

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

October 3, 2025

Jonathan Turner
Consensus Planning Inc
302 8th St NW
Albuquerque, NM 87102

turner@consensusplanning.com

Re: Panda Express Restaurant
3535 MENAUL NE
Albuquerque, NM 87107
Traffic Circulation Layout
Engineer's Stamp 9/11/25 (H16D083F5) TRANS-2025-00278

Dear Turner,

PO Box 1293

The TCL submittal received 9-26-25 is approved for Building Permit by Transportation. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

Albuquerque

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, and the TCL to the [ABQ-PLAN](#) for log in and evaluation by Transportation.

NM 87103

www.cabq.gov

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Sertil A. Kanbar

Sertil Kanbar, PhD, PE, CFM
Sr. Engineer, Planning Dept.
Development Review Services

SITE DATA TABLE

JURISDICTION:
ALBUQUERQUE
ZONING:
C-2 MX-M

REQUIRED BUILDING SETBACKS:
FRONT (S) = 5'
REAR (N) = 15'
SIDE (E) = 0'
SIDE (W) = 0'

BUILDING:
HEIGHT: XX
SPRINKLERS: NONE

CONSTRUCTION TYPE:
VB

SITE ACREAGE:
PANDA EXPRESS SITE = 49,099 SF / 0.981 ACRES

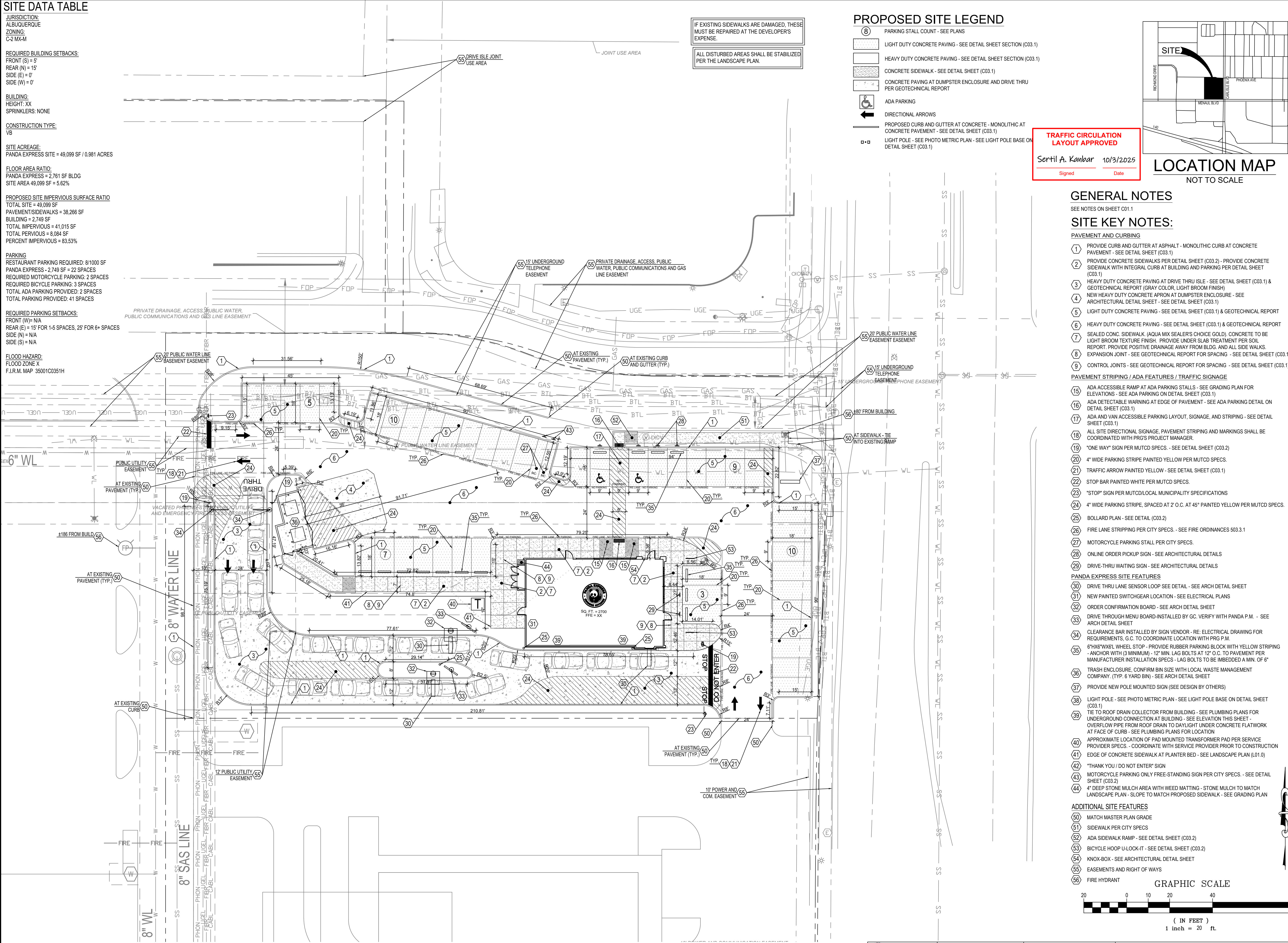
FLOOR AREA RATIO:
PANDA EXPRESS = 2,781 SF BLDG
SITE AREA 49,099 SF = 5.62%

