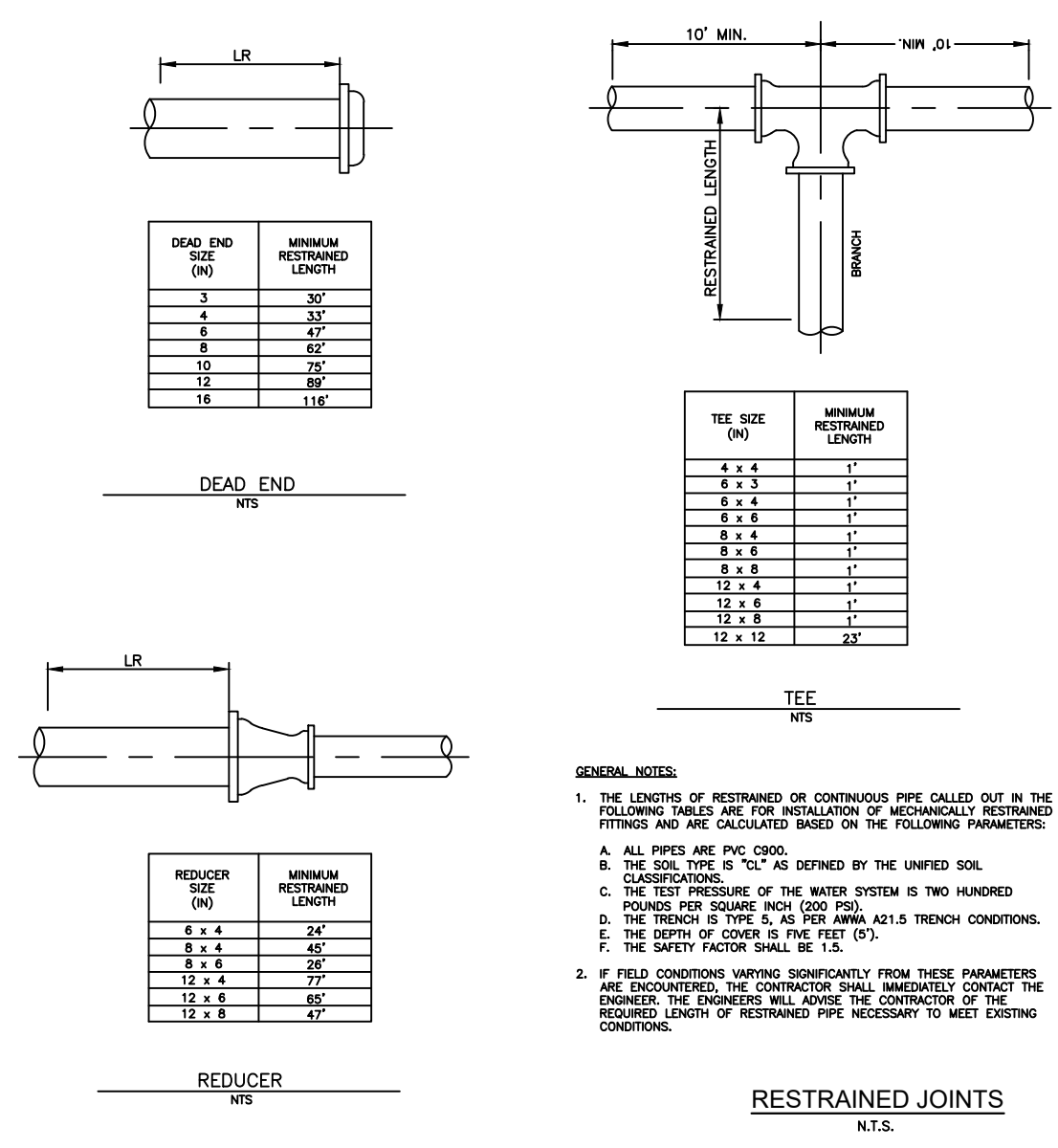
Brett Hamel
 BRETT T. HANRAHAN
 NEW MEXICO
 25690
 LICENSED PROFESSIONAL ENGINEER

24 FEBRUARY 2026
 ALJ PROJECT NO. 666-24-CV-008
 DATE: FEB. 2026
 SCALE: N/A
 DRAWN BY: JAA
 CHECKED BY: RAB

**CONSTRUCTION
 DETAILS (2 OF 6)**

MISTER CARWASH
 3535 MENAUL BLVD.,
 ALBUQUERQUE, NEW MEXICO 87107

SHEET
C7.1



DIMENSIONAL REQUIREMENTS

PIPE SIZE (IN)	A	B	C
20" AND SMALLER	6"	12"	9"
21" THRU 48"	6"	12"	12"
54" THRU 66"	9"	12"	15"
72" AND LARGER	12"	18"	15"

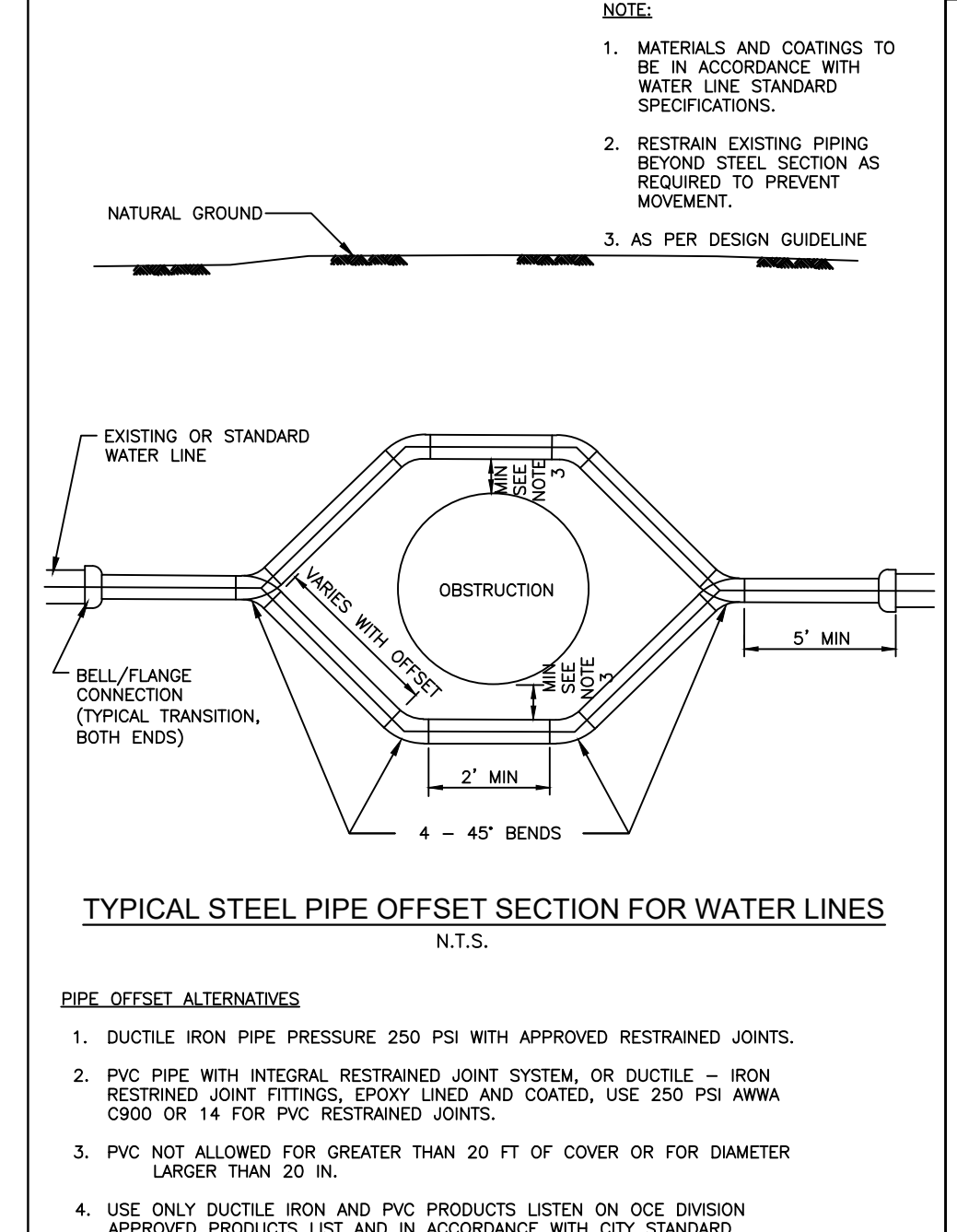
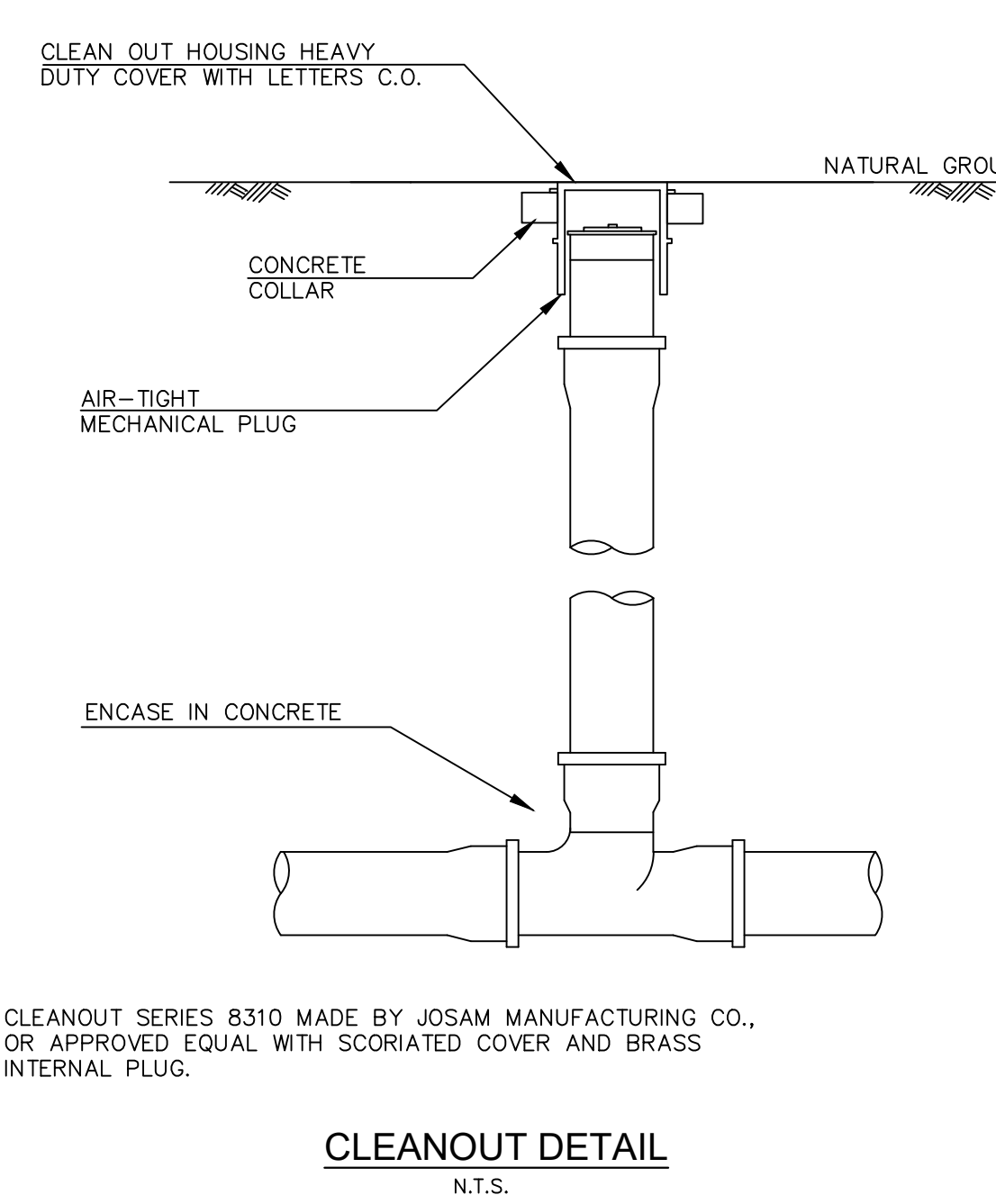
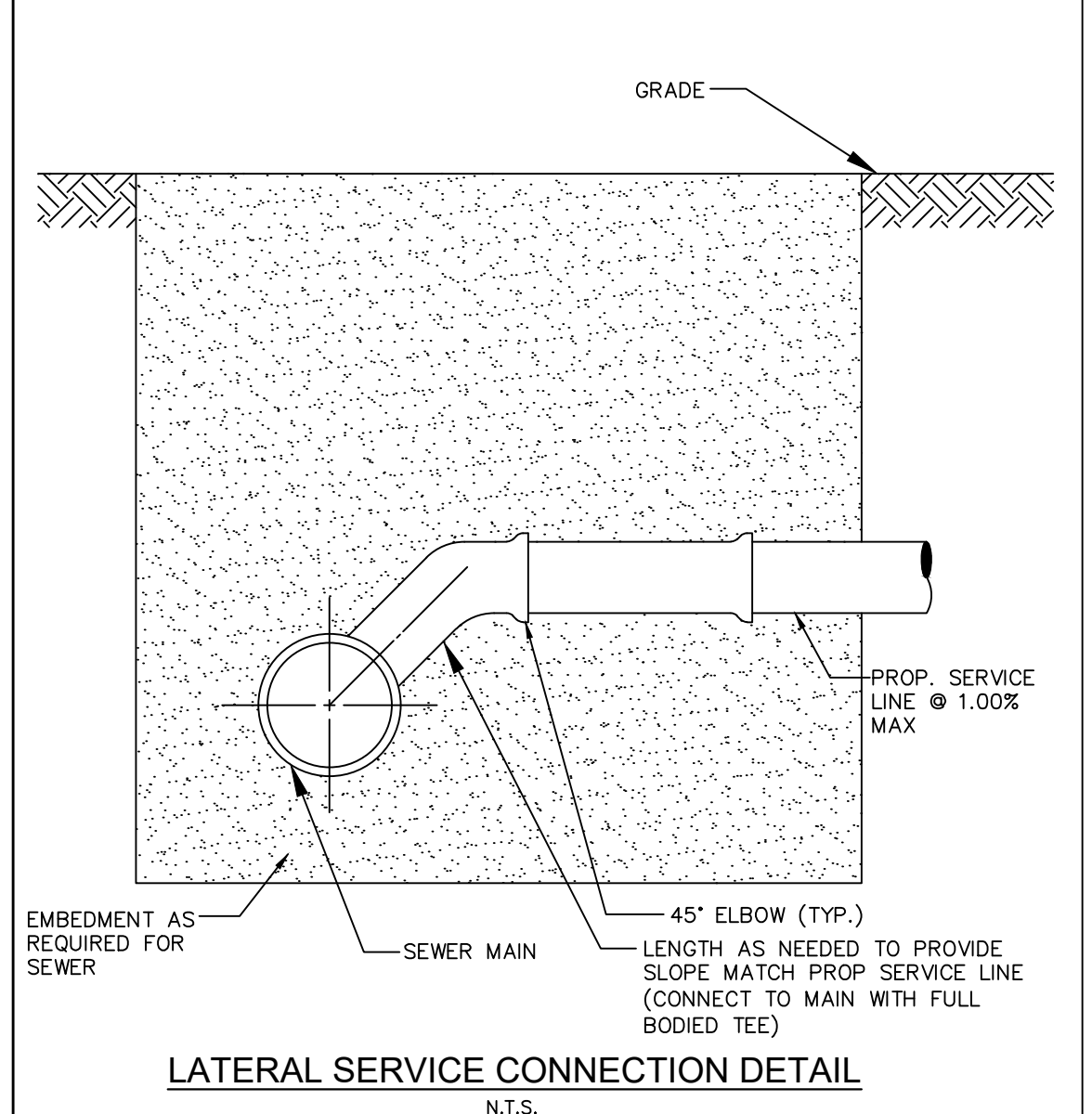
MATERIAL REQUIREMENTS

