

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

October 5, 2022

Jeremy Scott Alford, RA
Molzen Corbin
2701 Miles Rd. SE
Albuquerque, NM 87106

Re: Improvements to AMAFCA Offices
2600 Prospect Ave. NE
Traffic Circulation Layout
Architect's Stamp XX-XX-XX (H16-D086)

Dear Mr. Jeremy,

Based upon the information provided in your submittal received 09-07-22, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. List the number of parking spaces required by the IDO as well as the proposed number of parking spaces including bicycle and motorcycle parking.
2. Please list the width and length for all existing and proposed parking spaces. Some dimensions are not shown.
3. The minimum parking stall dimensions are:

Type of parking	Min. Width	Min. Length	Min. Overhang
Standard	8.5'	18'	2'
Compact	7.5'	15'	1.5'
Motorcycle	4'	8'	N/A
ADA	8.5'	18'	2'

4. The ADA accessible parking sign must have the required language per 66-7-352.4C NMSA 1978 **"Violators Are Subject to a Fine and/or Towing."** Please call out detail and location of signs.
5. The ADA access aisles shall have the words **"NO PARKING"** in capital letters, each of which shall be at least one foot high and at least two inches wide, placed at the rear of the parking space so as to be close to where an adjacent vehicle's rear tire would be placed. (66-1-4.1.B NMSA 1978)
6. Please provide details for all the existing and proposed ADA ramps.
7. ADA curb ramps must be updated to current standards and have truncated domes installed.
8. Key note 17: please reference COA std dwg 2430 for the proposed sidewalk.
9. Motorcycle parking spaces shall be designated by its own conspicuously posted upright sign, either free-standing or wall mounted per the zoning code.

CITY OF ALBUQUERQUE

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10. The pavement marking "MC" should be shown in the opposite direction for Motorcycles entering the parking space.
11. All bicycle racks shall be designed according to the following guidelines:
 - a. The rack shall be a minimum 30 inches tall and 18 inches wide.
 - b. The bicycle frame shall be supported horizontally at two or more places. Comb/toaster racks are not allowed.
 - c. The rack shall be designed to support the bicycle in an upright position. See the IDO for additional information.
 - d. The rack allows varying bicycle frame sizes and styles to be attached.
 - e. The user is not required to lift the bicycle onto the bicycle rack.
 - f. Each bicycle parking space is accessible without moving another bicycle.
12. Bicycle racks shall be sturdy and anchored to a concrete pad.
13. A 1-foot clear zone around the bicycle parking stall shall be provided.
14. Bicycle parking spaces shall be at least 6 feet long and 2 feet wide.
15. Per the IDO, a 6 ft. wide ADA accessible pedestrian pathway is required from the public sidewalk to the building entrances. Please clearly show this pathway and provide details.
16. Refuse vehicle maneuvering shall be contained on-site. The refuse vehicle shall not back into the public right of way.; provide a copy of refuse approval.
17. Provide a copy of Fire Marshal approval.
18. Please specify the City Standard Drawing Number when applicable.
19. Add a note stating "All broken or cracked sidewalk must be replaced with sidewalk and curb & gutter." A build note must be provided referring to the appropriate City Standard drawing.
20. Please provide a letter of response for all comments given.

Once corrections are complete resubmit

1. The Traffic Circulation Layout
2. A Drainage Transportation Information Sheet (DTIS)
3. Send an electronic copy of your submittal to PLNDRS@cabq.gov.
4. The \$75 re-submittal fee.

for log in and evaluation by Transportation.

If you have any questions, please contact me at (505) 924-3675.