PROPOSED SITE IMPERVIOUS SURFACE RATIO
TOTAL SITE = 49,099 SF
PAVEMENT/SIDEWALKS = 38,266 SF
BUILDING = 2,749 SF
TOTAL IMPERVIOUS = 41,015 SF
TOTAL PERVIOUS = 8,084 SF
PERCENT IMPERVIOUS = 83.53%

PARKING
RESTAURANT PARKING REQUIRED: 8/1000 SF
PANDA EXPRESS - 2,749 SF = 22 SPACES
REQUIRED MOTORCYCLE PARKING: 2 SPACES
REQUIRED BICYCLE PARKING: 3 SPACES
TOTAL ADA PARKING PROVIDED: 2 SPACES
TOTAL PARKING PROVIDED: 41 SPACES

REQUIRED PARKING SETBACKS:
FRONT (W) = N/A
REAR (E) = 15' FOR 1-5 SPACES, 25' FOR 6+ SPACES
SIDE (N) = N/A
SIDE (S) = N/A

FLOOD HAZARD:
FLOOD ZONE X
F.I.R.M. MAP 35001C0351H

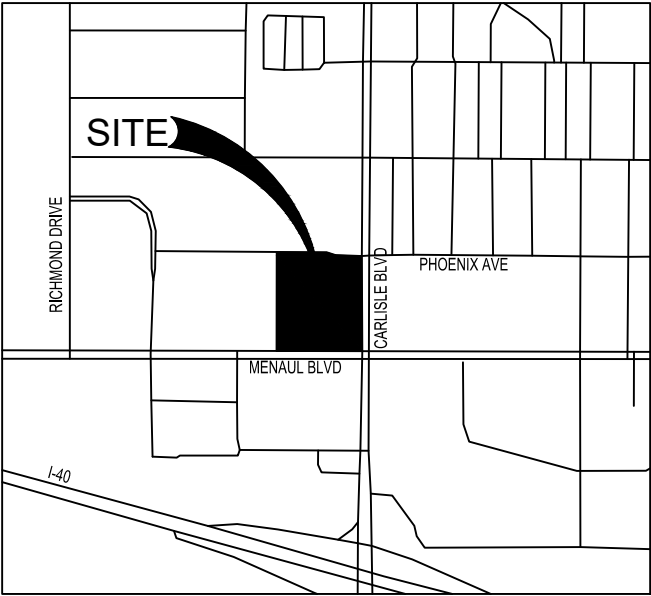


PROPOSED SITE LEGEND

- (8) PARKING STALL COUNT - SEE PLANS
- [Pattern] LIGHT DUTY CONCRETE PAVING - SEE DETAIL SHEET SECTION (C03.1)
- [Pattern] HEAVY DUTY CONCRETE PAVING - SEE DETAIL SHEET SECTION (C03.1)
- [Pattern] CONCRETE SIDEWALK - SEE DETAIL SHEET (C03.1)
- [Pattern] CONCRETE PAVING AT DUMPSTER ENCLOSURE AND DRIVE THRU PER GEOTECHNICAL REPORT
- [Symbol] ADA PARKING
- [Symbol] DIRECTIONAL ARROWS
- [Symbol] PROPOSED CURB AND GUTTER AT CONCRETE - MONOLITHIC AT CONCRETE PAVEMENT - SEE DETAIL SHEET (C03.1)
- [Symbol] LIGHT POLE - SEE PHOTO METRIC PLAN - SEE LIGHT POLE BASE ON DETAIL SHEET (C03.1)

TRAFFIC CIRCULATION
LAYOUT APPROVED

Sertil A. Kanbar 10/3/2025
Signed Date



LOCATION MAP
NOT TO SCALE

GENERAL NOTES

SEE NOTES ON SHEET C01.1

SITE KEY NOTES:

- PAVEMENT AND CURBING
- (1) PROVIDE CURB AND GUTTER AT ASPHALT - MONOLITHIC CURB AT CONCRETE PAVEMENT - SEE DETAIL SHEET (C03.1)
 - (2) PROVIDE CONCRETE SIDEWALKS PER DETAIL SHEET (C03.2) - PROVIDE CONCRETE SIDEWALK WITH INTEGRAL CURB AT BUILDING AND PARKING PER DETAIL SHEET (C03.1)
 - (3) HEAVY DUTY CONCRETE PAVING AT DRIVE THRU ISLE - SEE DETAIL SHEET (C03.1) & GEOTECHNICAL REPORT (GRAY COLOR, LIGHT BROOM FINISH)
 - (4) NEW HEAVY DUTY CONCRETE APRON AT DUMPSTER ENCLOSURE - SEE ARCHITECTURAL DETAIL SHEET - SEE DETAIL SHEET (C03.1)
 - (5) LIGHT DUTY CONCRETE PAVING - SEE DETAIL SHEET (C03.1) & GEOTECHNICAL REPORT
 - (6) HEAVY DUTY CONCRETE PAVING - SEE DETAIL SHEET (C03.1) & GEOTECHNICAL REPORT
 - (7) SEALED CONC. SIDEWALK (AQUA MIX SEALER'S CHOICE GOLD), CONCRETE TO BE LIGHT BROOM TEXTURE FINISH - PROVIDE UNDER SLAB TREATMENT PER SOIL REPORT - PROVIDE POSITIVE DRAINAGE AWAY FROM BLDG. AND ALL SIDE WALKS.
 - (8) EXPANSION JOINT - SEE GEOTECHNICAL REPORT FOR SPACING - SEE DETAIL SHEET (C03.1)
 - (9) CONTROL JOINTS - SEE GEOTECHNICAL REPORT FOR SPACING - SEE DETAIL SHEET (C03.1)