BACKFILL ZONE

1. IN PAVED AREAS, USE CEMENT STABILIZED SAND, PLACE IN 8" LIFTS AND COMPACT TO 95% STANDARD PROCTOR DENSITY, TO WITHIN 12" OF SUBGRADE.
2. IN UNPAVED AREAS, USE SOIL EXCAVATED FROM TRENCH, PLACE IN 8" LIFTS AND COMPACT TO 95% STANDARD PROCTOR DENSITY.

PIPE EMBEDMENT ZONE

1. FOR STORM AND SANITARY SEWERS, USE CEMENT STABILIZED SAND, PLACE IN 8" LIFTS AND COMPACT TO 95% STANDARD PROCTOR DENSITY.
2. FOR WATER LINES, USE SAND, PLACE IN 8" LIFTS AND COMPACT TO 95% STANDARD PROCTOR DENSITY.



Cross Sidewalk Drain (CSD) System Layout

CSD is a cross-sidewalk drainage system which has a polymer concrete curb unit, that is cast into the curb line, to allow water from the H100K-8 or H100KS-B SlabDrain to discharge into the road. A down spout inlet, also manufactured from polymer concrete, allows rainwater down spouts to drain into the channel.

CSD Parts

Part No.	Invert Depth		Overall Depth		Weight
	in	mm	in	mm	
Curb Outlet - Type 6 Profile	96924	3.50	90	7.87	200
Down Spout Inlet	96932	3.20	82	3.95	100

Notes:
1. For use with H100K-8 or H100KS-8 channels only.

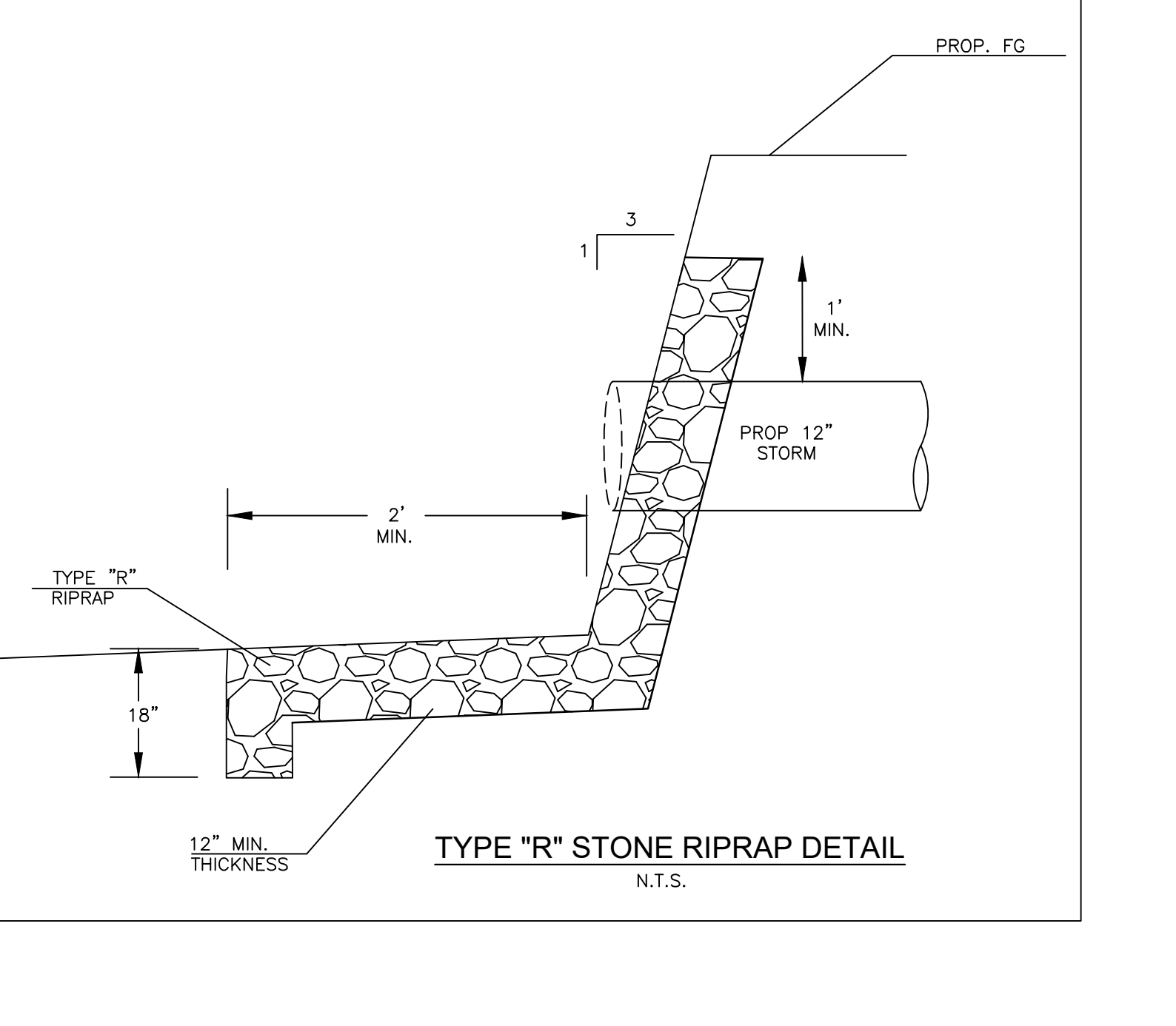
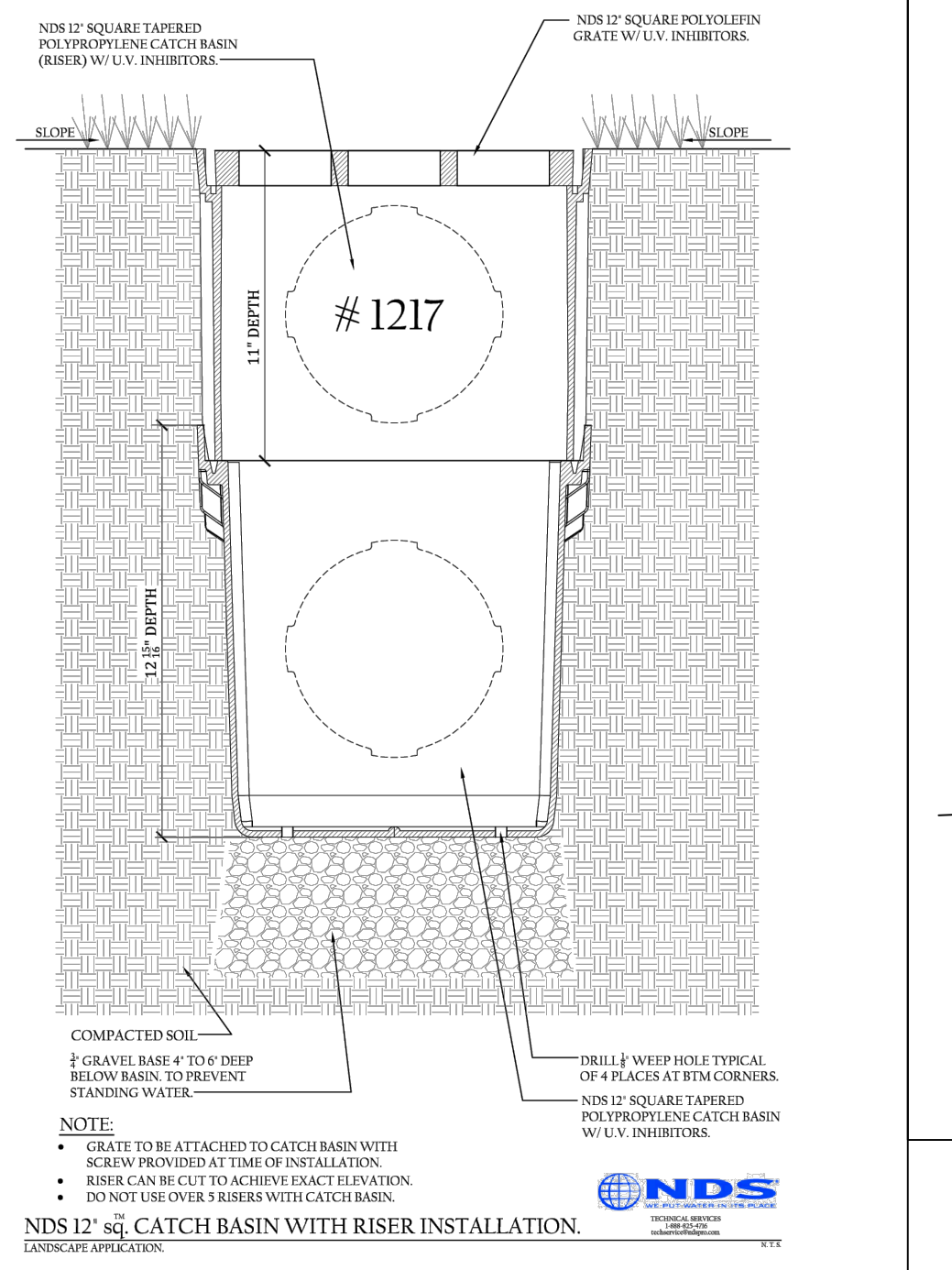
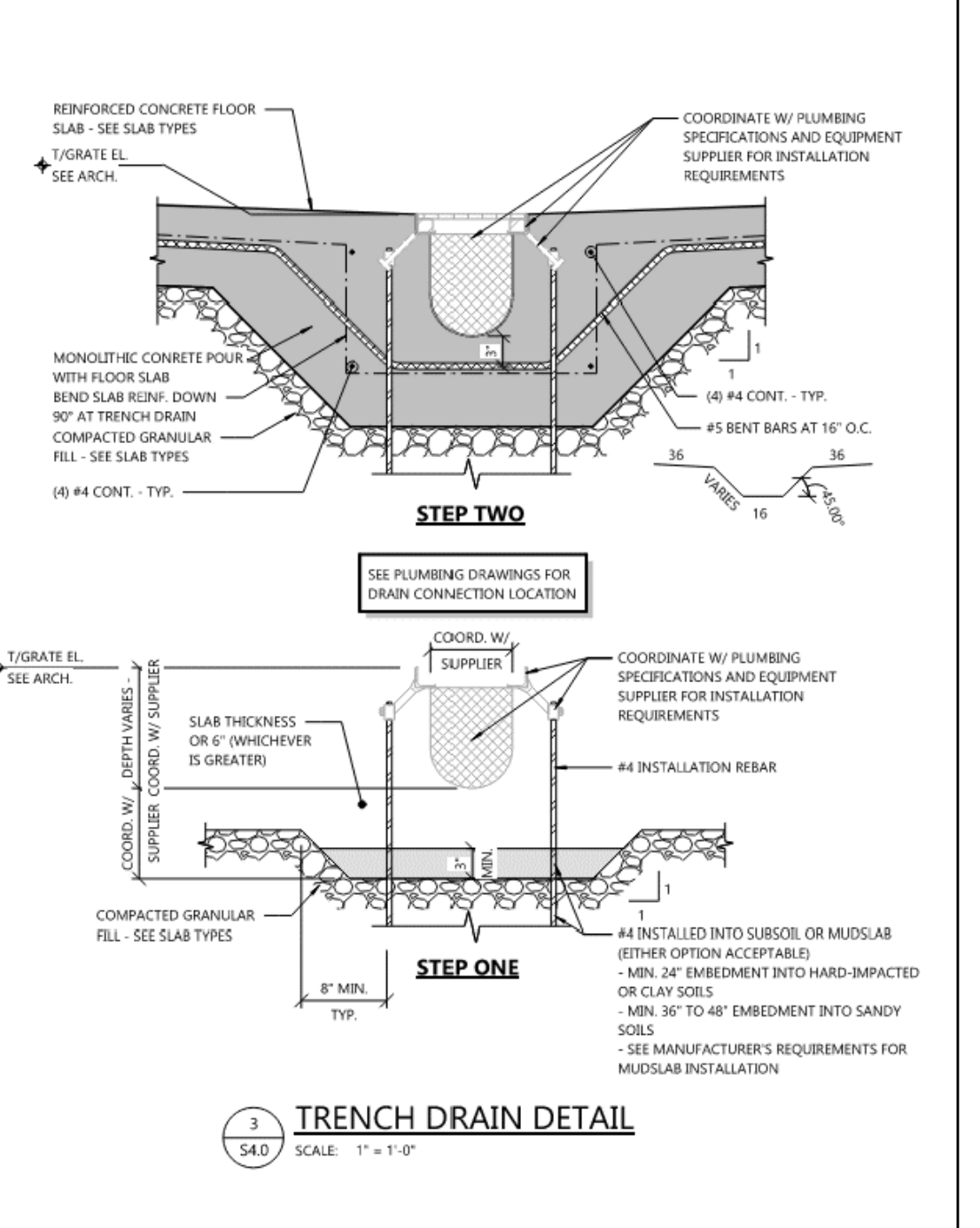
OR EQUIVALENT FOR SIDEWALK TRENCH DRAIN