Sincerely,

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

Sincerely,

Marwa Al-najjar
Associate Engineer, Planning Dept.
Development Review Services

\ma via: email
C: CO Clerk, File

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

Project Title: Improvements to AMAFCA Offices **Building Permit #** **Hydrology File #** H16DO86

DRB# 2022-007442 **EPC#**

Legal Description: Tract B of Sandia Foundation, AMAFCA Subdivision **City Address OR Parcel** 2600 Prospect NE

Applicant/Agent: Molzen Corbin **Contact:** Jeremy Alford

Address: 2701 Miles Road SE **Phone:** 505-242-5700

Email: jalford@molzencorbin.com

Applicant/Owner: AMAFCA **Contact:** Willie West

Address: 2600 Prospect NE **Phone:** 505-884-2215

Email: wwest@amafca.org

TYPE OF DEVELOPMENT: PLAT (#of lots) RESIDENCE DRB SITE ADMIN SITE: X

RE-SUBMITTAL: YES X NO

DEPARTMENT: X TRANSPORTATION HYDROLOGY/DRAINAGE

Check all that apply:

TYPE OF SUBMITTAL:

- ENGINEER/ARCHITECT CERTIFICATION
- PAD CERTIFICATION
- CONCEPTUAL G&D PLAN
- GRADING PLAN
- DRAINAGE REPORT
- DRAINAGE MASTER PLAN
- FLOOD PLAN DEVELOPMENT PERMIT APP.
- ELEVATION CERTIFICATE
- CLOMR/LOMR
- X TRAFFIC CIRCULATION LAYOUT (TCL)
- ADMINISTRATIVE
- TRAFFIC CIRCULATION LAYOUT FOR DRB APPROVAL
- TRAFFIC IMPACT STUDY (TIS)
- STREET LIGHT LAYOUT
- OTHER (SPECIFY)
- PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- X BUILDING PERMIT APPROVAL
- CERTIFICATE OF OCCUPANCY
- CONCEPTUAL TCL DRB APPROVAL
- PRELIMINARY PLAT APPROVAL
- SITE PLAN FOR SUB'D APPROVAL
- SITE PLAN FOR BLDG PERMIT APPROVAL
- FINAL PLAT APPROVAL
- SIA/RELEASE OF FINANCIAL GUARANTEE
- FOUNDATION PERMIT APPROVAL
- GRADING PERMIT APPROVAL
- SO-19 APPROVAL
- PAVING PERMIT APPROVAL
- GRADING PAD CERTIFICATION
- WORK ORDER APPROVAL
- CLOMR/LOMR
- FLOOD PLAN DEVELOPMENT PERMIT
- OTHER (SPECIFY)

DATE SUBMITTED: 9/9/2022



LEGAL DESCRIPTION

HOTEL: HOLIDAY INN
EXPRESS
ZONE: NR-C

MOLZENCORBIN

NOTICE OF EXTENDED PAYMENT PROVISION:
THIS CONTRACT ALLOWS THE OWNER TO MAKE
PAYMENT WITHIN 45 DAYS AFTER SUBMISSION OF
AN UNDISPUTED REQUEST FOR PAYMENT

PRELIMINARY
NOT FOR
CONSTRUCTION

[illegible]

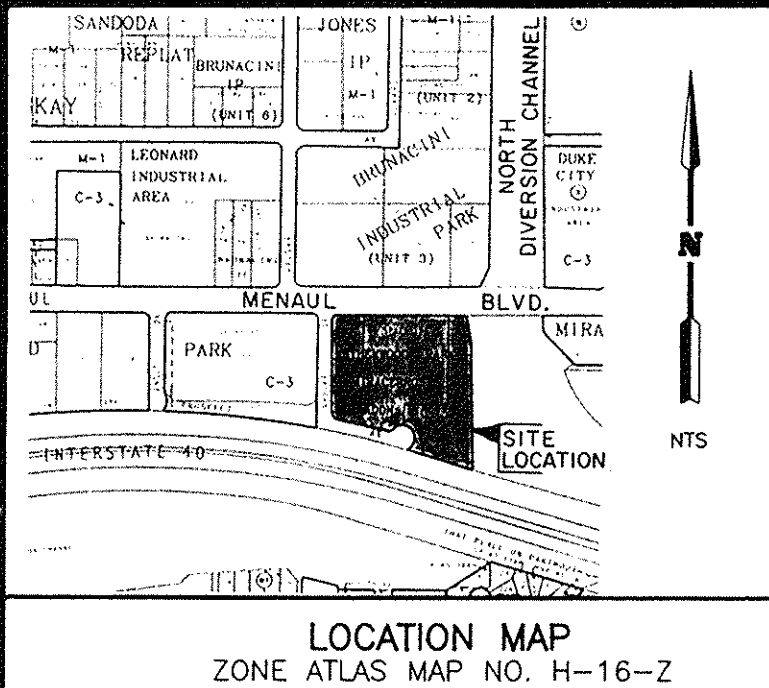
TRAFFIC CIRCULATION LAYOUT (TCL)

