

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

March 25, 2026

Kelly Klein
Bohannon Huston, Inc.
7500 Jefferson St NE
Albuquerque, NM 87109

RE: 3535 Menaul Blvd NE
Grading and Drainage Plan
Engineer's Stamp Date: 03/23/2026
Hydrology File: H16D083F6
Case # HYDR-2026-00108

Dear Ms. Klein:

Based upon the information provided in your submittal received 03/23/2026, the Grading & Drainage Plan is **not** approved for Building Permit. The following comments need to be addressed for approval of the above referenced project:

1. Please provide the FIRM Map and flood plain note with effective date.
2. Please provide the Benchmark information (location, description, elevation, and datum) for the survey contour information provided.
3. Payment-In-Lieu – Please submit an Application for Payment-In-Lieu to Hydrology for review and approval. When the request is approved, the payment will need to be made. Per the DPM Section 6-12(C)(1), the Payment-In-Lieu needs to be completed prior to the issuance of a Building Permit.

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 924-3420) 14 days prior to any earth disturbance.

If you have any questions, please contact me at 505-924-3314 or amontoya@cabq.gov.

Sincerely,

Anthony Montoya, Jr., P.E., C.F.M.

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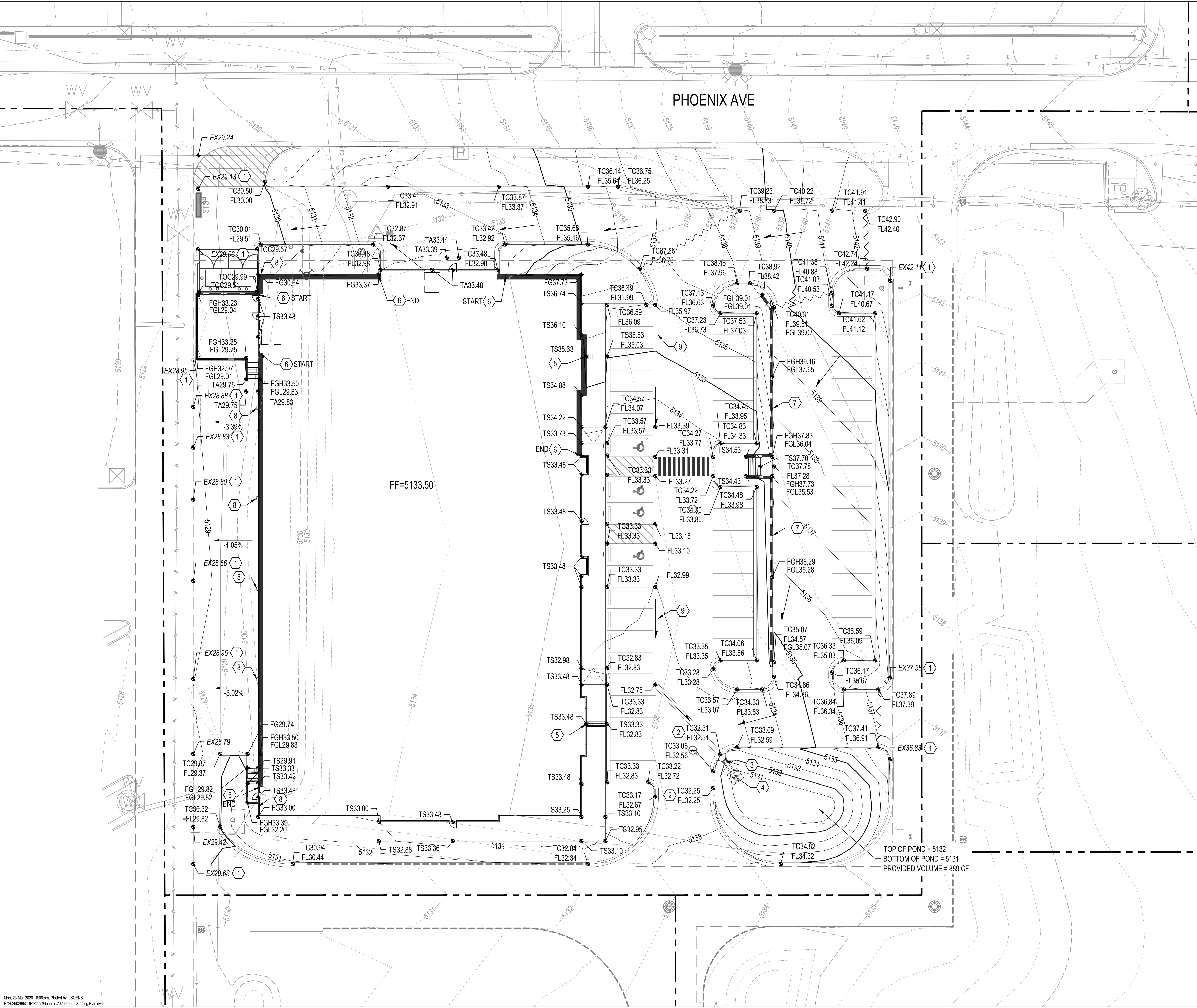
Senior Engineer, Hydrology
Planning Department, Development Review Services

PO Box 1293

Albuquerque

NM 87103

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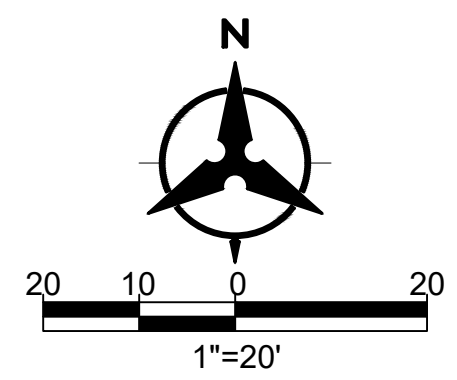


GRADING KEYED NOTES

1. MATCH EXISTING GRADE.
2. INSTALL CURB CUT PER DETAIL 1, SHEET C101.
3. INSTALL CONCRETE RUNDOWN PER DETAIL 2, SHEET C101.
4. INSTALL RIP RAP PAD PER DETAIL 3, SHEET C101.
5. INSTALL 24" SIDEWALK CULVERT PER COA STD DWG 2236. WHERE APPLICABLE, CONNECT ROOF DRAIN OUTLET PER DETAIL 4, SHEET C101.
6. STEM WALL. SEE ARCHITECTURAL/STRUCTURAL SHEETS FOR MORE INFORMATION.
7. RETAINING WALL. DESIGNED BY OTHERS. RETAINING GRADES PER PLAN.
8. ROOF DRAIN DOWNSPOUT. SEE ARCHITECTURAL PLANS FOR MORE INFORMATION.
9. INSTALL ALLEY GUTTER PER COA STD DWG 2415B.