GRATE SCHEDULE

GRATE SCHEDULE	FRAMING	FRAMING WEIGHT
1/2\"/>		

SPECIFICATIONS

CONCRETE: Class B concrete with design strength of 8000 psi at 28 days. Use a minimum of 3% reinforcement in the form of #4 bars spaced at 12\"/>



DATE: _____

REVISIONS: _____

NO. _____

ALJLindsey
Civil Engineers
1885 N. Exchange Pkwy, Suite 200
Albuquerque, NM 87111
281.301.9565

Brett Hand
BRETT I. HANRAHAN
NEW MEXICO
25690
LICENSED PROFESSIONAL ENGINEER

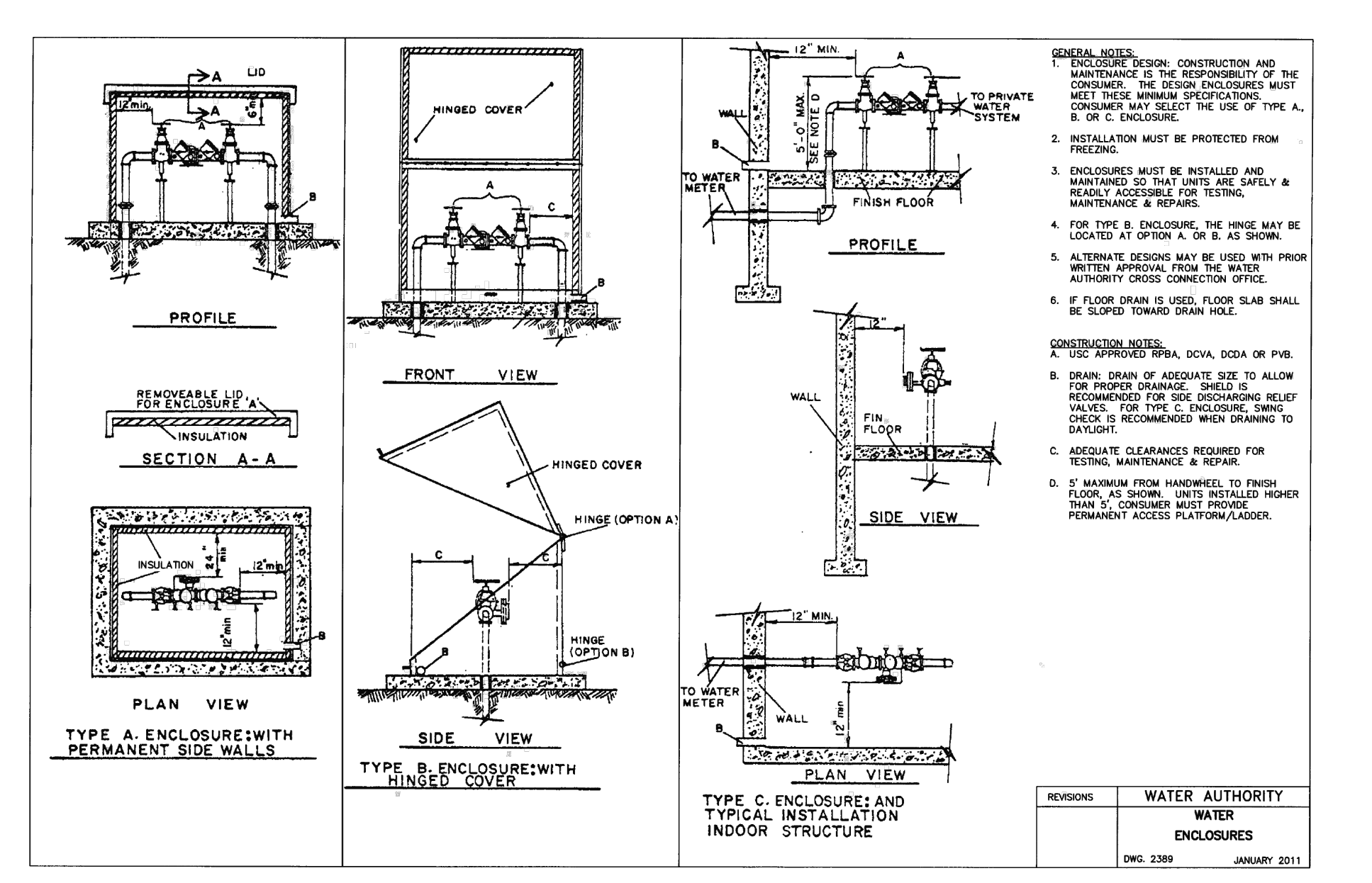
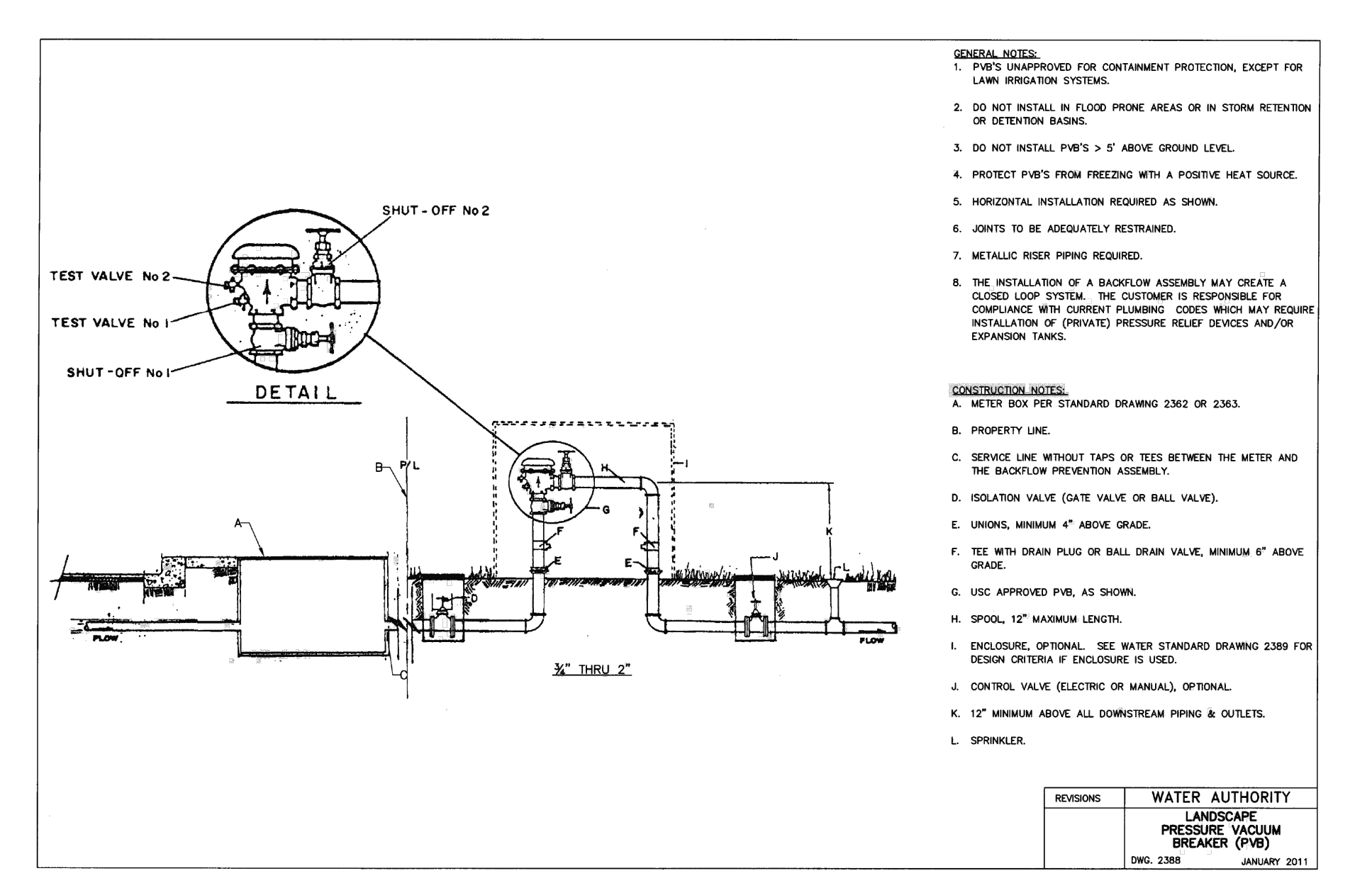
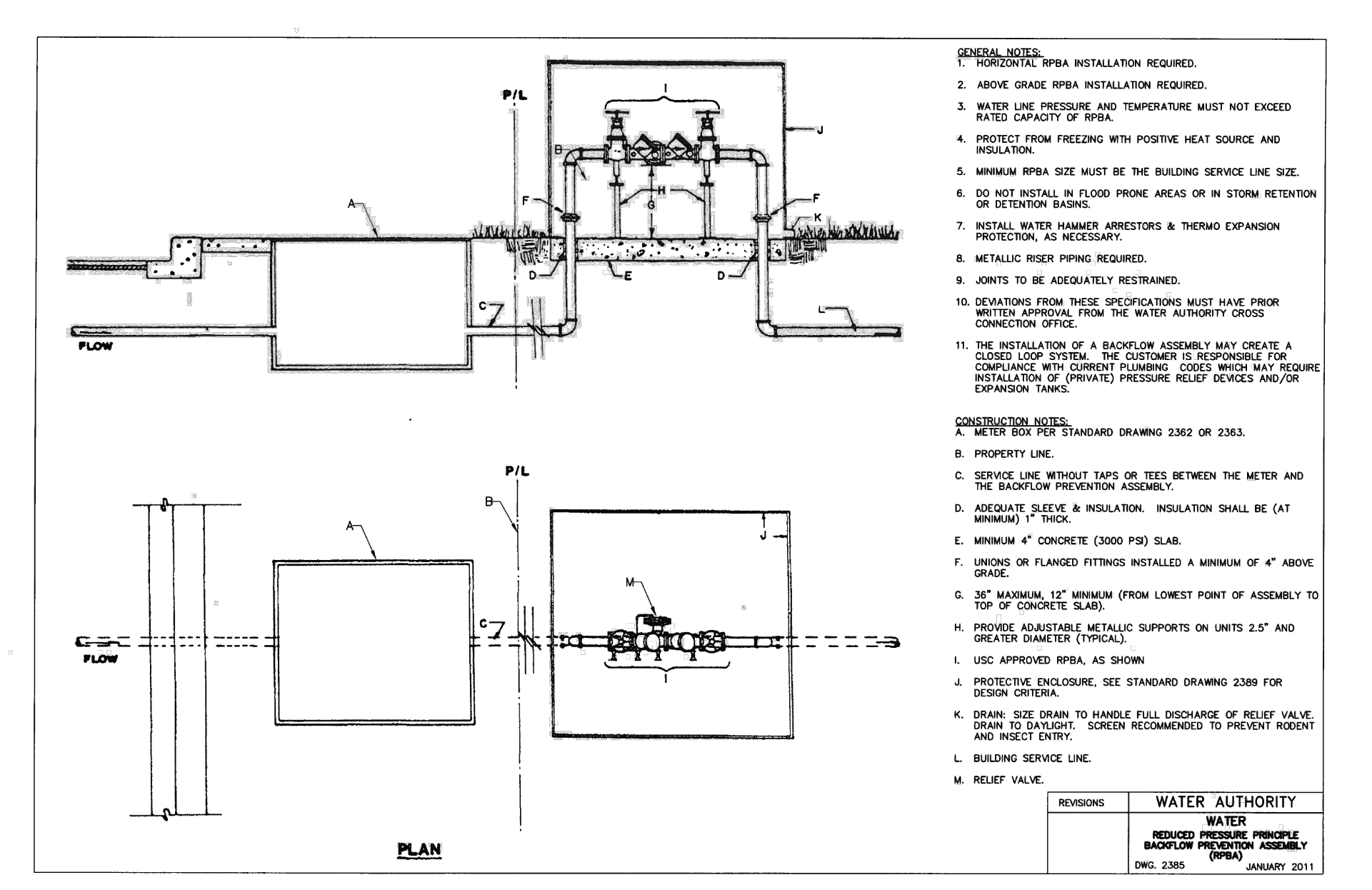
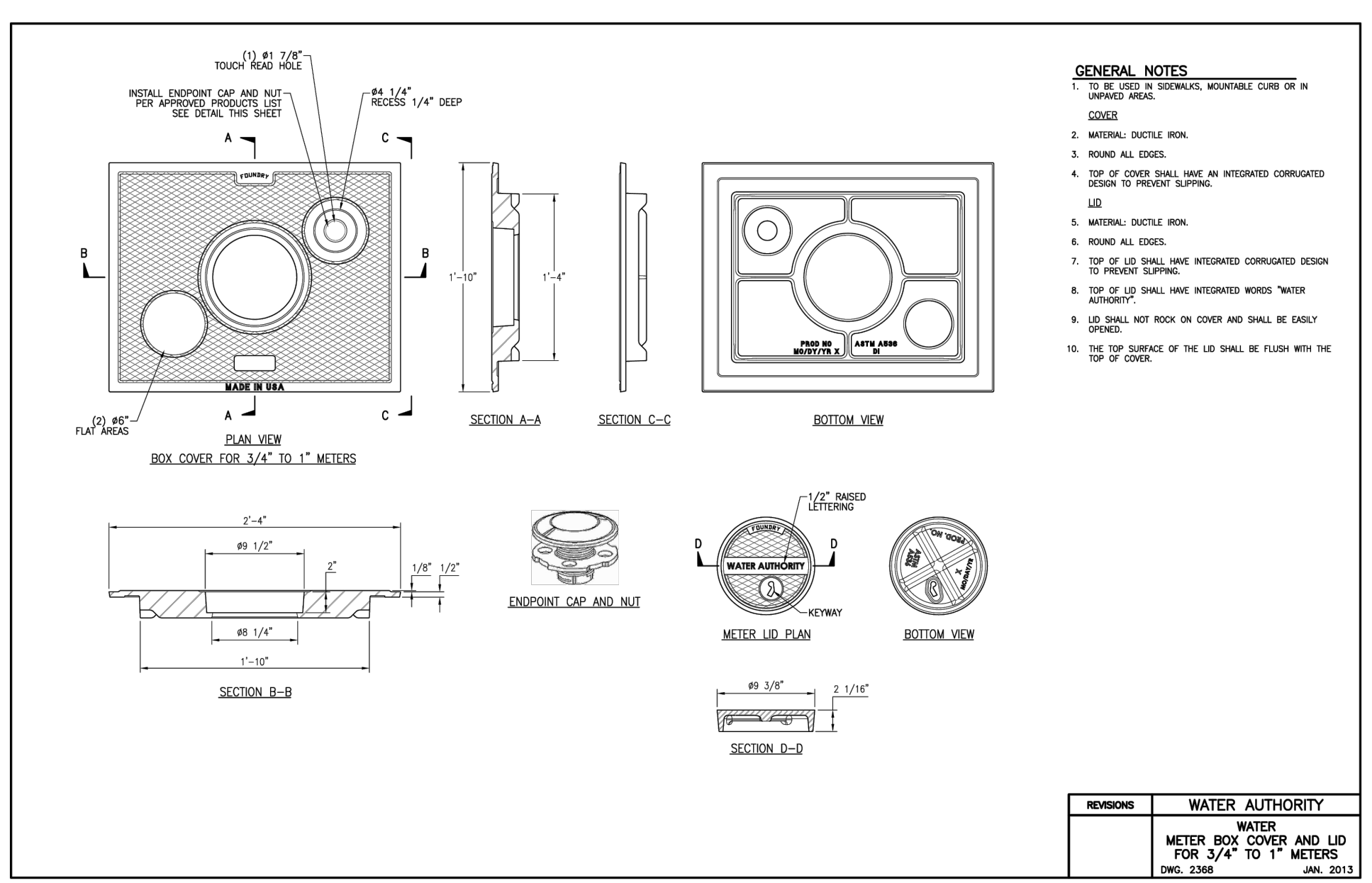
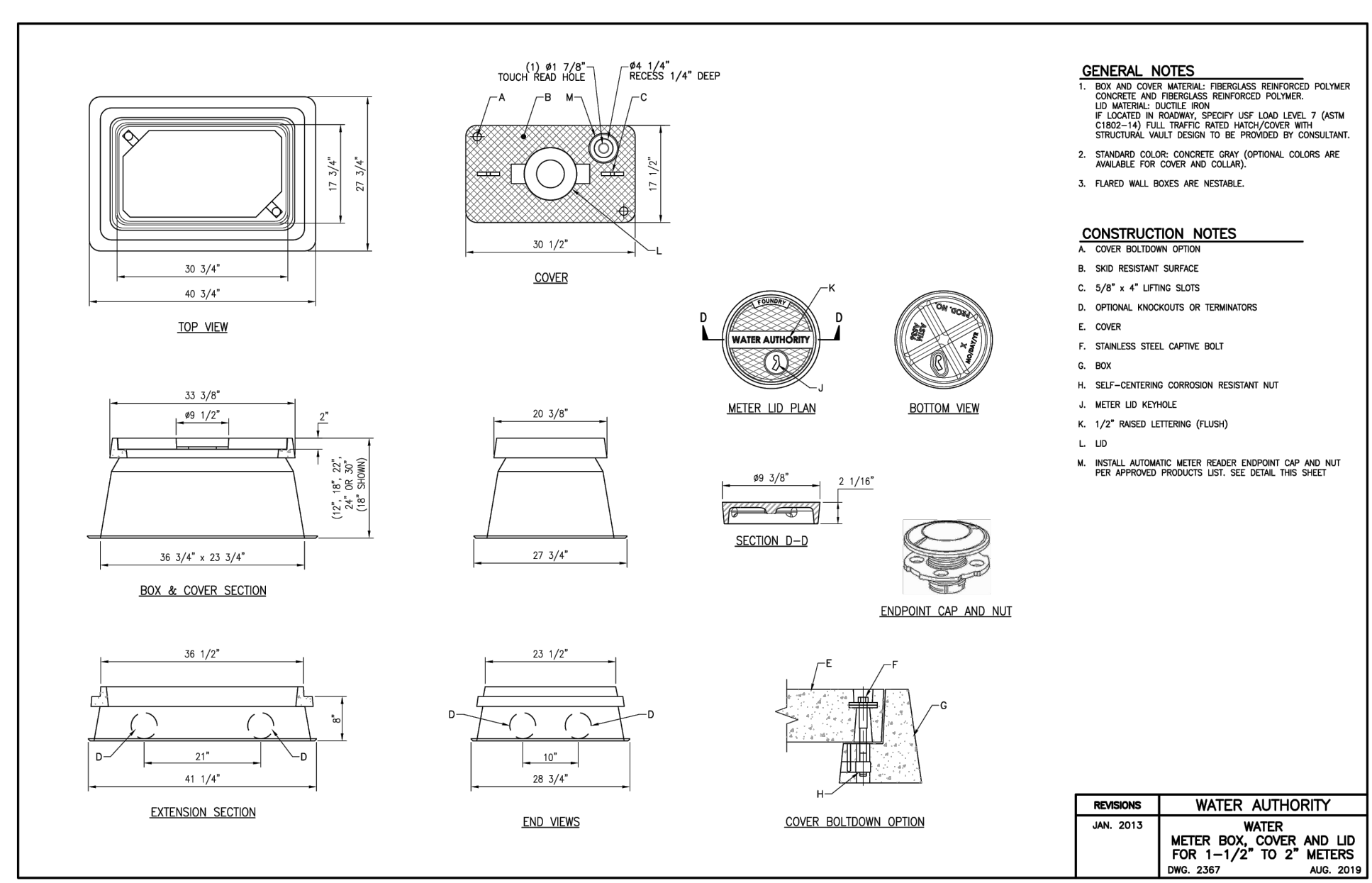
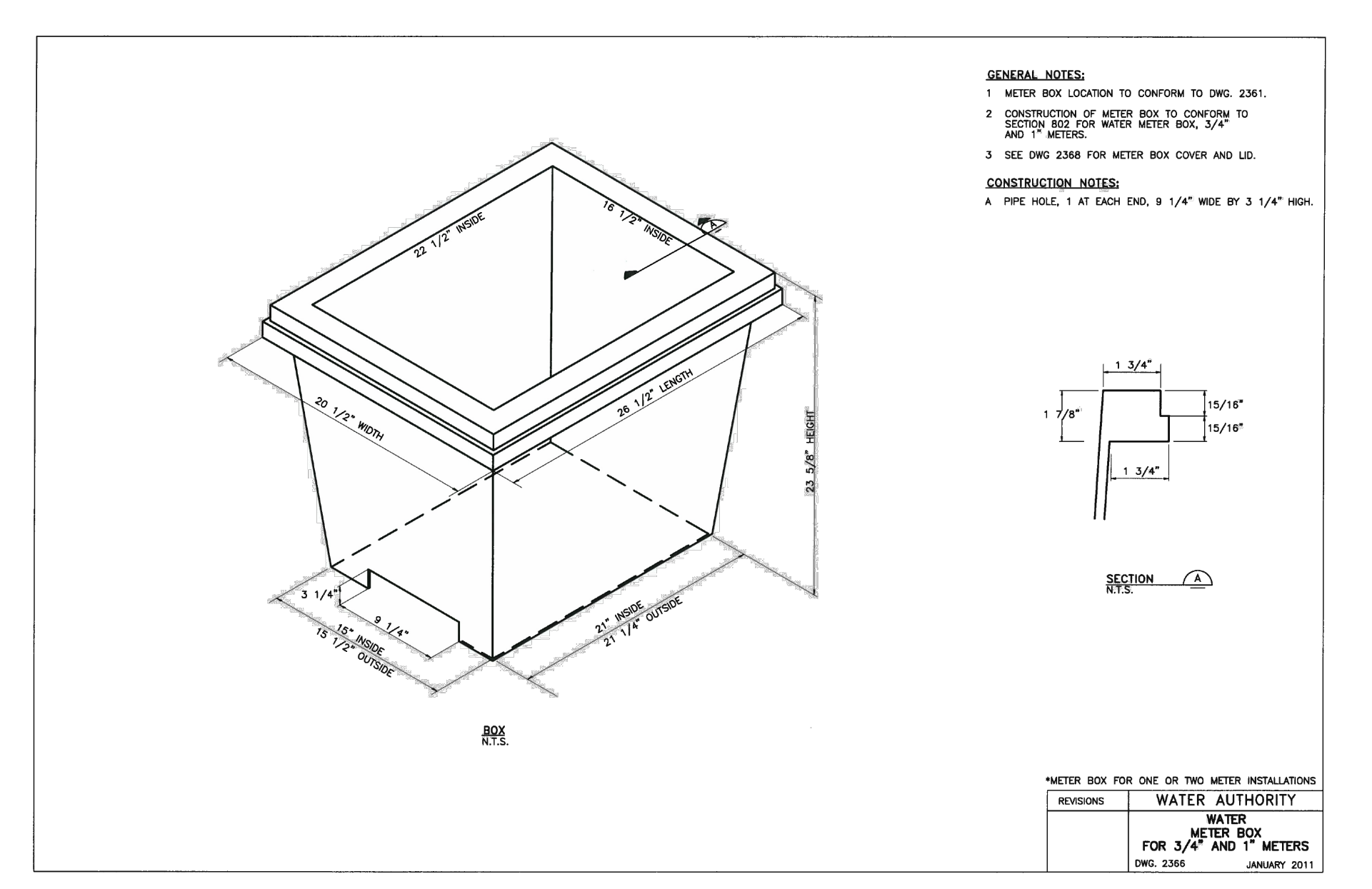
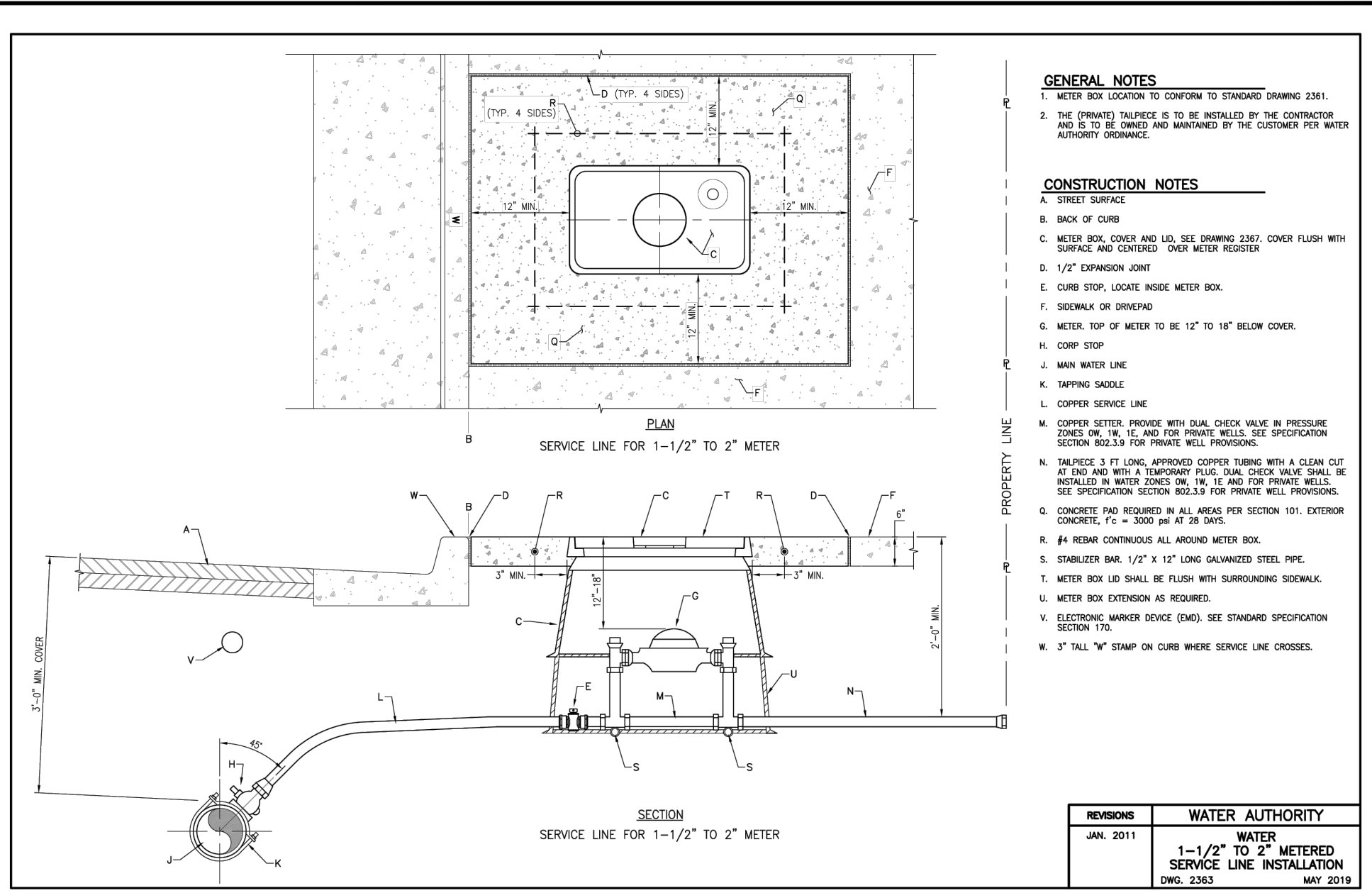
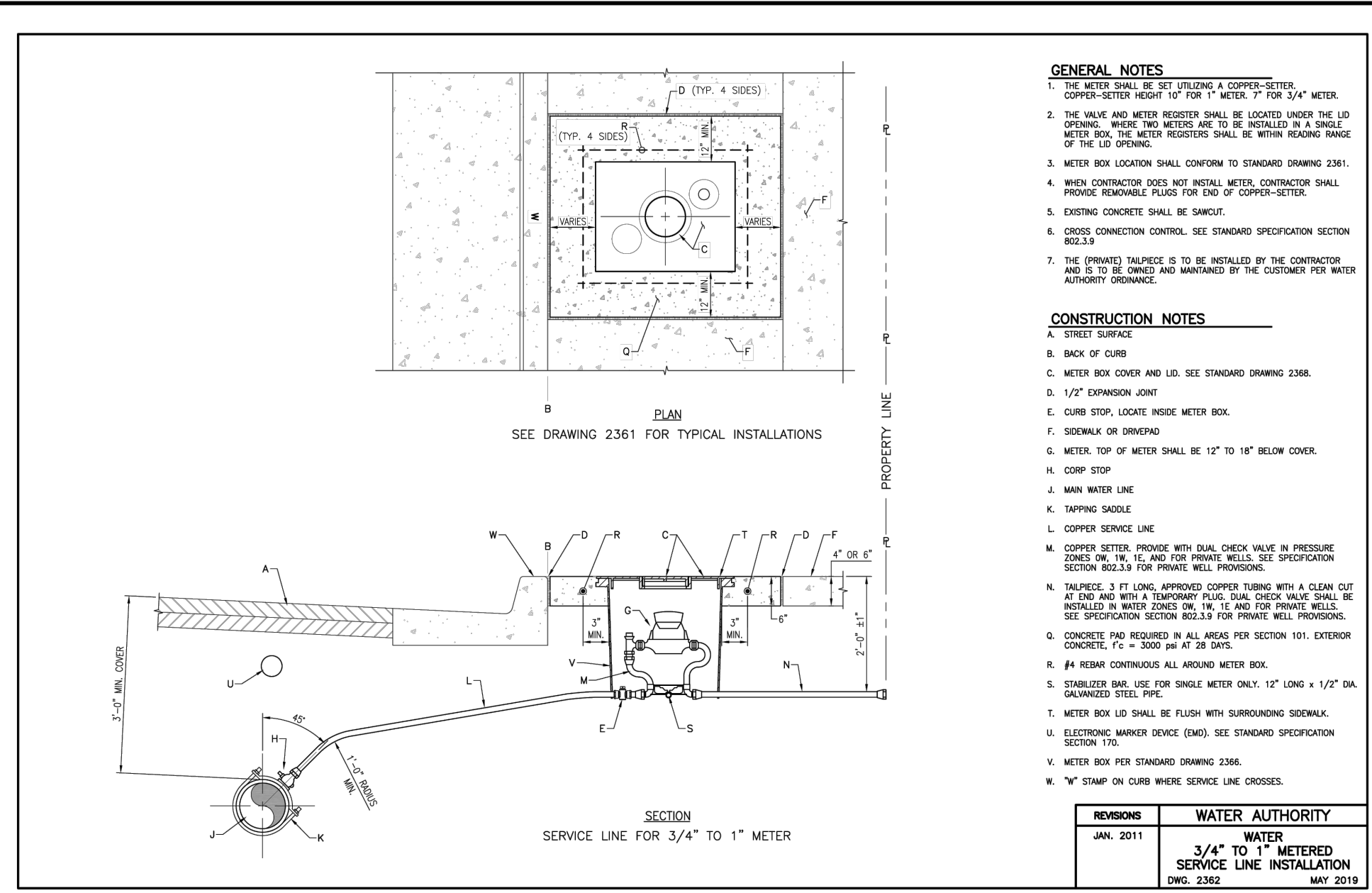
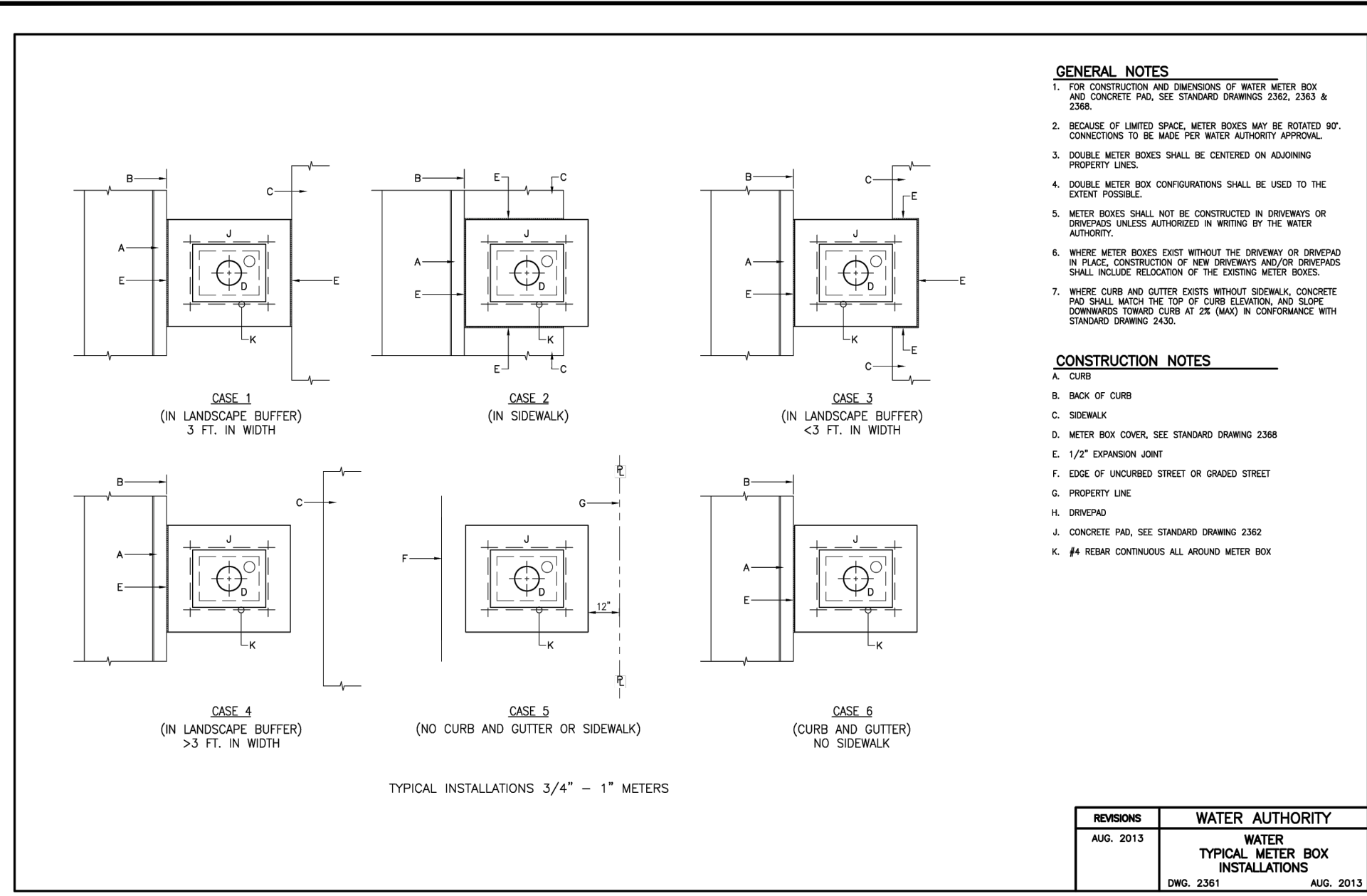
24 FEBRUARY 2026