IMPROVEMENTS TO AMAFCA OFFICES
AMAFCA
2600 PROSPECT AVE, NE ALBUQUERQUE, NEW MEXICO
87107

A-003

SHEET

© COPYRIGHT



LOCATION MAP
ZONE ATLAS MAP NO. H-16-Z

SUBDIVISION DATA

1. CASE NO.: DRB-94-130
2. ZONE ATLAS INDEX NO.: H-16-Z
3. GROSS SUBDIVISION ACREAGE: 6.6682 ACRES
4. TOTAL NUMBER OF TRACTS CREATED: 2 TRACTS
5. DATE OF SURVEY: JANUARY, 1994
6. TALOS LOG NO.: SP-9401-1814-570296

NOTES:

1. BEARINGS SHOWN ARE PLAT BEARINGS AS SHOWN ON PLAT OF TRACTS A, B, C & D, A REPLAT OF PORTION OF BLOCKS U & V OF NETHERWOOD PARK AND BLOCK 13 OF MIRACERROS ADDITION IN THE CITY OF ALBUQUERQUE, NEW MEXICO (C10-151). ROTATE BEARINGS SHOWN 00°06'36" COUNTER-CLOCKWISE TO OBTAIN NEW MEXICO STATE PLANE GRID BEARINGS (CENTRAL ZONE).
2. DISTANCES ARE GROUND DISTANCES.
3. UNLESS OTHERWISE INDICATED, ALL BOUNDARY CORNERS SHOWN THUS ARE MARKED WITH AN IRON STAKE SURMOUNTED WITH A CAP STAMPED "P.S. 10464".
4. THE DATA SHOWN HEREON IS FROM AN ACTUAL FIELD SURVEY.
5. THE PURPOSE OF THIS PLAT IS TO CREATE TWO (2) TRACTS OF LAND AND TO DEDICATE ADDITIONAL RIGHTS-OF-WAY FOR THE NORTH DIVERSION CHANNEL.

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

1. The Public Service Company of New Mexico for the installation, maintenance, and service of overhead and underground electrical lines, transformers, poles and any other equipment, fixtures, structures and related facilities reasonably necessary to provide electrical service.
2. Jones Intercable for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable TV service.
3. U.S. West for the installation, maintenance, and service of all buried and aerial communication lines and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and closures.
4. The Gas Company of New Mexico for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.

Included is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code caused by construction of pools, decking, or any structures adjacent to, within or near easements shown on this plat.

P.N.M. DISCLAIMER

By approving this document, P.N.M. does NOT waive or release any easements or easement rights (other than those released by this plat) which may have been granted by prior plat, replat or document.