LEGEND

- PROPERTY LINE
- PROPOSED SPOT ELEVATION
- EXISTING INDEX CONTOUR
- EXISTING INTERMEDIATE CONTOUR
- PROPOSED INDEX CONTOUR
- PROPOSED INTERMEDIATE CONTOUR
- WATER BLOCK/GRADE BREAK
- DIRECTION OF FLOW
- RETAINING WALL
- STEM WALL



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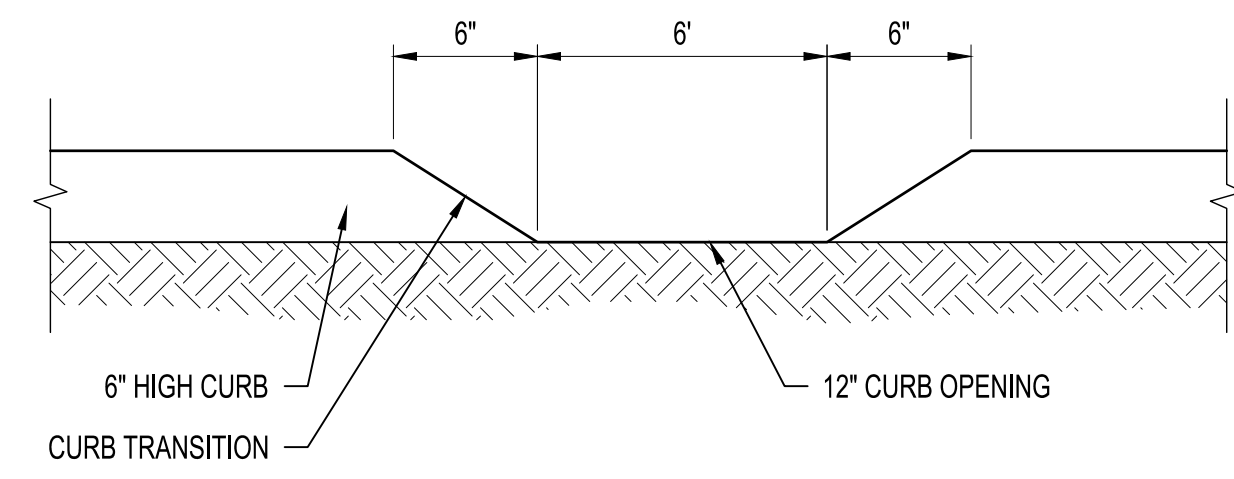
PROJECT:
 NEW SHELL BUILDING FOR O'REILLY
 3935 MENAUL BLVD NE
 ALBUQUERQUE, NEW MEXICO
GRADING PLAN

Buddy Webb & Company, Inc.
Architect - Consultant
 3057 EAST CAIRO
 SPRINGFIELD, MISSOURI 65802
 (417) 877-1385 TELEPHONE
 (417) 877-9736 FAX

