

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

January 20, 2023

Jeremy Scott Alford, R.A
Molzen-Corbin
2701 Miles Rd. SE
Albuquerque, NM 87106

Re: AMAFCA Office Improvements
2600 Prospect Ave. NE
Traffic Circulation Layout
Engineer's Stamp 01-20-23 (H16-D086)

Dear Mr. Alford,

The TCL submittal received 12-12-2022 is approved for Building Permit by Transportation. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to the PLNDRS@cabq.gov for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Ernest Armijo, P.E.
Principal Engineer, Planning Dept.
Development Review Services

C: CO Clerk, File



VICINITY MAP

Scale: N.T.S.

2

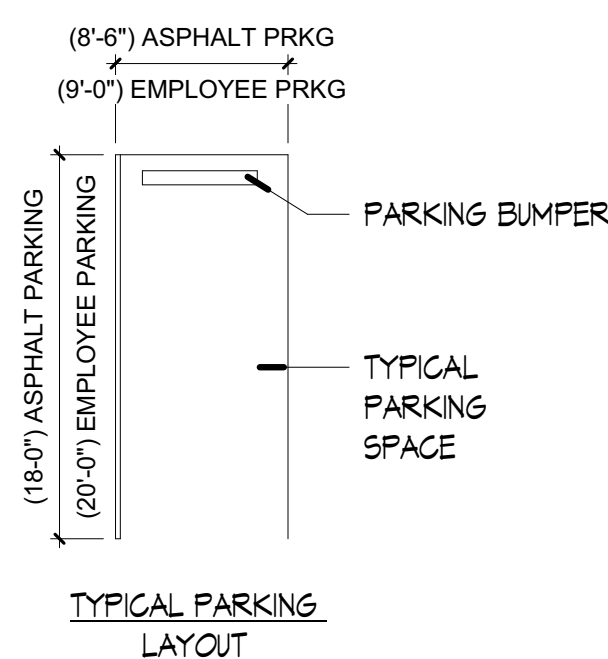
LEGAL DESCRIPTION

TRACT B
SANDIA FOUNDATION - A.M.A.F.C.A. FOUNDATION
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

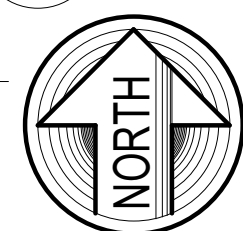
LEGEND

- ADA PATH
- - - - - 6'-0" SECURITY FENCE
- - - - - WATER LINE
- - - - - OVERHEAD POWER LINE
- - - - - PROPERTY LINE
- HYDRANT

- EXISTING CONCRETE SLABS, APRONS, AND SIDEWALKS
- PROJECT CONSTRUCTION- CONCRETE SIDEWALKS, RAMPS, APRONS, & LANDINGS
- ASPHALT PAVEMENT
- EXISTING GRAVEL AREAS
- PROPOSED OFFICE / BATHROOM ADDITION
- EXISTING OFFICE BUILDING
- EXISTING LANDSCAPE
- PROJECT LANDSCAPING