ALL PROJECT NO.: 666-24-CV-008
DATE: FEB. 2026
SCALE: N/A
DRAWN BY: JAA
CHECKED BY: RAB

CONSTRUCTION DETAILS (3 OF 6)

MISTER CARWASH
3535 MENAUL BLVD.,
ALBUQUERQUE, NEW MEXICO 87107

SHEET
C7.2



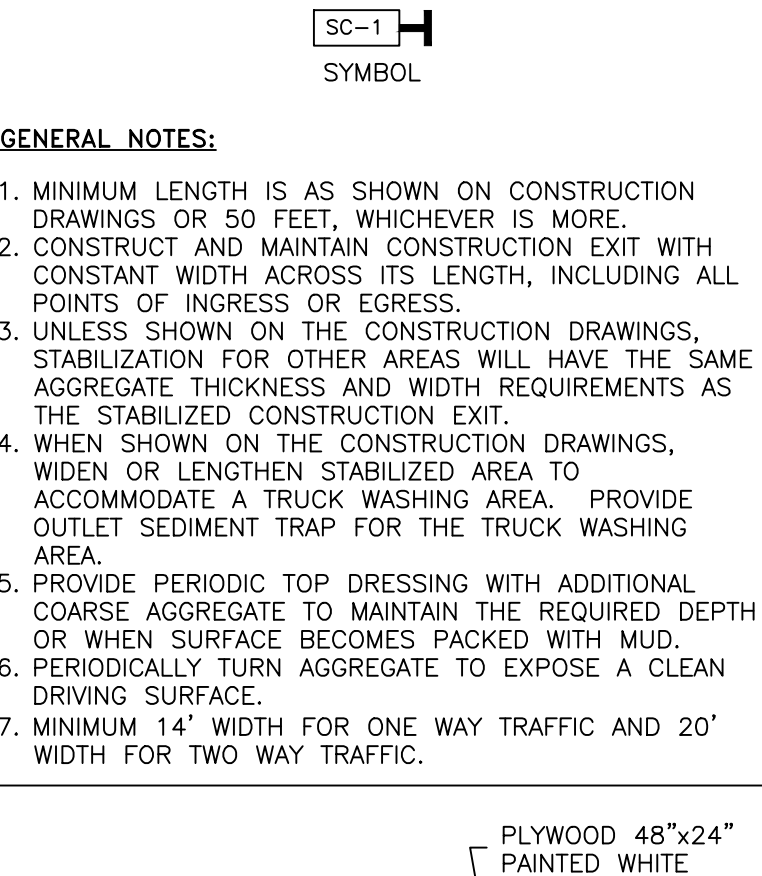
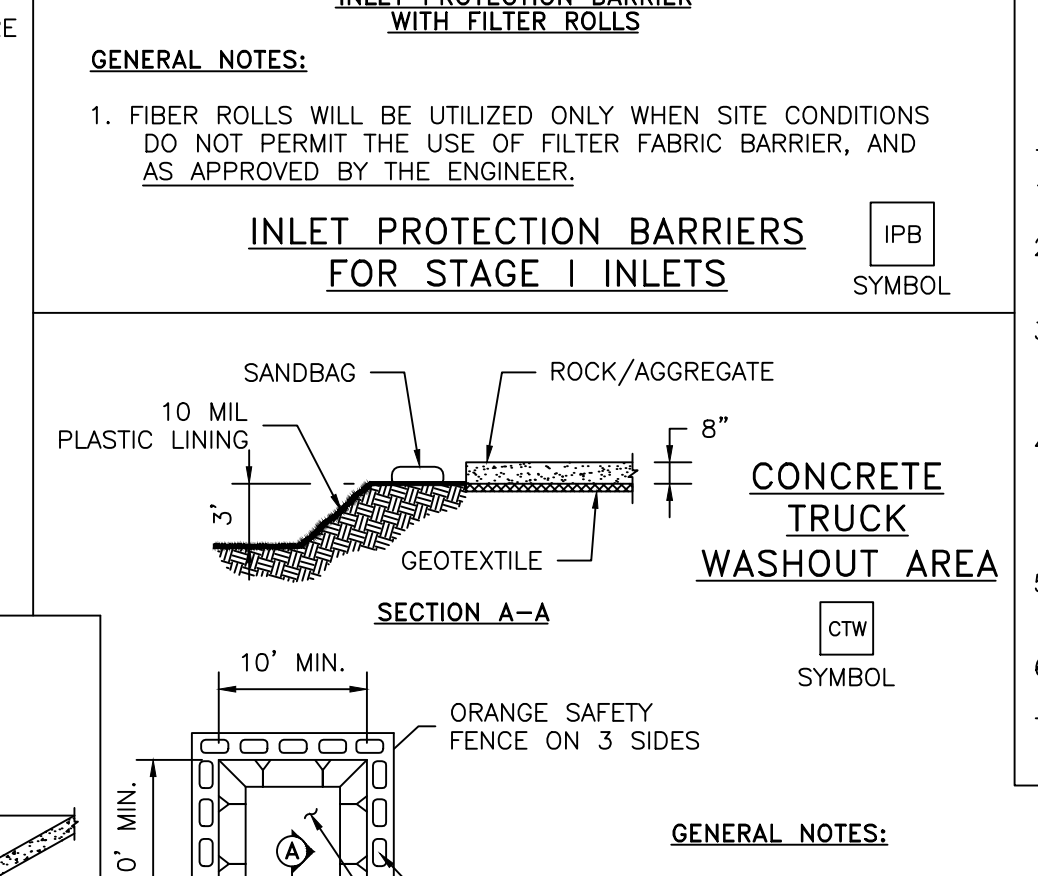
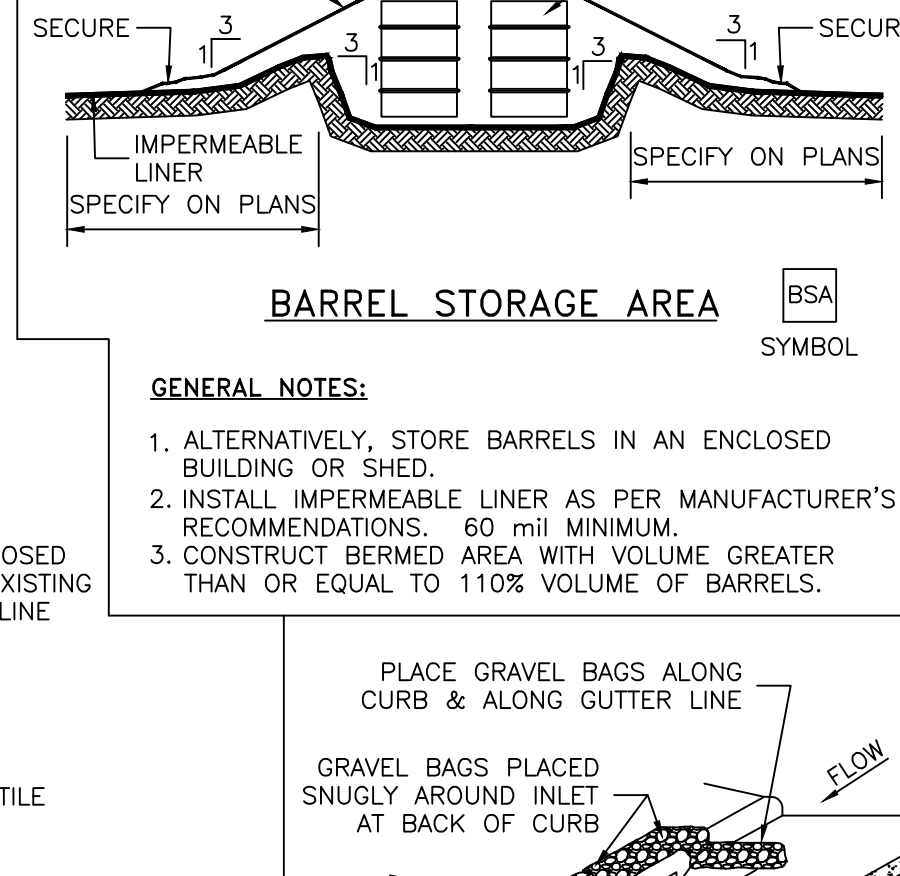