DRAWN BY: LS/AA CHECKED BY: KK
 DATE: 03/20/2026
 REVISION:
 PROJECT NUMBER: 20260288
 SHEET NUMBER: C100

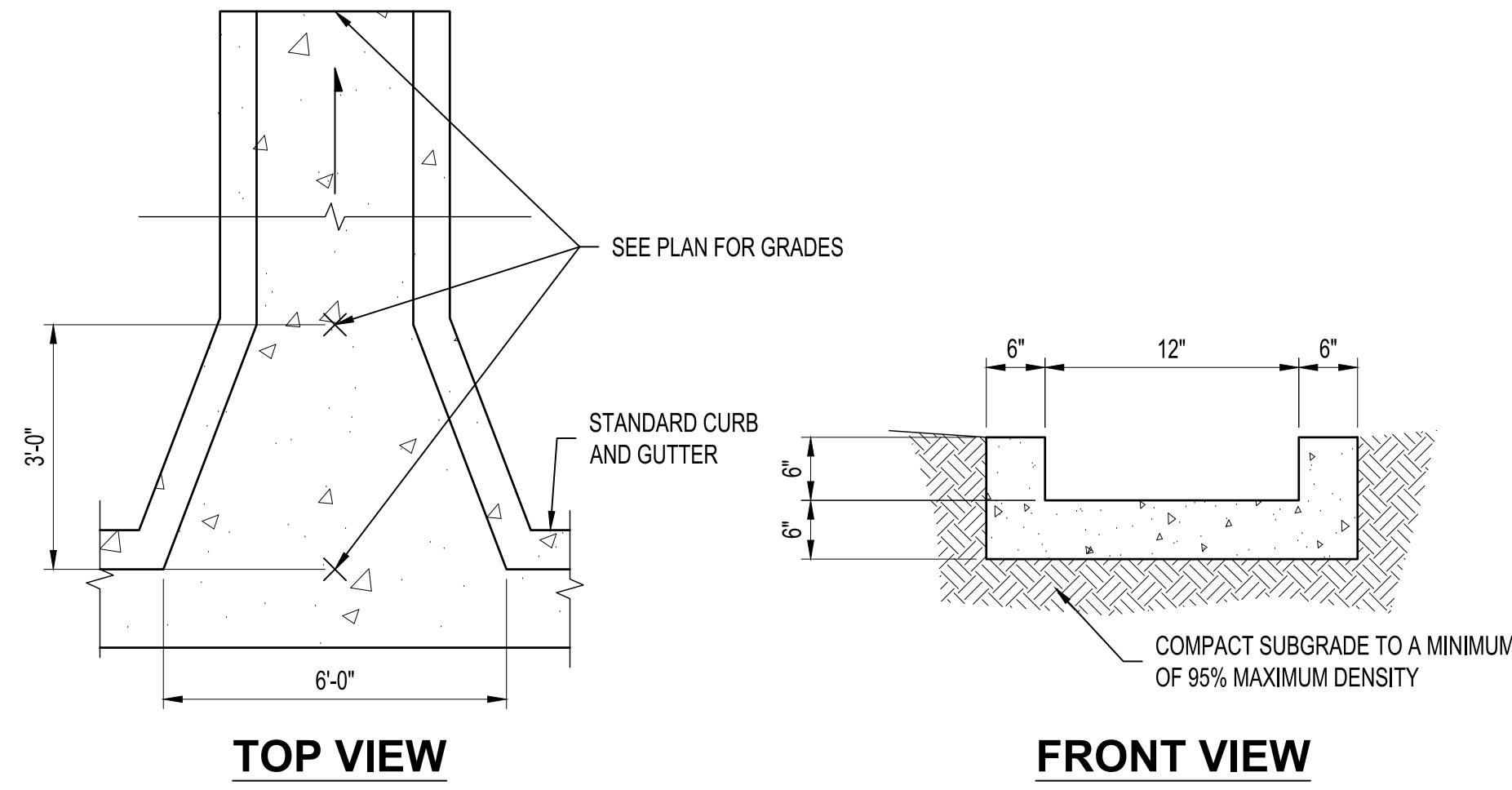
Bohannon & Huston
 www.bhinc.com 800.877.5332

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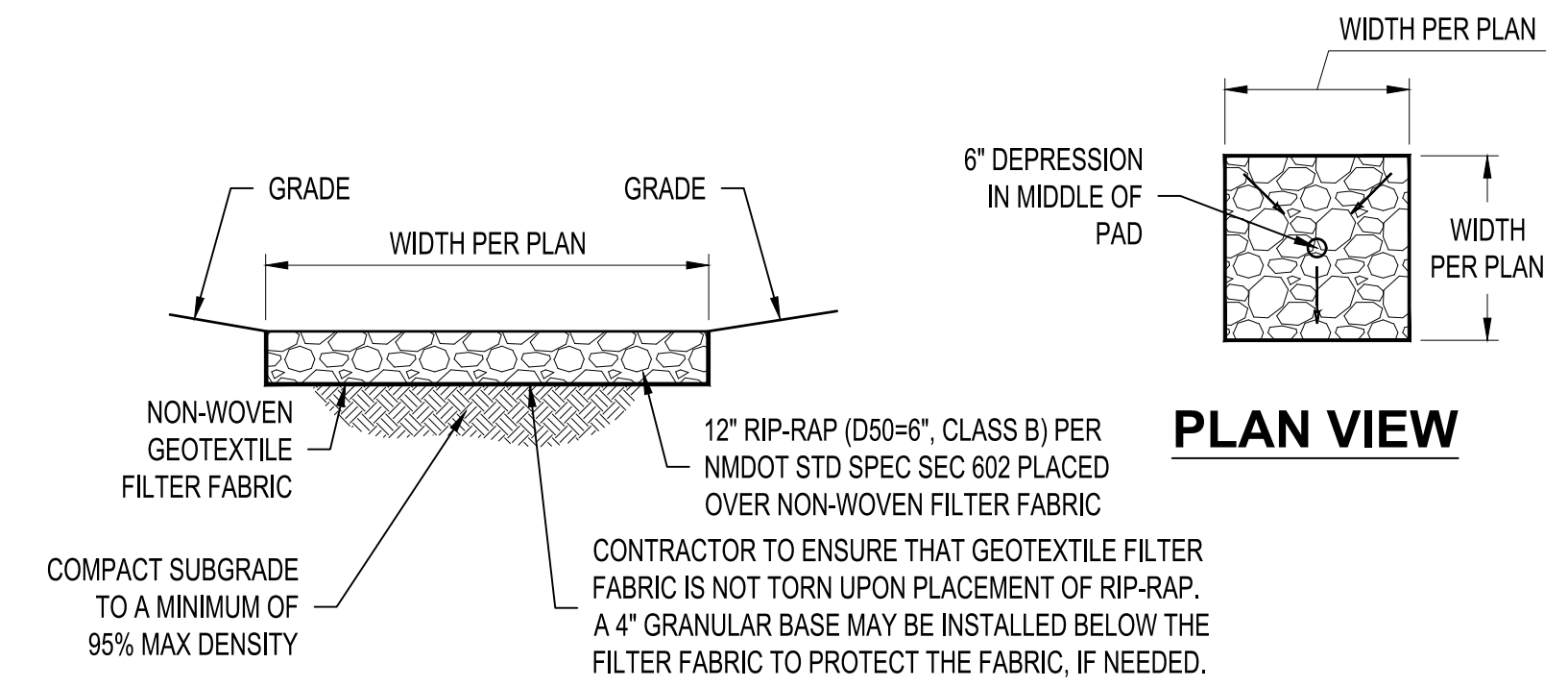
1 CURB CUT