PAVEMENT STRIPING / ADA FEATURES / TRAFFIC SIGNAGE

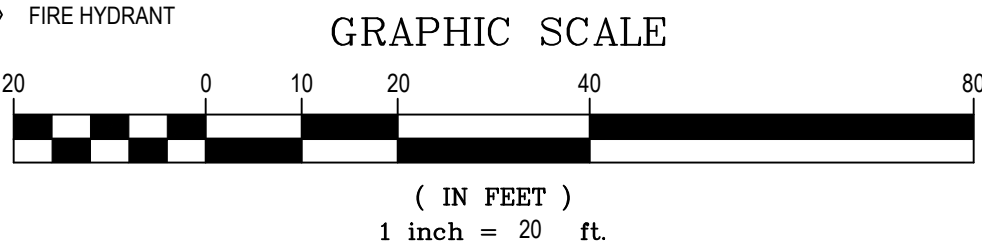
- (15) ADA ACCESSIBLE RAMP AT ADA PARKING STALLS - SEE GRADING PLAN FOR ELEVATIONS - SEE ADA PARKING ON DETAIL SHEET (C03.1)
- (16) ADA DETECTABLE WARNING AT EDGE OF PAVEMENT - SEE ADA PARKING DETAIL ON DETAIL SHEET (C03.1)
- (17) ADA AND VAN ACCESSIBLE PARKING LAYOUT, SIGNAGE, AND STRIPING - SEE DETAIL SHEET (C03.1)
- (18) ALL SITE DIRECTIONAL SIGNAGE, PAVEMENT STRIPING AND MARKINGS SHALL BE COORDINATED WITH PRG'S PROJECT MANAGER.
- (19) "ONE WAY" SIGN PER MUTCD SPECS. - SEE DETAIL SHEET (C03.2)
- (20) 4" WIDE PARKING STRIPE PAINTED YELLOW PER MUTCD SPECS.
- (21) TRAFFIC ARROW PAINTED YELLOW - SEE DETAIL SHEET (C03.1)
- (22) STOP BAR PAINTED WHITE PER MUTCD SPECS.
- (23) "STOP" SIGN PER MUTCD/LOCAL MUNICIPALITY SPECIFICATIONS
- (24) 4" WIDE PARKING STRIPE, SPACED AT 2' O.C. AT 45° PAINTED YELLOW PER MUTCD SPECS.
- (25) BOLLARD PLAN - SEE DETAIL (C03.2)
- (26) FIRE LANE STRIPING PER CITY SPECS. - SEE FIRE ORDINANCES 503.3.1
- (27) MOTORCYCLE PARKING STALL PER CITY SPECS.
- (28) ONLINE ORDER PICKUP SIGN - SEE ARCHITECTURAL DETAILS
- (29) DRIVE-THRU WAITING SIGN - SEE ARCHITECTURAL DETAILS

PANDA EXPRESS SITE FEATURES

- (30) DRIVE THRU LANE SENSOR LOOP SEE DETAIL - SEE ARCH DETAIL SHEET
- (31) NEW PAINTED SWITCHGEAR LOCATION - SEE ELECTRICAL PLANS
- (32) ORDER CONFIRMATION BOARD - SEE ARCH DETAIL SHEET