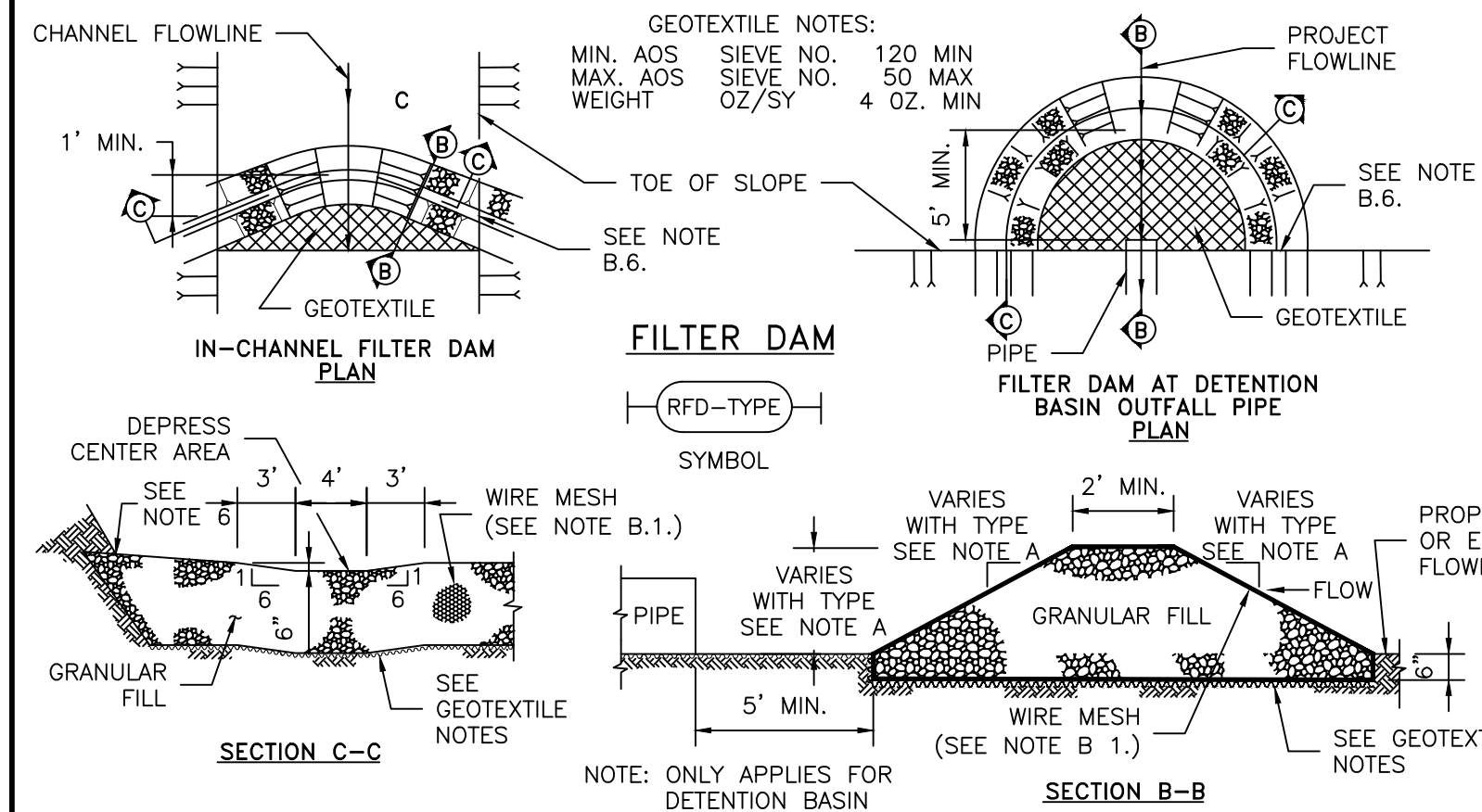
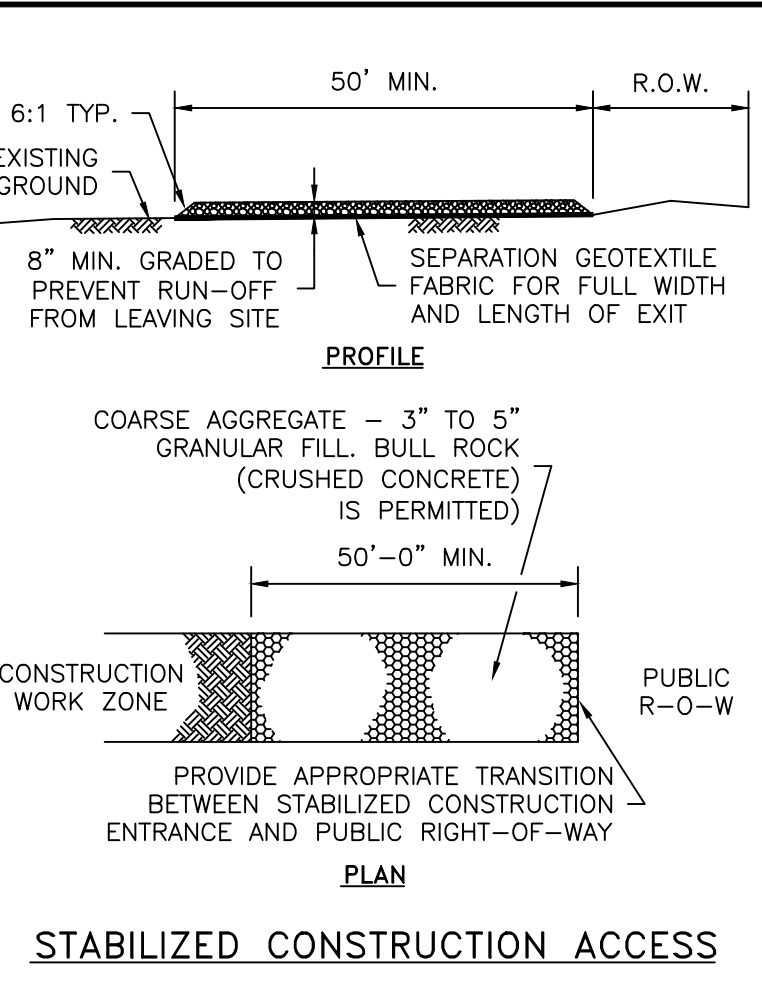
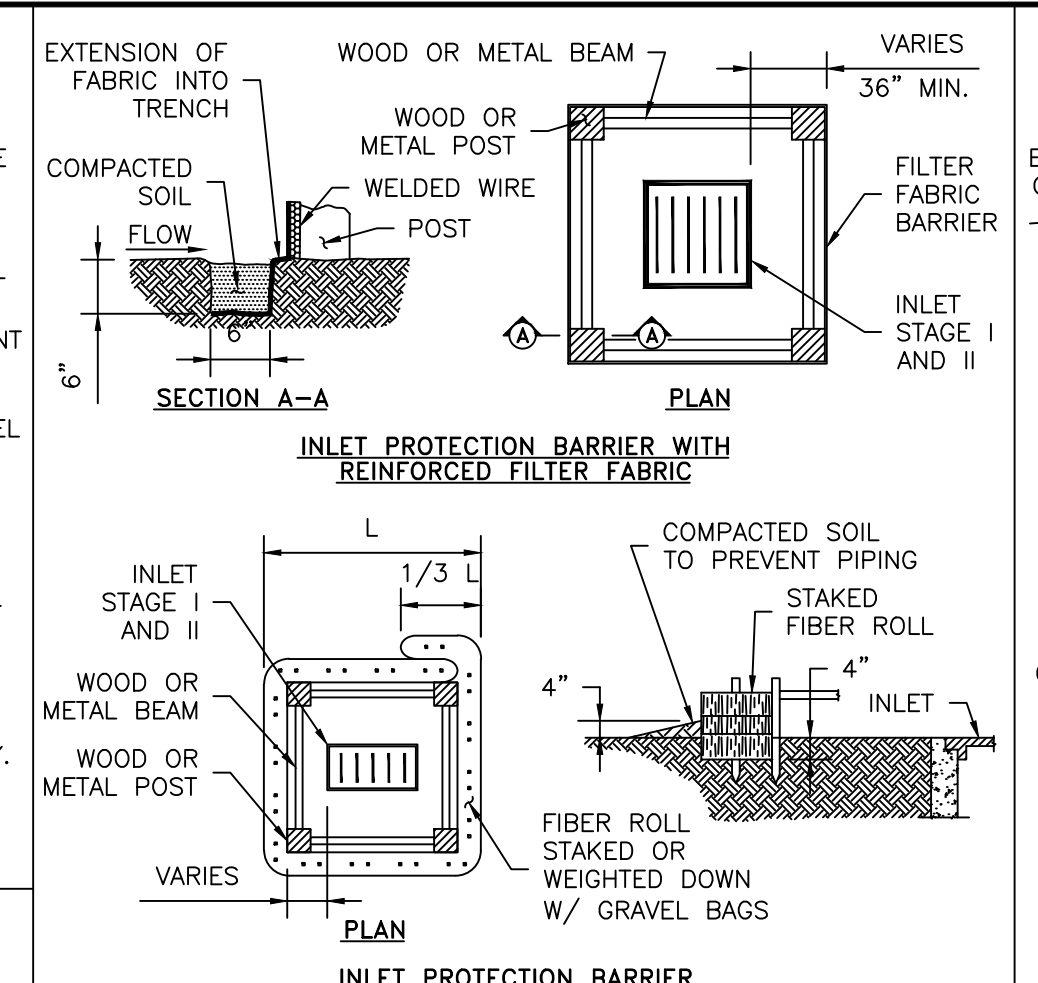
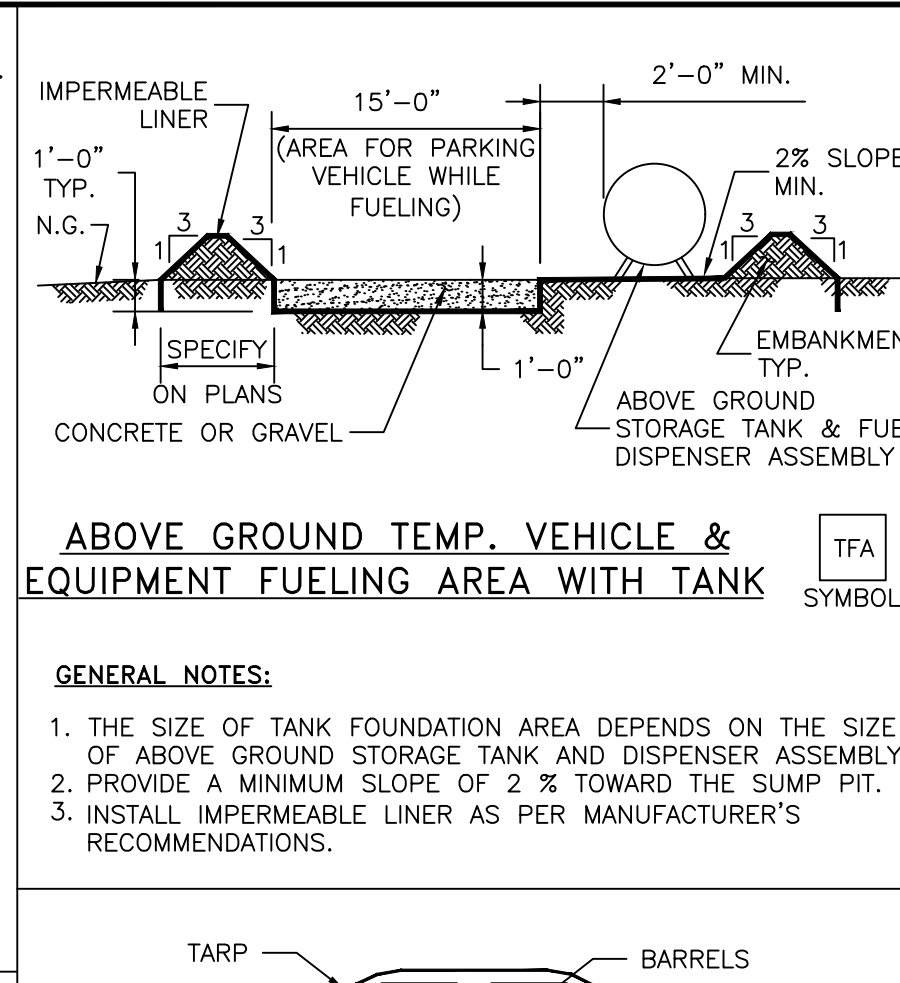
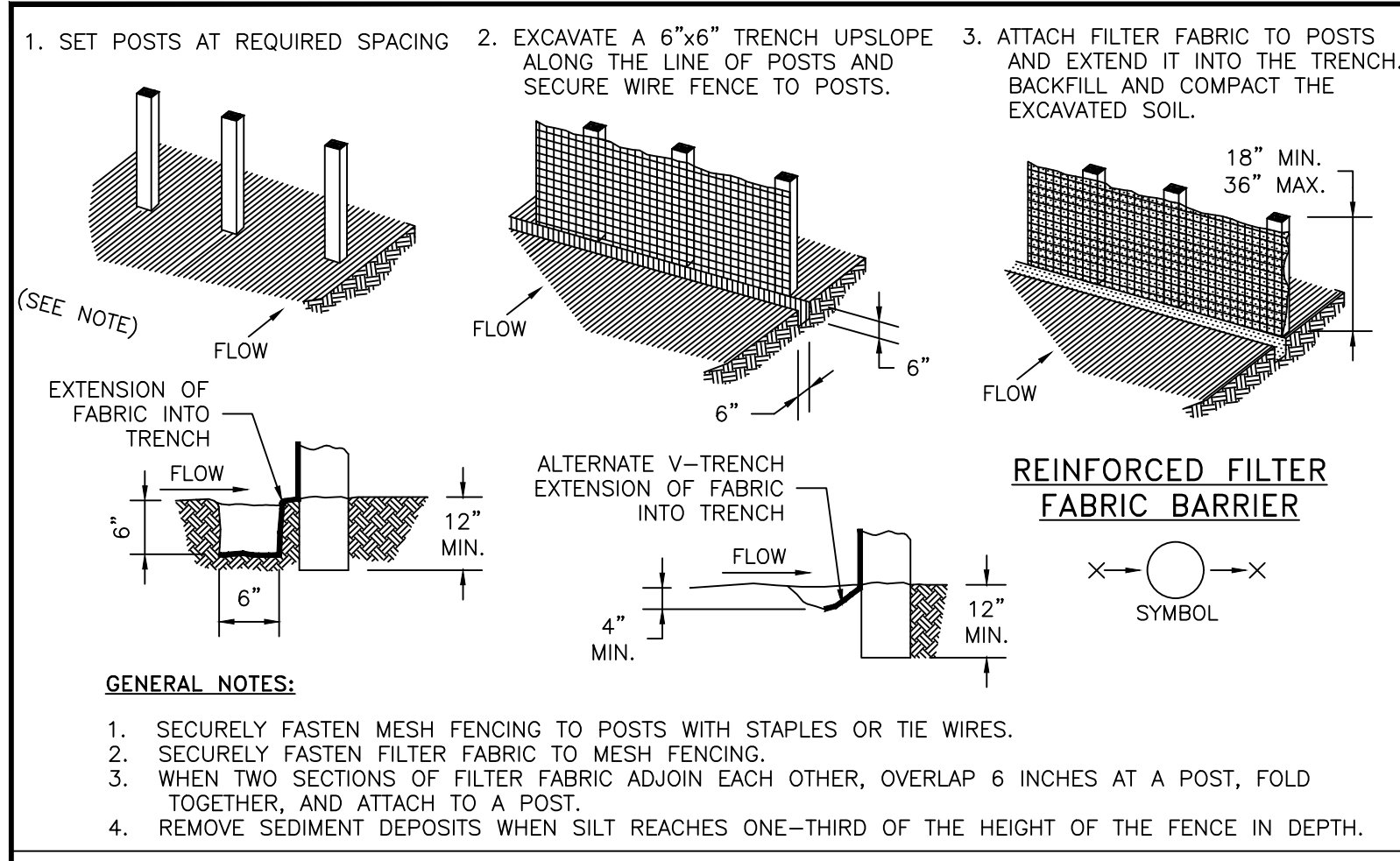
ALJ Lindsey
Civil Engineers
1885 N. Exchange Pkwy, Suite 200
Albuquerque, NM 87112
281.301.9565