Plat & Survey By:
ALBUQUERQUE SURVEYING CO. INC., 2119 Menaul Blvd. N.E., Albuquerque, New Mexico 87107 Ph. (505) 884-2036

LEGAL DESCRIPTION

Being that certain parcel of land situated within Section 10, Township 10 North, Range 3 East, New Mexico Principal Meridian, Albuquerque, Bernalillo County, New Mexico, and being identified as Tracts A, B, C, & D, Netherwood Park Addition, as said Tracts A, B, C & D are shown and designated on plat of "TRACTS 'A' 'B' 'C' & 'D', A Replat of Portion of BLOCKS 'U' & 'V' OF NETHERWOOD PARK AND BLOCK 13 OF MIRACERROS ADDITION IN THE CITY OF ALBUQUERQUE, NEW MEXICO", filed in the office of the County Clerk of Bernalillo County, New Mexico, on August 27, 1975, in Volume C10, Folio 151, and being more particularly described by metes and bounds survey as follows:

Beginning at the northeast corner of the parcel of land herein described, being the point at the intersection of the southerly right-of-way line of Menaul Blvd., NE and westerly right-of-way line of North Diversion Channel, whence the ACS/NMSHC Control Station "I-40-12" bears N. 54° 11' 36" E., 95.20 feet distance; thence,

S. 10° 23' 00" E., 143.26 feet distance to a point; thence,
S. 04° 51' 00" E., 168.90 feet distance to a point; thence,
S. 05° 25' 30" W., 294.94 feet distance to the southeast corner of the parcel of land herein described being the point at the intersection of the northerly right-of-way line of Coronado Freeway (I-40) and the westerly right-of-way line of North Diversion Channel; thence,
N. 74° 07' 10" W., 242.92 feet distance to the point of tangency; thence,
Northwesterly, 81.68 feet distance along the arc of a curve bearing to the left (said arc having a radius of 3,969.72 feet, a central angle of 01° 10' 43" and a chord which bears N. 74° 42' 32" W., 81.68 feet distance) to the point on curve; thence,

Northwesterly, 166.03 feet distance along the arc of a curve bearing to the left (said arc having a radius of 40.00 feet, a central angle of 237° 48' 41" and a chord which bears N. 14° 12' 14" W., 70.03 feet distance) to the point of reverse curvature; thence,

Southwesterly, 24.89 feet distance along the arc of a curve bearing to the right (said arc having a radius of 25.00 feet, a central angle of 57° 01' 56" and a chord which bears S. 75° 24' 12" W., 23.87 feet distance) to the point of reverse curvature; thence,

Northwesterly, 204.63 feet distance along the arc of a curve bearing to the left (said arc having a radius of 4,019.72 feet, a central angle of 02° 55' 00" and a chord which bears N. 77° 32' 10" W., 204.60 feet distance) to the point of reverse curvature; thence,

Northwesterly, 34.64 feet distance along the arc of a curve bearing to the right (said arc having a radius of 25.00 feet, a central angle of 79° 23' 39" and a chord which bears N. 39° 17' 50" W., 31.94 feet distance) to the point of tangency being the southwest corner of the parcel of land herein described and a point on the easterly right-of-way line of Vassar Drive NE; thence,
N. 00° 24' 00" E., 359.95 feet distance to the point of curvature; thence,
Northeasterly, 39.13 feet distance along the arc of a curve bearing to the right (said arc having a radius of 25.00 feet, a central angle of 89° 40' 30" and a chord which bears N. 45° 14' 15" E., 35.25 feet distance) to the point of tangency being the northwest corner of the parcel of land herein described and a point on the southerly right-of-way line of Menaul Blvd., NE; thence,

S. 89° 55' 30" E., 532.95 feet distance to the northeast corner and point of beginning of the parcel of land herein described and containing 290,467 square feet (6.6682 acres), more or less.