- (33) DRIVE THROUGH MENU BOARD-INSTALLED BY GC. VERIFY WITH PANDA P.M. - SEE ARCH DETAIL SHEET
- (34) CLEARANCE BAR INSTALLED BY SIGN VENDOR - RE- ELECTRICAL DRAWING FOR REQUIREMENTS. G.C. TO COORDINATE LOCATION WITH PRG P.M
- (35) 6"X6"XWXL WHEEL STOP - PROVIDE RUBBER PARKING BLOCK WITH YELLOW STRIPING - ANCHOR WITH (3 MINIMUM) - 12" MIN. LAG BOLTS AT 12" O.C. TO PAVEMENT PER MANUFACTURER INSTALLATION SPECS - LAG BOLTS TO BE IMBEDDED A MIN. OF 6"
- (36) TRASH ENCLOSURE, CONFIRM BIN SIZE WITH LOCAL WASTE MANAGEMENT COMPANY. (TYP. 6 YARD BIN) - SEE ARCH DETAIL SHEET
- (37) PROVIDE NEW POLE MOUNTED SIGN (SEE DESIGN BY OTHERS)
- (38) LIGHT POLE - SEE PHOTO METRIC PLAN - SEE LIGHT POLE BASE ON DETAIL SHEET (C03.1)
- (39) TIE TO ROOF DRAIN COLLECTOR FROM BUILDING - SEE PLUMBING PLANS FOR UNDERGROUND CONNECTION AT BUILDING - SEE ELEVATION THIS SHEET - OVERFLOW PIPE FROM ROOF DRAIN TO DAYLIGHT UNDER CONCRETE FLATWORK AT FACE OF CURB - SEE PLUMBING PLANS FOR LOCATION
- (40) APPROXIMATE LOCATION OF PAD MOUNTED TRANSFORMER PAD PER SERVICE PROVIDER SPECS. - COORDINATE WITH SERVICE PROVIDER PRIOR TO CONSTRUCTION
- (41) EDGE OF CONCRETE SIDEWALK AT PLANTER BED - SEE LANDSCAPE PLAN (L01.0)
- (42) "THANK YOU / DO NOT ENTER" SIGN
- (43) MOTORCYCLE PARKING ONLY FREE-STANDING SIGN PER CITY SPECS. - SEE DETAIL SHEET (C03.2)
- (44) 4" DEEP STONE MULCH AREA WITH WEED MATTING - STONE MULCH TO MATCH LANDSCAPE PLAN - SLOPE TO MATCH PROPOSED SIDEWALK - SEE GRADING PLAN