NTS



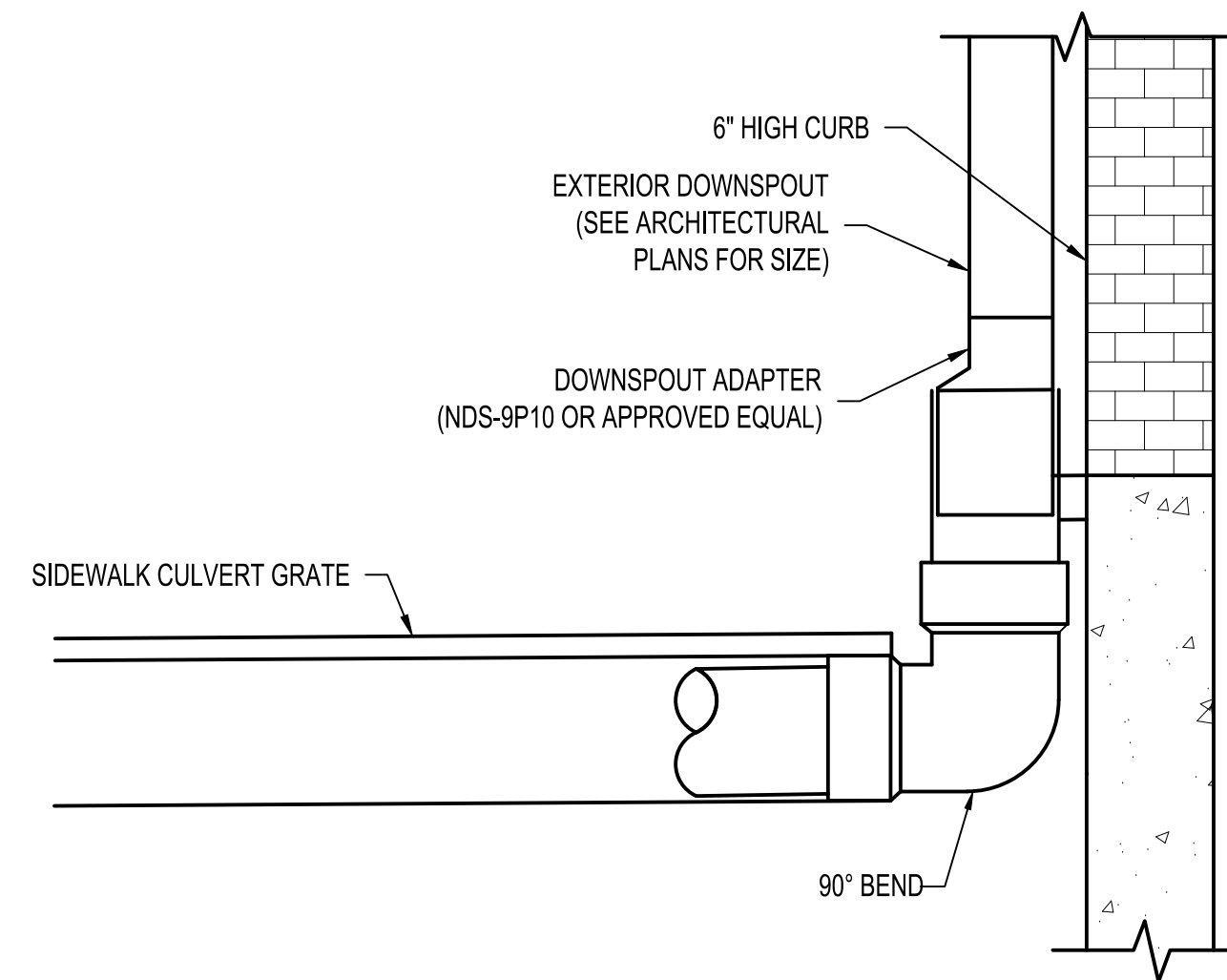
2 CONCRETE RUNDOWN

NTS



3 RIP-RAP BLANKET

NTS



4 DOWNSPOUT CONENCTION TO SIDEWALK CULVERT

NTS



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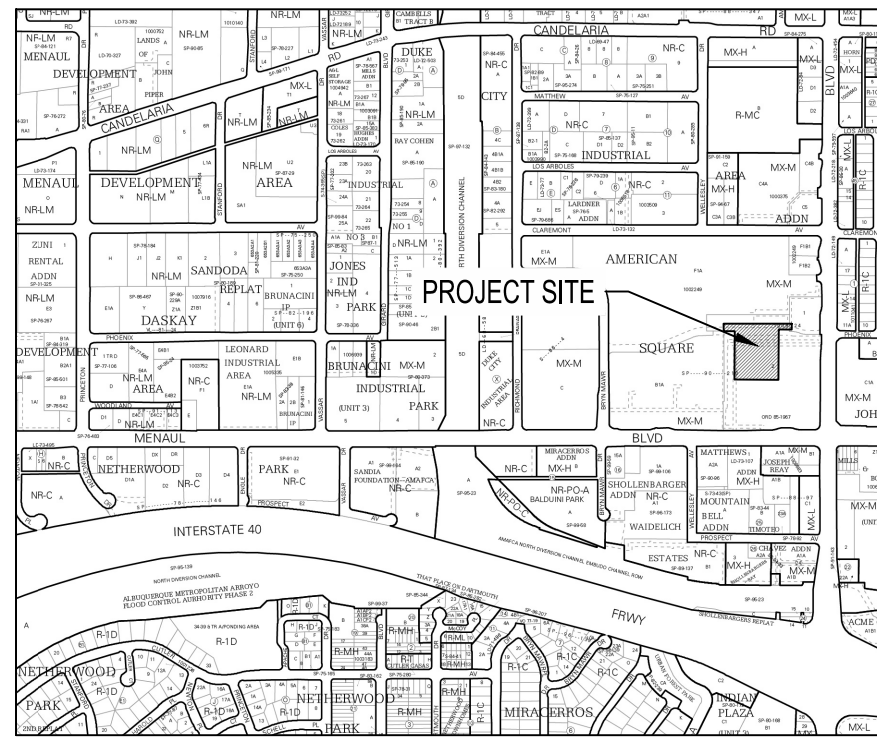
GRADING DETAILS