OWNER'S CERTIFICATE

I/WE, THE UNDERSIGNED, JOHN PEROVICH, CHAIRMAN OF THE BOARD OF DIRECTORS, SANDIA FOUNDATION, A NON-PROFIT NEW MEXICO CORPORATION AND LARRY BLAIR, EXECUTIVE ENGINEER, ALBUQUERQUE METROPOLITAN ARROYO FLOOD CONTROL AUTHORITY (A.M.A.F.C.A.), OWNER(S) AND PROPRIETOR(S) OF THE PROPERTY SHOWN HEREON, HEREBY CERTIFY THAT THIS PLAN OF SUBDIVISION IS WITH FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE SUBDIVIDER(S), ADOPT THIS PLAN OF SUBDIVISION, GRANT ANY EASEMENT SHOWN FOR THE PURPOSE NOTED AND DEDICATE ADDITIONAL RIGHTS-OF-WAY AS SHOWN. I/WE THE OWNER(S) OF THE PROPERTY SHOWN HEREON IN FEE SIMPLE, DULY AUTHORIZED SO TO ACT.

FOR TRACT A, SANDIA FOUNDATION - A.M.A.F.C.A. SUBDIVISION

BY: John Perovich 2/16/94
JOHN PEROVICH, Chairman of the Board of Directors
SANDIA FOUNDATION, a non-profit New Mexico Corp. DATE

ACKNOWLEDGEMENT

STATE OF New Mexico ss.
COUNTY OF Bernalillo

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME
ON 16 DAY OF March
19 94, BY JOHN PEROVICH
OFFICIAL SEAL
PATRICIA A. JOHNSON
MY COMMISSION EXPIRES 7-95
STATE OF NEW MEXICO
NOTARY PUBLIC
FOR TRACT B, SANDIA FOUNDATION - A.M.A.F.C.A. SUBDIVISION

BY: Larry Blair 10 Feb 94
LARRY BLAIR, Executive Engineer, A.M.A.F.C.A. DATE
2600 Prospect Ave., N.E.
Albuquerque, New Mexico 87107

ACKNOWLEDGEMENT

STATE OF New Mexico ss.
COUNTY OF Bernalillo

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME
ON Tenth DAY OF February
19 94, BY LARRY BLAIR, Executive Engineer of the
Albuquerque Metropolitan Arroyo Flood Control Authority
a political subdivision of the State of New Mexico
MY COMMISSION EXPIRES: 29 May 1996
NOTARY PUBLIC

94038591

PLAT OF

TRACTS A & B

SANDIA FOUNDATION - A.M.A.F.C.A.
SUBDIVISION

ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
JANUARY 1994

State of New Mexico ss.
County of Bernalillo
This instrument was filed for record on

150 MAR 23 1994 -
At 9:00 clock P.M. Recorded in Vol. 94C
of records of said County Folio 96

APPROVED AND ACCEPTED BY:

Deputy Clerk
5P-99-51
SUBDIVISION PLAT NO.

Jack Cloud
PLANNING DIRECTOR
ALBUQUERQUE/BERNALILLO COUNTY DEVELOPMENT
REVIEW BOARD

Frank J. Jorgin
CITY ENGINEER

Larry A. Blair
A.M.A.F.C.A.

Richard Brink
TRAFFIC ENGINEER

Robert W. Karne
UTILITIES DEVELOPMENT DIVISION
CITY OF ALBUQUERQUE PUBLIC WORKS

Carmen Chavez
PARKS AND RECREATION

Will Chub
PROPERTY MANAGEMENT

N/A
CITY SURVEYOR

N/A
COUNTY OF BERNALILLO
PUBLIC WORKS DEPARTMENT

Paul J. Schell
PUBLIC SERVICE COMPANY OF NEW MEXICO

Matt Weatherly
U.S. WEST COMMUNICATIONS

Joe Dunlap
GAS COMPANY OF NEW MEXICO

Karen Shum
JONES INTERCABLE, INC.