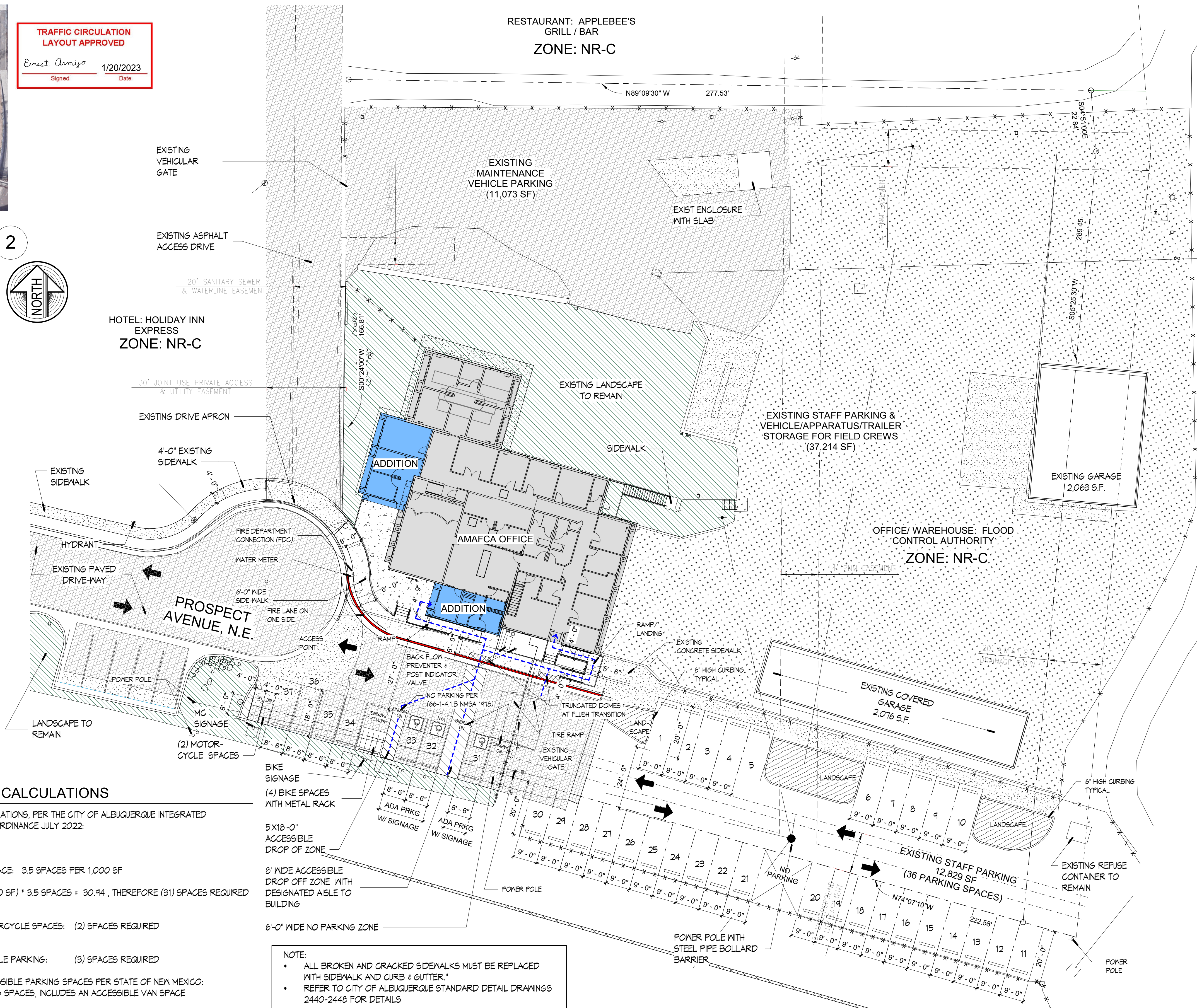


TRAFFIC CIRCULATION
LAYOUT APPROVED
Ernest Amigo 1/20/2023
Signed Date



HOTEL: HOLIDAY INN EXPRESS
ZONE: NR-C

RESTAURANT: APPLEBEE'S GRILL / BAR
ZONE: NR-C



PARKING CALCULATIONS

PARKING CALCULATIONS, PER THE CITY OF ALBUQUERQUE INTEGRATED DEVELOPMENT ORDINANCE JULY 2022:

TABLE 5-5-1

NR-C OFFICE SPACE: 3.5 SPACES PER 1,000 SF

(8,840 SF / 1,000 SF) * 3.5 SPACES = 30.94, THEREFORE (31) SPACES REQUIRED

TABLE 5-5-4:

REQUIRED MOTORCYCLE SPACES: (2) SPACES REQUIRED

TABLE 5-5-5:

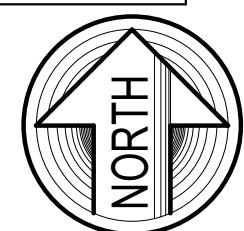
REQUIRED BICYCLE PARKING: (3) SPACES REQUIRED

REQUIRED ACCESSIBLE PARKING SPACES PER STATE OF NEW MEXICO:
(3) PARKING SPACES, INCLUDES AN ACCESSIBLE VAN SPACE

OFF STREET SPACES PROVIDED: SPACES PROVIDED:
(31) PARKING SPACES, INCLUDING - (3) ACCESSIBLE SPACES
(2) MOTORCYCLE
(4) BICYCLE SPACES

NOTE:
• ALL BROKEN AND CRACKED SIDEWALKS MUST BE REPLACED WITH SIDEWALK AND CURB & GUTTER
• REFER TO CITY OF ALBUQUERQUE STANDARD DETAIL DRAWINGS 2440-2448 FOR DETAILS

NOTE:
• REFER TO APPROVED SHEET RSW REFUSE CONTAINER LOCATION.
• REFER TO APPROVED SHEET FIRE-1 FIRE PLAN



0 10' 20' 40'
SCALE: 1" = 20'-0"

TRAFFIC CIRCULATION LAYOUT

Scale: 1" = 20'-0"

1

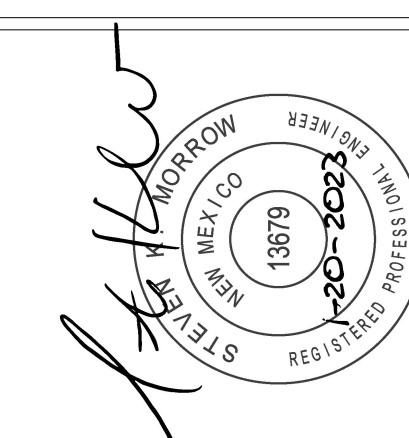
MOLZENCORBIN

2701 Miles Road SE
Albuquerque, New Mexico 87106
505 242 5700 office
505 242 0673 fax
MolzenCorbin.com

NOTICE OF EXTENDED PAYMENT PROVISION:
THIS CONTRACT ALLOWS THE OWNER TO MAKE PAYMENT WITHIN 45 DAYS AFTER SUBMISSION OF AN UNDISPUTED REQUEST FOR PAYMENT

NUMERIC SCALE CONFIRMATION

DRAWINGS ARE DEPICTED AT INTENDED NUMERIC SCALES IF THIS BAR EQUALS ONE INCH



REV NO	REV DATE	DESCR PT ON
1	1/20/2023	AM1191-24
2		
3		
4		
5		
6		
7		
8		
9		
10		

TRAFFIC CIRCULATION LAYOUT (TCL)

AMAFCA OFFICE IMPROVEMENTS
AMAFCA
2600 PROSPECT AVE, NE ALBUQUERQUE, NEW MEXICO
87107

TCL

SHEET

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