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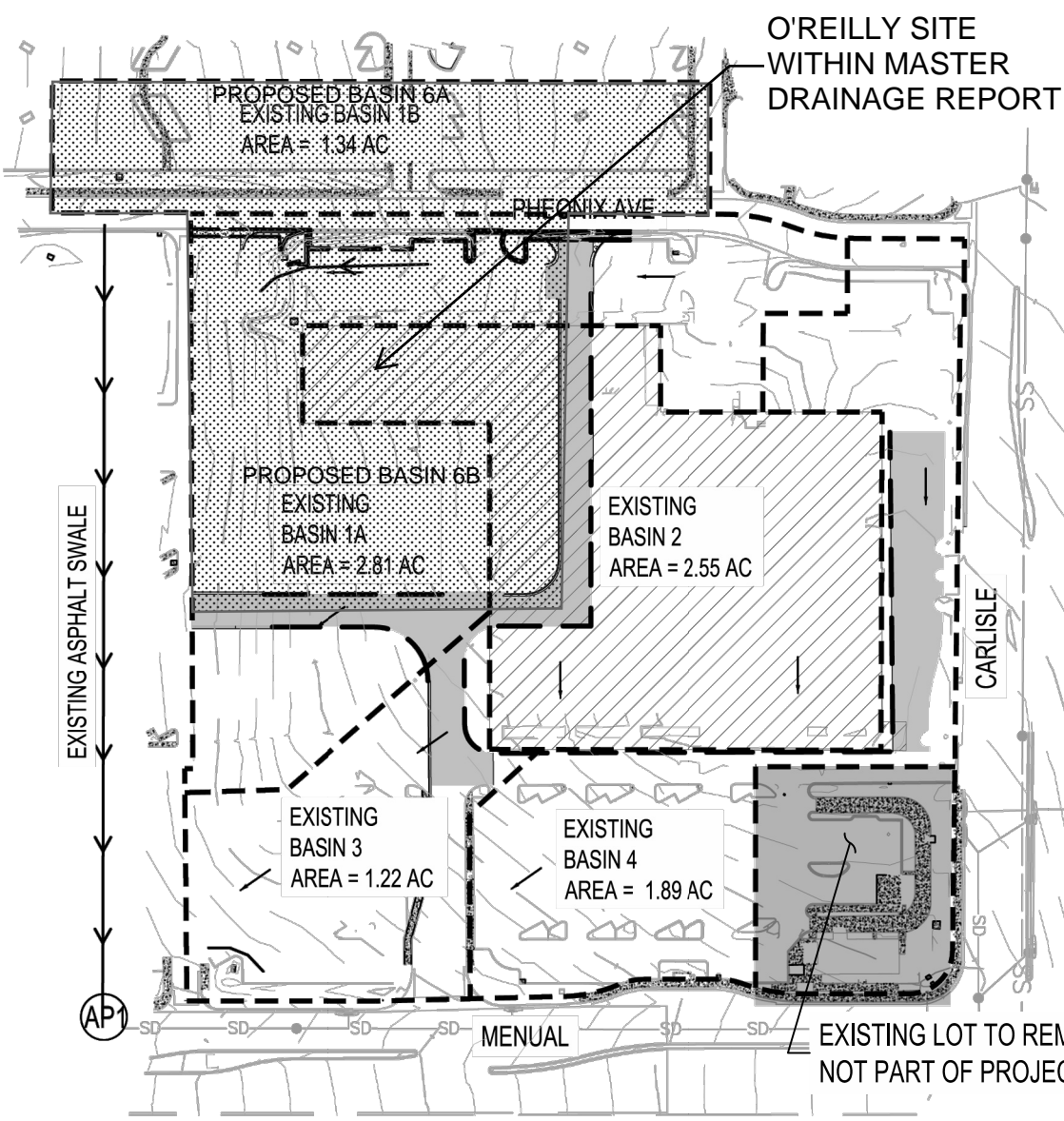
PROJECT NUMBER:
20260288

SHEET NUMBER
C101



VICINITY MAP N.T.S.
ZONE ATLAS PAGE: H-16-Z

EXCERPT FROM CARLISLE AND MENAUL COMMERCIAL DEVELOPMENT BACKBONE INFRASTRUCTURE MASTER DRAINAGE REPORT, COA FILE #H16D083F