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC#:

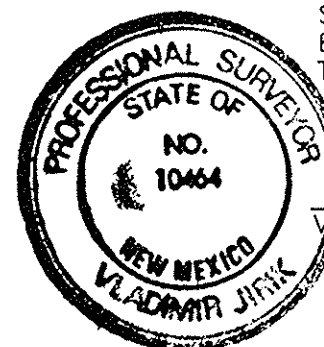
1-016-059-240239-32302/1-016-059-269244-32304/1-016-059-261241-32301

PROPERTY OWNER OF RECORD: A.M.A.F.C.A. & Sandia Foundation

BERNALILLO COUNTY TREASURER'S OFFICE: A.O. 11/85
1-016-059-223250-32303

SURVEYOR'S CERTIFICATION

I, VLADIMIR JIRIK, A DULY QUALIFIED PROFESSIONAL SURVEYOR REGISTERED UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THIS PLAT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION, SHOWS ALL EASEMENTS MADE KNOWN TO ME BY THE OWNER, UTILITY COMPANIES OR OTHER PARTIES EXPRESSING AN INTEREST AND THAT THE SURVEY MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE AND THE BERNALILLO COUNTY SUBDIVISION ORDINANCE AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.



Vladimir Jirik
VLADIMIR JIRIK, N.M.P.S. NO. 10464

2/10/94
DATE

SHEET 1 OF 2

94C-96(2)

94038591 PLAT OF
TRACTS A & B
SANDIA FOUNDATION - A.M.A.F.C.A.
SUBDIVISION

ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

State of New Mexico } SS
County of Bernalillo } JANUARY 1994

This instrument was filed for record on

230 MAR 23 1994
At 2 o'clock P.M. Recorded in Vol. 96
of records of said County Filed
Judy D. Anderson, Clerk & Recorder
Deputy Clerk

N

SCALE: 1" = 50'

50 25 0 50

DEDICATED TO AMAFCA AS DRAINAGE R.O.W.
BY THE FILING OF THIS PLAT
12,087 SQ. FT.
0.2775 ACRE

SURVEYOR'S CERTIFICATION

I, VLADIMIR JIRIK, A DULY QUALIFIED PROFESSIONAL SURVEYOR
REGISTERED UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY
CERTIFY THAT THIS PLAT WAS PREPARED BY ME OR UNDER MY DIRECT
SUPERVISION, SHOWS ALL EASEMENTS MADE KNOWN TO ME BY THE OWNER,
UTILITY COMPANIES OR OTHER PARTIES EXPRESSING AN INTEREST AND THAT
THE SURVEY MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND
SURVEYS OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE AND THE
BERNALILLO COUNTY SUBDIVISION ORDINANCE AND IS TRUE AND CORRECT
TO THE BEST OF MY KNOWLEDGE AND BELIEF.

Vladimir Jirik
VLADIMIR JIRIK, N.M.F.S. NO. 10464

2/10/94
DATE

SHEET 2 OF 2

717P5

MENAU BLVD. N.E.
(100' R/W)

VASSAR DR. N.E.
(60' R/W)

NORTH DIVERSION CHANNEL
(R/W VARIES)

PROSPECT AVE. N.E.
(50' R/W)

CORONADO FREEWAY (I-40)
(R/W VARIES)

CURVE DATA					
CURVE	RADIUS	LENGTH	DELTA	CHORD (BRNG., DIST.)	
C1	3969.72'	81.68'	01°10'43"	N. 74°42'32"W.	81.68'
C2	40.00'	166.03'	237°48'41"	N. 14°12'14"W.	70.03'
C3	25.00'	24.89'	57°01'56"	S. 75°24'12"W.	23.87'
C4	4019.72'	204.63'	02°55'00"	N. 77°32'10"W.	204.60'
C5	25.00'	34.64'	79°23'39"	N. 39°17'50"W.	31.94'
C6	25.00'	39.13'	89°40'30"	N. 45°14'15"E.	35.25'
C7	40.00'	63.22'	90°33'41"	N. 87°48'43"W.	56.87'
C8	40.00'	102.80'	147°15'00"	N. 31°05'48"E.	76.75'

Plat & Survey By:
ALBUQUERQUE SURVEYING CO. INC., 2119 Menaul Blvd. N.E., Albuquerque, New Mexico 87107 Ph. (505) 884-2036

94C-96(2)

94C-96(2)