Brett T. Hanrahan
BRETT T. HANRAHAN
NEW MEXICO
25690
LICENSED PROFESSIONAL ENGINEER

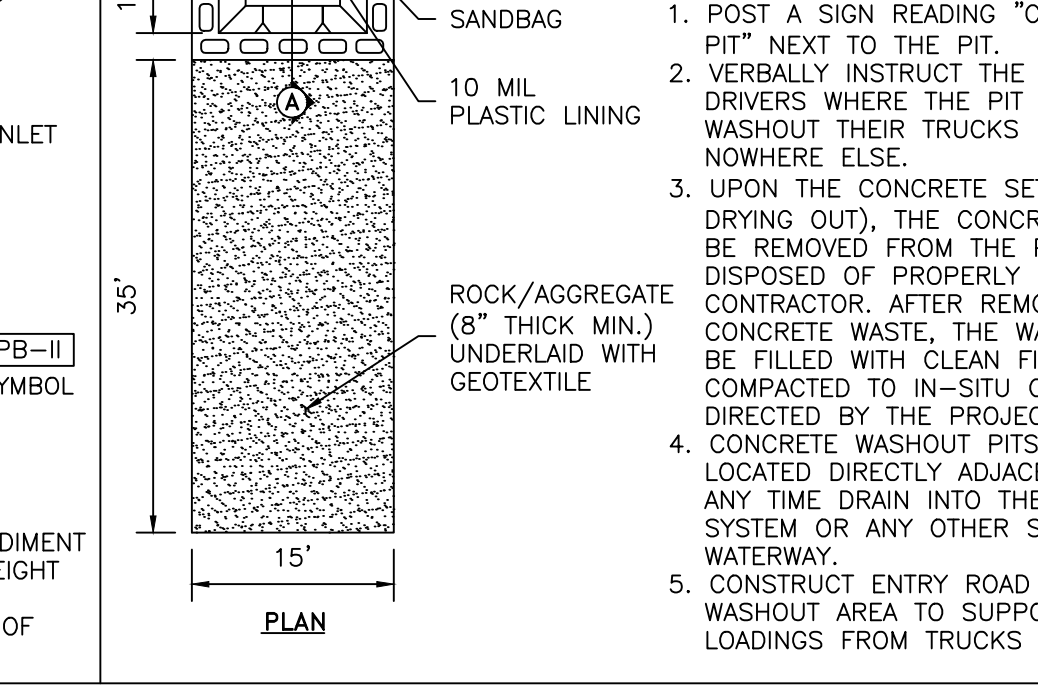
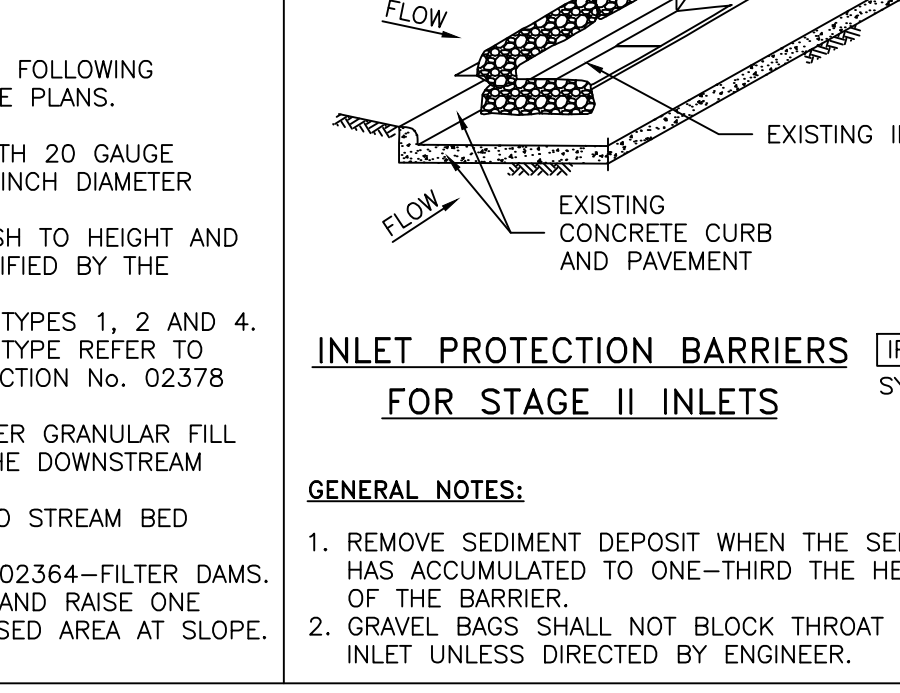
24 FEBRUARY 2026
ALL PROJECT NO.: 686-24-CV-008
DATE: FEB. 2026
SCALE: N/A
DRAWN BY: JAA
CHECKED BY: RAB

CONSTRUCTION
DETAILS (5 OF 6)