ADDITIONAL SITE FEATURES

- (50) MATCH MASTER PLAN GRADE
- (51) SIDEWALK PER CITY SPECS
- (52) ADA SIDEWALK RAMP - SEE DETAIL SHEET (C03.2)
- (53) BICYCLE HOOP W/LOOK-IT - SEE DETAIL SHEET (C03.2)
- (54) KNOX-BOX - SEE ARCHITECTURAL DETAIL SHEET
- (55) EASEMENTS AND RIGHT OF WAYS
- (56) FIRE HYDRANT



BM #1
TYPE: SET 60D NAIL
NORTHING: 1495540.38
EASTING: 534376.49
ELEVATION: 5144.75'

BM #2
TYPE: SET 60D NAIL
NORTHING: 1495827.08
EASTING: 534389.51
ELEVATION: 5148.32'

FLOOD STATEMENT:
THIS PROPERTY IS IN ZONE "X" OF THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 35001C0351H, WHICH BEARS AND EFFECTIVE DATE OF 08/16/2012 AND IS NOT IN A SPECIAL FLOOD HAZARD AREA.



PANDA EXPRESS, INC.
1683 Walnut Grove Ave.
Rosemead, California
91770
Telephone: 626.799.9898
Facsimile: 626.372.8288

All ideas, designs, arrangement and plans indicated or represented by this drawing are the property of Panda Express Inc. and were created for use on this specific project. None of these ideas, designs, arrangements or plans may be used by or disclosed to any person, firm, or corporation without the written permission of Panda Express Inc.

REVISIONS:

NO.	DESCRIPTION	DATE

ISSUE DATE:

1ST XXXXXX XX-XX-22

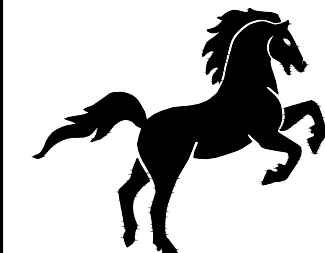
DRAWN BY: JRJ

PANDA PROJECT #: S8-25-D31723
PANDA STORE #: D31723
ARCH PROJECT #: 31723



09/11/2025

CIVIL ENGINEERING SERVICES P.C.



• FAST
• RELENTLESS
• VISIONARY

7705 SPICER FARM LANE
FAIRVIEW, TN 37062
615.235.5372
Ray@CivilEngineeringServices.net

PANDA EXPRESS

TRUE WARM & WELCOME
3535 MENAUL BOULEVARD
ALBUQUERQUE, NEW MEXICO 87107

SITE PLAN

C03.0

TRUE WARM & WELCOME

ISSUE FOR CONSTRUCTION XX-XX-XXXX



City of Albuquerque

Planning Department
Development Review Services Division

Traffic Scoping Form (REV 05/2024)

Project Title: Panda Express Carlisle

Zone Atlas Page: H-16-Z DFT/DHO #: N/A BP #: TBD

Development Street Address: 3535 Menaul Blvd NE

(If no City Address include a Vicinity Map with site highlighted and legible street names)