EXISTING CONDITIONS
FOR ALL CARLISLE AND MENAUL SITE

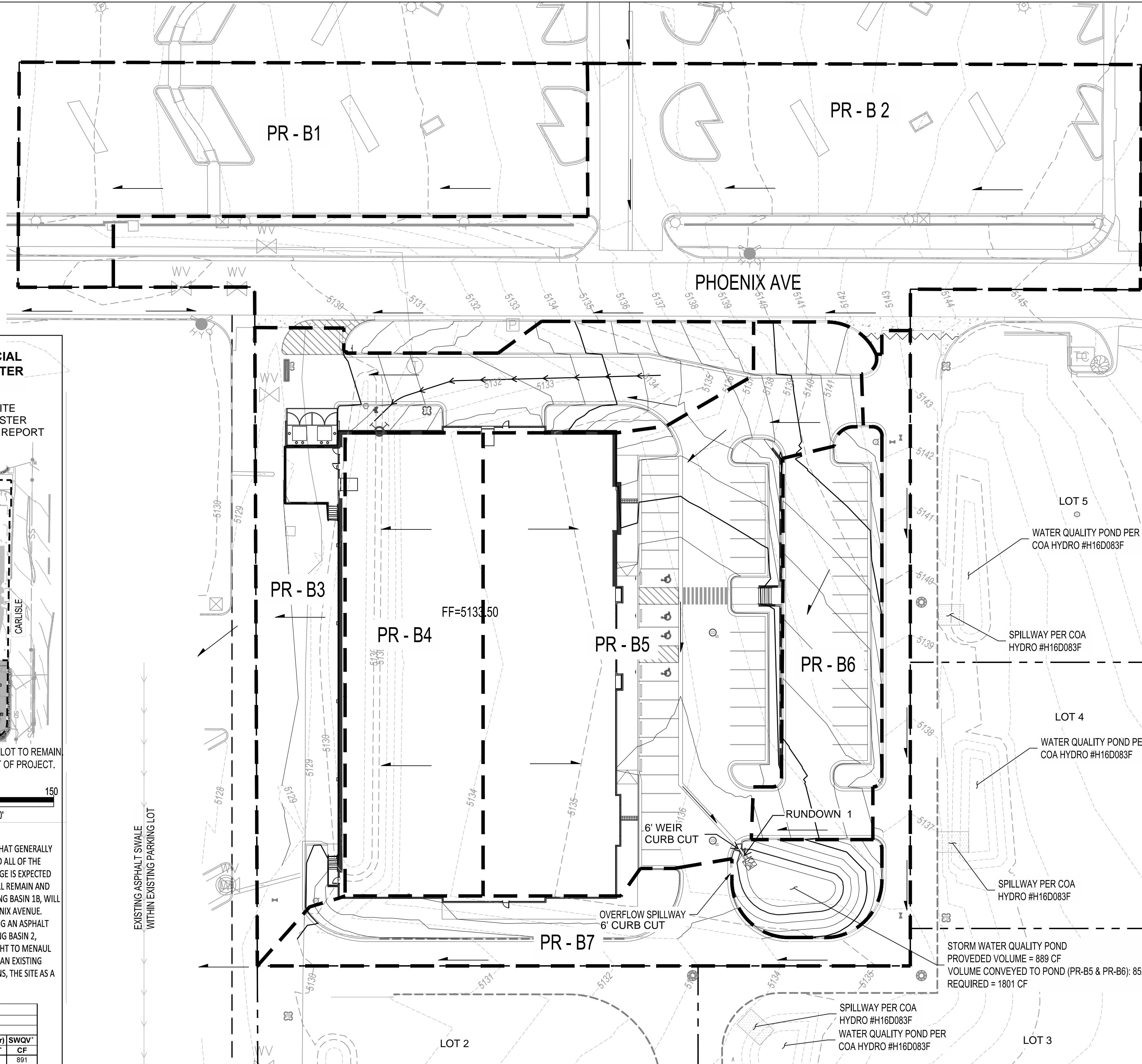
EXISTING CONDITIONS:
IN EXISTING CONDITIONS, THE SITE CONSISTS OF ONE LARGE BUILDING AND ASSOCIATED PARKING LOTS THAT GENERALLY SLOPES FROM THE NORTHEAST CORNER TO THE SOUTHWEST CORNER. THE SITE IS 100% IMPERVIOUS AND ALL OF THE RUNOFF GENERATED BY THE SITE IS ULTIMATELY DISCHARGING INTO MENAUL BLVD. NO OFFSITE DRAINAGE IS EXPECTED TO FLOW THROUGH THE SITE. THE ADJACENT EXISTING ESTABLISHMENT ON THE SOUTHEAST CORNER WILL REMAIN AND WILL CONTINUE TO DISCHARGE INTO MENAUL BLVD. THE NORTHERN MOST PORTION OF THE SITE, EXISTING BASIN 1B, WILL REMAIN IN UNTOUCHED DURING DEVELOPMENT. EXISTING BASIN 1B DRAINS WEST OFFSITE ALONG PHOENIX AVENUE. EXISTING BASIN 1A AND 3 DISCHARGE ALONG ON THE WESTERN BOUNDARY OF THE SITE BEFORE ENTERING AN ASPHALT SWALE THAT CONVEYS THE FLOW INTO MENAUL BLVD. THESE TWO BASINS GENERATE 17.45CFS. EXISTING BASIN 2, WHICH ENCOMPASSES THE ENTIRETY OF THE EXISTING BUILDING ON SITE, IS SAID TO ROOF DRAIN STRAIGHT TO MENAUL PER THE PRIOR DRAINAGE PLAN FOR AMERICAN SQUARE. EXISTING BASIN 4 DISCHARGES TO MENAUL VIA AN EXISTING INLET. EXISTING BASIN 2 AND 4 PRODUCE 11.04 CFS AND 8.20 CFS, RESPECTIVELY. IN EXISTING CONDITIONS, THE SITE AS A WHOLE GENERATES 36.70CFS AND DISCHARGES INTO MENAUL BLVD.

| Carlisle and Menaul Allowable Fully Developed Flows | | | | | | | |
|---|-------------|----------------------------|------|--------|-------|-------------------------|-------|
| Proposed Lot Data Table (Assumed 90% Impervious area) | | | | | | | |
| This table is based on page 6-10 of the DPM, Zone: 2 | | | | | | | |
| LOT ID | Area AC | Land Treatment Percentages | | | | Q(100yr) V(100yr) SWQV* | |
| | | A | B | C | D | CFS | AC-FT |
| LOT 1 | 1.02 | 0.0% | 0.0% | 10.0% | 90.0% | 4.27 | 0.19 |
| LOT 2 | 1.53 | 0.0% | 0.0% | 10.0% | 90.0% | 6.44 | 0.28 |
| LOT 3 | 1.30 | 0.0% | 0.0% | 10.0% | 90.0% | 5.44 | 0.24 |
| LOT 4 | 0.89 | 0.0% | 0.0% | 10.0% | 90.0% | 3.74 | 0.16 |
| LOT 5 | 1.20 | 0.0% | 0.0% | 10.0% | 90.0% | 5.04 | 0.22 |
| LOT 6 | | | | | | | |
| Subbasin 6A | 2.35 | 0.0% | 0.0% | 10.0% | 90.0% | 9.88 | 0.43 |
| SUBTOTAL | 8.29 | | | | | 34.81 | |
| OFFSITE | | | | | | | |
| LOT 6 | | | | | | | |
| Subbasin 6B | 1.34 | 0.0% | 0.0% | 100.0% | 5.80 | 0.26 | 0 |
| SUBTOTAL | 1.34 | | | | | 5.80 | |