MISTER CAR WASH
3535 MENAUL BLVD.,
ALBUQUERQUE, NEW MEXICO 87107



- A. TYPES OF FILTER DAMS**
1. TYPE 1 (NON-REINFORCED)
 - a. HEIGHT - 18-24 INCHES. MEASURE VERTICALLY FROM EXISTING GROUND TO TOP OF FILTER DAM.
 - b. TOP WIDTH - 2 FEET (MINIMUM)
 - c. SLOPES - 2:1 (MAXIMUM).
 2. TYPE 2 (REINFORCED)
 - a. HEIGHT - 18-36 INCHES. MEASURE VERTICALLY FROM EXISTING GROUND TO TOP OF FILTER DAM.
 - b. TOP WIDTH - 2 FEET (MINIMUM).
 - c. SLOPES - 2:1 (MAXIMUM).
 3. TYPE 3 (REINFORCED)
 - a. HEIGHT - 36-48 INCHES. MEASURE VERTICALLY FROM EXISTING GROUND TO TOP OF FILTER DAM.
 - b. TOP WIDTH - 2 FEET (MINIMUM).
 - c. SLOPES - 3:1 (MAXIMUM).
 4. TYPE 4 (GABION)
 - a. HEIGHT - 30 INCHES (MINIMUM). MEASURE VERTICALLY FROM EXISTING GROUND TO TOP OF FILTER DAM.
 - b. TOP WIDTH - 2 FEET (MINIMUM).
 5. TYPE 5. AS SHOWN ON THE PLANS.
- B. CONSTRUCT FILTER DAMS ACCORDING TO THE FOLLOWING CRITERIA UNLESS SHOWN OTHERWISE ON THE PLANS.**
1. TYPE 2 AND 3 FILTER DAMS: SECURE WITH 20 GAUGE GALVANIZED WOVEN WIRE MESH WITH 1 INCH DIAMETER HEXAGONAL OPENINGS.
 2. PLACE GRANULAR FILL ON THE WIRE MESH TO HEIGHT AND SLOPES SHOWN ON PLANS OR AS SPECIFIED BY THE ENGINEER.
 - a. 3-5 INCHES FOR ROCK FILTER DAM TYPES 1, 2 AND 4.
 - b. 4-8 INCHES FOR ROCK FILTER DAM TYPE REFER TO GRANULAR FILL IN SPECIFICATION SECTION NO. 02378 RIPRAP AND GRANULAR FILL.
 3. FOLD WIRE MESH AT UPSTREAM SIDE OVER GRANULAR FILL AND TIGHTLY SECURED TO ITSELF ON THE DOWNSTREAM SIDE USING WIRE TIES OR HDG RINGS.
 4. IN STREAMS: SECURE OR STAKE MESH TO STREAM BED PRIOR TO AGGREGATE PLACEMENT.
 5. SEE HCFCD SPECIFICATION SECTION NO. 02364-FILTER DAMS.
 6. EMBED ONE FOOT MINIMUM INTO SLOPE AND RAISE ONE FOOT HIGHER THAN CENTER OF DEPRESSED AREA AT SLOPE.



- SWPPP NOTES**
- 1) POTENTIAL POLLUTANT SOURCES ASSOCIATED WITH CONSTRUCTION SITE:
 - ADHESIVES, PESTICIDES, DETERGENTS, PAINTS, FUELS, SOLVENTS, SEALANTS, FERTILIZERS, OILS, HERBICIDES, CLEANING SOLUTIONS, CONCRETE/CEMENT/PLASTER
 - 2) STORM WATER QUALITY MEASURE IMPLEMENTATION RELATIVE TO LAND DISTURBING ACTIVITIES:
 - A) PRIOR TO CONSTRUCTION: SILT FENCING SHALL BE INSTALLED IN ALL LOCATIONS SHOWN ON SITE MAP THAT WILL NOT BE DISTURBED DURING THE INITIAL GRADING PROCESS. THE STABILIZED CONSTRUCTION EXIT SHALL BE INSTALLED IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS.
 - B) DURING CONSTRUCTION:
 - a) IMMEDIATELY AFTER PAVING CONSTRUCTION IS COMPLETE, INLET PROTECTION TRAPS WILL BE INSTALLED ON ALL NEWLY CONSTRUCTED INLETS.
 - b) WHEN EXISTING SILT FENCING NEEDS TO BE REMOVED FOR CONSTRUCTION OR ACCESS PURPOSES, IT WILL BE REPLACED AS SOON AS POSSIBLE AFTER CONSTRUCTION IN THE VICINITY OF THE REMOVED FENCE IS COMPLETE.
 - c) AS SOON AS PRACTICABLE AFTER SITE GRADING IS COMPLETE, FINAL STABILIZATION PROCEDURES SUCH AS TURF ESTABLISHMENT AND INSTALLATION OF PLANT MATERIAL WILL BE COMMENCED.
 - C) AFTER CONSTRUCTION: AFTER CONSTRUCTION ACTIVITY AND SITE STABILIZATION PROCEDURES ARE COMPLETE, STRUCTURAL EROSION AND SEDIMENT CONTROLS WILL BE REMOVED. SOIL DISTURBED BY THE REMOVAL OF CONTROLS WILL BE STABILIZED.
 - 3) PERMANENT STORM WATER CONTROLS: AFTER CONSTRUCTION ACTIVITY IS COMPLETE, AREAS NOT COVERED BY CONCRETE PAVEMENT OR BY STRUCTURES WILL BE LANDSCAPED AND IRRIGATED. ONCE ESTABLISHED, THIS VEGETATION WILL HELP PREVENT SEDIMENT RUNOFF IN THE FUTURE STORM EVENTS. NEWLY GRADED AREA WILL BE TEXTURED TO REDUCE FLOW VELOCITY.
 - 4) MATERIAL HANDLING AND SPILL PREVENTION PLAN:
 - A) HAZARDOUS MATERIALS WILL BE STORED AND USED IN CONFORMANCE WITH MANUFACTURER'S RECOMMENDATIONS. DISPOSAL WILL BE PERFORMED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATION, AND IN ACCORDANCE WITH STATE AND LOCAL LAWS AND REGULATIONS.
 - B) THE FOLLOWING PROCEDURES WILL BE FOLLOWED FOR CONTAINMENT AND CLEAN-UP OF SPILLS:
 - a) ALL SPILLS WILL BE CLEANED UP AND PROPERLY REMOVED IN ACCORDANCE WITH STATE REGULATIONS AND LOCAL ORDINANCES.
 - b) SOIL AND SPILLED MATERIALS WILL BE COLLECTED UNTIL NO VISIBLE EVIDENCE OF SPILLED MATERIAL REMAINS.
 - c) THE TYPE OF MATERIAL AND QUANTITY OF RELEASE SHALL BE IDENTIFIED, AND APPROPRIATE PERSONAL PROTECTIVE EQUIPMENT (PPE) SHALL BE WORN AS RECOMMENDED BY THE PRODUCT-SPECIFIC MSDS.
 - d) SPILL CONTAINMENT MAY INCLUDE CONSTRUCTION OF EARTH DIKES AROUND THE SPILL AREA, DEPLOYMENT OF ABSORBENT MATERIALS, OR USE OF COMMERCIALY AVAILABLE KITS.
 - e) CONTAMINATED SOIL AND SPILLED MATERIAL WILL BE STORED IN APPROPRIATE AND PROPERLY LABELED CONTAINERS, AND DISPOSED OF IN ACCORDANCE WITH STATE, LOCAL, AND FEDERAL RULES AND REGULATIONS.
 - 5) GENERAL PERMIT MAINTENANCE REQUIREMENTS (FROM GENERAL PERMIT):
 - A) ALL PROTECTIVE MEASURES IDENTIFIED IN THIS SWPPP MUST BE MAINTAINED IN EFFECTIVE OPERATING CONDITION. IF, THROUGH INSPECTION OR OTHER MEANS, THE PERMITEE DETERMINES THAT BMP'S ARE NOT OPERATING EFFECTIVELY, THEN THE PERMITEE SHALL PERFORM MAINTENANCE AS NECESSARY TO MAINTAIN THE CONTINUED EFFECTIVENESS OF STORM WATER CONTROLS, AND PRIOR TO THE NEXT RAIN EVENT, IF FEASIBLE. IF MAINTENANCE PRIOR TO THE NEXT ANTICIPATED STORM EVENT IS IMPRACTICABLE, THE REASON SHALL BE DOCUMENTED IN THE SWPPP AND MAINTENANCE MUST BE SCHEDULED AND ACCOMPLISHED AS SOON AS PRACTICABLE. EROSION AND SEDIMENT CONTROLS THAT HAVE BEEN INTENTIONALLY DISABLED, RUN-OVER, REMOVED, OR OTHERWISE RENDERED INEFFECTIVE MUST BE REPLACED OR CORRECTED IMMEDIATELY UPON DISCOVERY.
 - B) IF PERIODIC INSPECTIONS OR OTHER INFORMATION INDICATES A CONTROL HAS BEEN USED INCORRECTLY, IS PERFORMING INADEQUATELY, OR IS DAMAGED, THEN THE OPERATOR MUST REPLACE OR MODIFY THE CONTROL AS SOON AS PRACTICABLE AFTER MAKING THE DISCOVERY.
 - C) SEDIMENT MUST BE REMOVED FROM SEDIMENT TRAPS AND SEDIMENTATION PONDS NO LATER THAN THE TIME THAT DESIGN CAPACITY HAS BEEN REDUCED BY 50% FOR PERIMETER CONTROLS SUCH AS SILT FENCES, BERMS, ETC. THE TRAPPED SEDIMENT MUST BE REMOVED BEFORE IT REACHES 50% OF THE ABOVE GROUND HEIGHT.
 - D) IF SEDIMENT ESCAPES THE SITE, ACCUMULATIONS MUST BE REMOVED AT A FREQUENCY THAT MINIMIZES OFF-SITE IMPACTS, AND PRIOR TO THE NEXT RAIN EVENT, IF FEASIBLE. IF THE PERMITEE DOES NOT OWN THE OFFSITE CONVEYANCE, THEN THE PERMITEE MUST WORK WITH THE OWNER OR OPERATOR OF THE PROPERTY TO REMOVE THE SEDIMENT.
 - E) EROSION AND SEDIMENT CONTROLS:
 - A) THE FOLLOWING NON-STRUCTURAL EROSION AND SEDIMENT CONTROLS WILL BE UTILIZED ON THE PROJECT SITE:
 - a) WHERE PRACTICAL, CARE WILL BE TAKEN TO PROTECT NATURAL VEGETATION THAT DOES NOT NEED TO BE REMOVED FOR CONSTRUCTION PURPOSES.
 - b) PLACEMENT OF CONCRETE PARKING AND DRIVEWAY AREAS WILL BE PERFORMED AS SOON AS POSSIBLE AFTER SUB-GRADE STABILIZATION, TO MINIMIZE THE AMOUNT OF TIME DISPOSED SOIL IS EXPOSED TO THE ELEMENTS. THIS PRACTICE WILL REDUCE THE FREQUENCY THAT MAINTENANCE IS REQUIRED ON THE STRUCTURAL BMP'S.
 - c) THE GENERAL PERMIT REQUIRES THAT EROSION AND STABILIZATION MEASURES MUST BE INITIATED WITHIN 14 DAYS IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS CEASED. IF CONSTRUCTION ACTIVITY IS SCHEDULED TO RESUME WITHIN 21 DAYS FROM THE CESSATION OF CONSTRUCTION ACTIVITY, EROSION AND STABILIZATION MEASURES ARE NOT REQUIRED FOR THAT PORTION OF THE SITE.
 - d) STABILIZATION PROCEDURES SUCH AS TURF ESTABLISHMENT AND INSTALLATION OF PLANT MATERIAL SHOULD BE COMMENCED AS SOON AS PRACTICABLE AFTER SITE GRADING IS COMPLETE AND FINAL.
 - B) THE FOLLOWING STRUCTURAL EROSION AND SEDIMENT CONTROLS WILL BE UTILIZED ON THE PROJECT SITE:
 - a) A STABILIZED CONSTRUCTION EXIT WILL BE INSTALLED AT THE LOCATION WHERE CONSTRUCTION TRAFFIC EXITS THE PROJECT SITE
 - b) INLET PROTECTION TRAPS WILL BE INSTALLED AT ALL INLETS IMMEDIATELY AFTER CONCRETE PAVEMENT IS PLACED
 - c) SILT FENCING (FILTER FABRIC FENCE OR REINFORCED FILTER FABRIC FENCE) WILL BE INSTALLED ALONG THE PROPERTY BOUNDARY AND ADJACENT TO EXISTING DITCHES, BAYOUS, STREAMS, RIVERS, AND/OR CHANNELS.
 - d) ANY SEDIMENT THAT ENTERS THE STORM SEWER SYSTEM WILL BE REMOVED IMMEDIATELY (NOT FLUSHED).
 - e) SINCE ALL PROPOSED INLETS DRAIN LESS THAN 10-ACRES, SEDIMENT BASINS ARE NOT REQUIRED FOR THIS SITE.
 - f) WHERE PRACTICAL, CARE WILL BE TAKEN TO PROTECT NATURAL VEGETATION THAT DOES NOT NEED TO BE REMOVED FOR CONSTRUCTION PURPOSES.

DATE	
REVISIONS	
NO.	
Civil Engineers 1885 N. Exchange Pkwy, Suite 200 281-301-9565	
24 FEBRUARY 2026	
ALL PROJECT NO.	666-24-0008
DATE	FEB. 2026
SCALE	N/A
DRAWN BY	JAA
CHECKED BY	RAB
CONSTRUCTION DETAILS (6 OF 6)	
MISTER CARWASH 3535 MENAUL BLVD., ALBUQUERQUE, NEW MEXICO 87107	
SHEET C7.5	