Applicant: Civil Engineering Services Contact: Lee Pennington

Address: 7705 Spicer Farm Ln Fairview TN 37062

Phone#: 615-624-3294 E-mail: Lee@civilengineeringservices.net

Development Information

Build out/Implementation Year: 2026

Existing Use: Commercial

Describe Proposed Development and Uses:
Panda Express Restaurant with drive thru

Days and Hours of Operation (if known): 11:00 AM to 9:00 PM

Facility

Building Size (sq. ft.): 2700

Number of Residential Units: 0

Number of Commercial Units: 1

Traffic Considerations

Expected Number of Daily Visitors/Patrons (if known): *232 vehicles per day

Expected Number of Employees (if known): *N/A

Expected Number of Delivery Trucks/Buses per Day (if known): *N/A

Trip Generations during PM/AM Peak Hour and ITE # (if known): *127 Vehicles trips

Driveway(s) Located on: Street Name Phoenix Ave NE

Adjacent Roadway(s) Posted Speed: Street Name Carlisle Blvd NE Speed 35

Street Name Phoenix Ave NE Speed 25

** If these values are not known, assumptions will be made by City staff. Depending on the assumptions, a full TIS may be required.*

Roadway Information (adjacent to site)

Comprehensive Plan Corridor Designation (e.g. Main Street, Major Transit, N/A): Major Transit

<https://cabq.maps.arcgis.com/apps/webappviewer/index.html?id=53bf716981b14d25a31e7a2549c2d61b>

Comprehensive Plan Center Designation (e.g. urban center, Downtown, N/A): Comp Plan Center / American Square

<https://cabq.maps.arcgis.com/apps/webappviewer/index.html?id=53bf716981b14d25a31e7a2549c2d61b>

Street Functional Classification (e.g. Principal Arterial, Collector): Principal Arterial

<https://cabq.maps.arcgis.com/apps/webappviewer/index.html?id=53bf716981b14d25a31e7a2549c2d61b>

Jurisdiction of roadway (NMDOT, City, County): NMDOT

Adjacent Roadway(s):

Name: Carlisle Traffic Volume: 27,514 Volume-to-Capacity Ratio (v/c): AM V/C: 0.361
PM V/C: 0.692

Name: Phoenix Traffic Volume: < 3000 Volume-to-Capacity Ratio (v/c):

Traffic Volume and V/C Ratio: <https://www.mrcog-nm.gov/623/Traffic-Flow-Maps-and-Busiest-Intersecti> and <https://mrcog-nm.gov/574/Transportation-Analysis-and-Querying-App>

Adjacent Transit Service(s): Yes Nearest Transit Stop(s): 380' +/- to route 5 bus stop on Carlisle
<https://www.cabq.gov/gis/advanced-map-viewer>

Is site within 660 feet of Premium Transit?: No
<https://cabq.maps.arcgis.com/apps/webappviewer/index.html?id=53bf716981b14d25a31e7a2549c2d61b>

Current/Proposed Bicycle Infrastructure: Proposed

Bikeways: <https://mrcog-nm.gov/544/Long-Range-System-maps>

Current/Proposed Sidewalk and buffer Infrastructure: 10ft sidewalk, 6-8ft buffer zone

Sidewalk and buffer width : DPM Table 7.2.29

Submit by email to Traffic Engineer Curtis Cherne: ccherne@cabq.gov. Email or call 505-924-3986 for information.

For City Personnel Use:

TIS Determination

Note: Changes made to development proposals / assumptions, from the information provided above, will result in a new TIS determination.

Traffic Impact Study (TIS) Required: Yes [] No [☒]

Thresholds Met? Yes [☒] No []

Mitigating Reasons for Not Requiring TIS and/or Notes:

This site was covered by an overall site TIS already approved

Ernest Armijo
TRAFFIC ENGINEER

9/23/2025
DATE