* For redevelopment site, SWQV = 0.26 in

PAYMENT IN LIEU

1. THE OWNER HAS ELECTED TO PAY THE PAYMENT IN LIEU FOR THE REMAINING REQUIRED STORMWATER QUALITY VOLUME OF 949 cf



PROPOSED DATA TABLE

This table is based on page 6-10 of the DPM, Zone: 2

| BASIN I.D. | AREA (AC) | % LAND TREATMENT | | | | DISCHARGE (CFS) | | VOLUME (AC-FT) | SWQV |
|--------------|-------------|------------------|------|-------|--------|-----------------|---------------|----------------|-------------|
| | | A | B | C | D | 100YR | 0.26 | | |
| Onsite | | | | | | 24 HOUR STORM | 24 HOUR STORM | | CF |
| PR - BASIN 1 | 0.50 | 0.0% | 0.0% | 0.0% | 100.0% | 2.16 | 0.11 | | 471 |
| PR - BASIN 2 | 0.99 | 0.0% | 0.0% | 0.0% | 100.0% | 4.30 | 0.22 | | 937 |
| PR - BASIN 3 | 0.48 | 0.0% | 0.0% | 15.0% | 85.0% | 1.97 | 0.10 | | 383 |
| PR - BASIN 4 | 0.34 | 0.0% | 0.0% | 0.0% | 100.0% | 1.47 | 0.07 | | 320 |
| PR - BASIN 5 | 0.85 | 0.0% | 0.0% | 16.0% | 84.0% | 3.51 | 0.17 | | 676 |
| PR - BASIN 6 | 0.22 | 0.0% | 0.0% | 14.0% | 86.0% | 0.90 | 0.04 | | 176 |
| PR - BASIN 7 | 0.32 | 0.0% | 0.0% | 17.0% | 83.0% | 1.29 | 0.06 | | 247 |
| TOTAL | 3.69 | | | | | 15.60 | | | 1801 |

Weir Table

| Weir # | Tributary Basins | Actual Flow (cfs) | Bottom Width (ft) | Depth (ft) | Weir Coefficient | Capacity cfs |
|--------------|-----------------------|-------------------|-------------------|------------|------------------|--------------|
| Curb Opening | Basins PR-B and PR-B6 | 4.41 | 6.00 | 0.50 | 2.60 | 5.52 |

Rundown Table

| Rundown # | Tributary Basins | Actual Flow | Manning's Number | Bottom Width | Top Width | Depth | Minimum Slope | Capacity* | Max Velocity |
|-----------|------------------------|-------------|------------------|--------------|-----------|-------|---------------|-----------|--------------|
| | | CFS | | ft | ft | ft | % | CFS | FPS |
| Rundown 1 | Basins PR-B5 and PR-B6 | 4.41 | 0.013 | 1 | 2 | 0.5 | 17.53 | 9.49 | 15.21 |

Capacity Based on Manning's Eq *

DRAINAGE NARRATIVE:

INTRODUCTION:
THIS PROJECT CONFORMS TO APPROVED DRAINAGE REPORT (H16D083F) FOR THE CARLISLE AND MENAUL COMMERCIAL DEVELOPMENT BACKBONE INFRASTRUCTURE MASTER DRAINAGE PLAN (DMP). THIS MASTER DRAINAGE PLAN DEFINES THE "EXISTING CONDITIONS" OF THE SITE AS A DEVELOPED SITE WITH 100% IMPERVIOUS CONDITIONS. DEVELOPED FLOW IS ALLOWED AS FREE DISCHARGE FROM THE SITE THAT EVENTUALLY ENTERS INTO MENAUL BLVD. THE PROJECT SITE ENCOMPASSES LOT 6 OF CARLISLE AND MENAUL COMMERCIAL DEVELOPMENT. WITHIN THE MASTER DRAINAGE REPORT, THE LOT ENCOMPASSES EXISTING BASINS 1A AND EXISTING BASIN 1B, AND PROPOSED SUBBASIN 6A AND 6B. AN EXCERPT FROM THE DMP SHOWING THE BASINS AND ALLOWABLE FLOW IS PRESENTED ON THIS SHEET FOR REFERENCE.

METHODOLOGY:

THE 100YR 6 HOUR RUNOFF FLOWS ARE CALCULATED USING THE CFS/ACRE METHODOLOGY IN THE CITY OF ALBUQUERQUE'S DPM TABLE 6.2.14 FOR ZONE 2. THE SITE IS NOT WITHIN A DEFINED FLOOD ZONE.

EXISTING CONDITIONS:

AS PER THE APPROVED DRAINAGE REPORT (H16D083F) FOR THE CARLISLE AND MENAUL COMMERCIAL DEVELOPMENT BACKBONE INFRASTRUCTURE MASTER DRAINAGE PLAN, EXISTING BASIN 1B REMAINS UNTOUCHED BY NEW DEVELOPMENT AND DRAINS WEST OFFSITE ALONG PHOENIX AVENUE. BASIN 1A CONTAINS THE PROPOSED DEVELOPMENT. CURRENTLY, THE SITE HAS BEEN DEMOLISHED FROM THE EXISTING CONDITIONS DESCRIBED ABOVE AND CONSISTS OF EXPOSED SOILS THAT DRAIN EAST TO WEST INTO A STORMWATER QUALITY CONTROL (SWQ) CONSTRUCTION POND. AS THE FLOWS OVERFLOW THE SWQ POND, THE FLOWS ARE CAPTURED IN AN EXISTING ASPHALT SWALE THAT CONVEYS THE FLOW INTO MENAUL BLVD. THE SITE'S EAST AND SOUTH PROPERTY LINE EXTENDS TO THE MIDDLE OF THE BACKBONE ROAD. PER THE APPROVED MASTER DMP, THIS BACKBONE ROAD HAS AN INVERTED CROWN AND ACCEPTS FLOW FROM LOTS 3,4,5,6 TO CONVEY THE FLOWS TO THE ASPHALT SWALE EVENTUALLY DISCHARGING INTO MENAUL. PER THE APPROVED MASTER DRAINAGE REPORT, OUR PROJECT SITE (EXCLUDING EXISTING BASIN 1B) HAS AN ALLOWABLE DISCHARGE OF 9.88 CFS.

PROPOSED CONDITIONS:

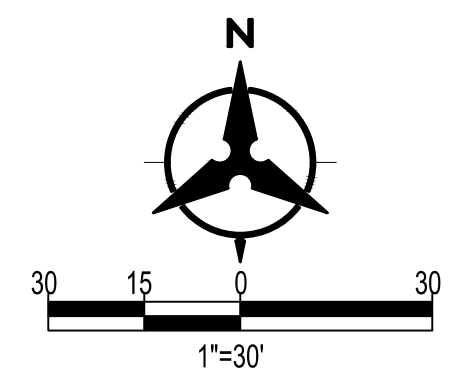
THE OVERALL GRADING SCHEME IN DEVELOPED CONDITIONS FOLLOWS THE APPROVED DRAINAGE PATTERNS OF THE EXISTING SITE. IN THE FULLY DEVELOPED CONDITIONS, THE TOTAL DISCHARGE INTO MENAUL WILL BE LESS THAN THE EXISTING DISCHARGE PRESENT IN EXISTING CONDITIONS DUE TO THE COMBINATION OF AN INCREASE IN LANDSCAPED AREA AS WELL AS POTENTIAL PONDING RETENTION VOLUME. OFFSITE DRAINAGE IS EXPECTED TO FLOW AWAY FROM THE SITE. PART OF THE OFFSITE FLOW WILL GO THROUGH THE BACKBONE ROAD AS MENTIONED IN THE EXISTING CONDITIONS. OTHER OFFSITE DRAINAGE WILL FLOW PAST THE SITE AND WILL NOT CHANGE WITH THE NEW DEVELOPMENT.

BASIN PR-B1 REPRESENTS THE PORTION OF THE EXISTING PARKING LOT. FLOW IS CONVEYED OFFSITE TO THE WEST AND DOES NOT IMPACT THE PROPOSED PROJECT SITE. BASIN PR-B2 CONTAINS FLOW FROM THE EXISTING PARKING LOT, PHOENIX AVE, AND A PORTION OF THE ACCESS ROAD TO CLAREMONT AVE. FLOW FROM THE ACCESS ROAD IS CONVEYED FROM A VALLEY GUTTER AND THEN IS CONVEYED ALONG THE CURB AND GUTTER UNTIL REACHING AN EXISTING ASPHALT SWALE JUST WEST OF THE PROJECT SITE. THIS FLOW BYPASSES THE PROPOSED DEVELOPMENT AND CONTINUES SOUTH BEFORE TURNING WEST AND INTO ANOTHER ASPHALT SWALE. THIS FLOW ULTIMATELY DISCHARGES OFFSITE INTO MENAUL. BASIN PR-B4 INCORPORATES HALF OF THE BUILDING'S ROOF DRAINAGE AND DISCHARGES THROUGH ROOF DRAINS. FLOW SHEET FLOWS AWAY FROM THE BUILDING AND IS THEN DIRECTED TO THE ASPHALT SWALE TO THE WEST. BASINS PR-B5 AND PR-B6 DRAIN SOUTH TOWARDS THE STORMWATER QUALITY CONTROL POND IN THE SOUTHEAST CORNER OF THE PROPERTY. BASIN PR-B5 INCORPORATES HALF OF THE BUILDING'S ROOF DRAINAGE WHERE THE ROOF DRAINAGE ENTERS THE PARKING LOTS VIA DOWNSPOUTS DISCHARGING THROUGH SIDEWALK CULVERTS. FLOW IS THEN CONVEYED ALONG A VALLEY GUTTER TO DIRECT FLOWS TOWARDS THE STORMWATER QUALITY CONTROL POND THROUGH A CURB CUT AND CONCRETE RUNDOWN. THE TOTAL FLOW ENTERING THE SWQ POND IS 4.4 CFS. BASIN PR-B7 REPRESENTS THE PORTION OF THE PROJECT SITE THAT CONTAINS THE BACKBONE ACCESS ROAD. AS MENTIONED PREVIOUSLY, THIS BACKBONE ROAD IS PART OF THE APPROVED MASTER DMP. THE ROAD HAS AN INVERTED CROWN AND CONVEYS FLOWS FROM OUR SITE AND THE ADJACENT PADS TO THE EXISTING DISCHARGE POINTS TO THE WEST.

THE SWQ POND PROVIDES 889 CF OF THE TOTAL REQUIRED SWQ VOLUME OF 1801 CF. BASINS PR-B5 AND PR-B6 CONTRIBUTE 852 CF. IN ACCORDANCE WITH THE APPROVED MASTER DMP, THE REMAINING AMOUNT WILL BE PROVIDED AS CASH IN LIEU. THE TOTAL FLOW EXITING THE PROPOSED SITE IS 9.14 CFS WHICH IS LESS THAN THE APPROVED ALLOWABLE DISCHARGE OF 9.88 CFS SINCE THERE IS LESS IMPERVIOUS AREA THAN THE BACKBONE DMP PLANNED.

CONCLUSION:

THE PROPOSED DRAINAGE PLAN ADHERES TO THE APPROVED MASTER DMP. DRAINAGE FROM THE SITE WILL FOLLOW EXISTING DRAINAGE PATTERNS AND DISCHARGE INTO MENAUL PER RATES SHOWN IN THE TABLES ON THIS SHEET.



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DRAINAGE
MANAGEMENT PLAN

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