

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

August 5, 2022

Becca Snyder, RA
Barbara Felix Architecture + Design
511 Agua Fria St.
Santa Fe, NM 87501

Re: Blake's Lotaburger #27 Drive-Thru
2301 Carlisle Blvd. NE
Traffic Circulation Layout
Architect's Stamp 06-30-2022 (H16-D106)

Dear Mr. Duran,

The TCL submittal received 07-01-2022 is approved for Building Permit with. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Ernest Armijo, P.E.
Principal Engineer, Planning Dept.
Development Review Services

C: CO Clerk, File



June 30, 2022

Nilo Salgado Fernandez, P.E.
Senior Traffic Engineer, Planning Dept.
Development Review Services
City of Albuquerque
PO Box 1293
Albuquerque, NM 87103

RE: Blake's Lotaburger #27 Drive-Thru | Traffic Circulation Layout Review letter dated June 21, 2022.

Dear Nilo:

Thank you for the comments on the traffic circulation layout application for Blake's Lotaburger drive-thru addition proposed at 2301 Carlisle Blvd NE. See responses below and relevant drawing revisions attached. Items are numbered based on requested items from the letter.

1. Vicinity Map:
 - a. Vicinity Map provided on Sheet AS-104, titled, "Project Access"
2. Parking Requirements:
 - a. See Sheet AS-104, right column labeled, "Parking Requirements"
 - b. Total Parking Required: 24 Spaces (29 Provided)
 - c. Total Motorcycle Parking Required: 1 Space (1 Provided)
 - d. Bicycle Parking Required: 3 Spaces (3 Provided)
3. Stamped Drawings:
 - a. Attached AS-103 and AS-104 are signed and stamped by Rebecca Snyder, Registered Architect #: 5814
4. General Notes:
 - a. AS-101 is not needed for the Traffic Circulation Layout application, note has been removed.
5. Queuing Analysis:
 - a. Based on other similar Blake's stores with a drive thru the anticipated peak hours and queuing is as follows:
 - i. 7a – 9a: 20 cars/hour
 - ii. 11a – 1 p: 16 cars/hour
 - iii. 6p-7p: 12 cars/hour
 - b. Blake's has an average of 5.5 minutes from ordering to leaving. With a continuous flow of customers, Blake's has the capacity to serve 50 drive-thru customers using the first 8 stacking spaces (from order board to drive-thru window). Stacking is provided for 14 cars within the property line.
6. Proposed Drive-Thru Bypass:
 - a. Bypass has been replaced with keyway required for dead-end parking.
7. ADA Curb Ramp:
 - a. Keynotes 01, 02, and 03 added to refer to ADA Ramp configurations on AS-103.
8. Reference notes for proposed details:

- a. Keynotes added to clarify detail locations on the TCL plan.
- 9. Pavement Markings + Striping:
 - a. Refer to details D1, D2, and D3 on Sheet AS-103 for pavement marking details. Striping to be per layout on plan. Keynotes added to refer locations of specific details. Lettering height to be typical for all.
- 10. Easements + Rights of Way
 - a. Existing easements and rights of way are now identified on the plan, specifically:
 - i. Carlilse Boulevard + Median (R.O.W. Varies)
 - ii. 30' Joint Access Easement to the North
 - iii. 10' Public Utility Easement along the Eastern property line
 - iv. 30' Public Drainage Easement to the West
 - v. 20' AMAFCA Access Easement (within the Drainage Easement)
- 11. Carlilse Easements + Rights of Way
 - a. Carlilse Boulevard + Median (R.O.W. Varies)
 - b. Existing curb cut at 30' Joint Access Easement to remain. This access has been permitted through NMDOT for this project (due to its proximity to I-40)
- 12. Corner of Carlilse/Access Easement
 - a. Detectable Warning Surface (Truncated Domes) added at existing curb ramp to bring up ramp to ADA standards.
 - b. Additional sidewalk ramp provided for access onto Blake's property.
- 13. Motorcycle Parking Signage:
 - a. Free-Standing signage #03 added to read, "Motorcycle Parking Only." See detail A1/AS-103.
 - b. Pavement marking to read, "MC." See detail D3/AS-101.
- 14. Bicycle Racks
 - a. Bicycle rack specified meets the established guidelines. See Keynote 01 on Sheet AS-104 and Detail B4/AS-103.
- 15. Bicycle Rack Mounting
 - a. Bicycle rack will be sturdy and anchored to concrete pad, see detail B4/AS-103.
- 16. Bicycle Clear Area
 - a. Clear area of 1' around the parking stall is provided. See outline on TCL plan.
- 17. Bicycle Parking Spaces
 - a. (3) Bicycle parking spaces are provided, each sized at 6' x 2' with the required 1' clearance around this.
- 18. Drive Aisle Widths and Radii
 - a. Drive Aisle widths and radii provided on TCL plan.
- 19. Drive Aisle Dimensions
 - a. Main Circulation Road: 24' min. required: 30' Joint Access provided (Existing to Remain)
 - b. Two Way Traffic: 22' min. required: 25' provided in parking areas
 - c. Fire Lane: 20' min. required. Existing 25' Fire Lane to remain.
- 20. Turn Radii
 - a. Radii dimensions added for all turns. Existing fire truck path to remain, path now showing on the TCL.
- 21. Keyway for dead-end parking:

- a. See response to note 6, drive-thru bypass. This has been modified to eliminate complications to traffic flow and provide keyway for West lot.
 - b. Previously provided and to remain at East Lot
- 22. ADA Pedestrian Pathway
 - a. Pathway outlined on TCL plan. From the sidewalk along Carlisle, turn West and go down new curb ramp (Detail B3/AS-103) to cross parking lot along striped pedestrian walkway (Detail D1/AS-103) and up new curb ramp in existing island (Detail C3/AS-103) into building at existing Northeast entrance.
- 23. ADA Pedestrian Pathway
 - a. See note 22 above.
- 24. ADA Pedestrian Pathway (Adjacent to parking space)
 - a. New curb ramp provided in existing island (Detail C3/AS-103). Existing curb to remain alongside parking space.
- 25. Barrier Curb
 - a. Curbs called out in key locations per keynotes 11 and 12.
 - b. Added keynote 11 to read as follows, "Barrier Curb – See Civil detail sheet C2"
 - c. Added keynote 12 to read as follows, "Existing Barrier Curb to remain"
- 26. Barriers at Parking
 - a. Keynote 12 added at parking locations abutting landscape (parking and landscape are existing to remain)
- 27. Refuse Approval
 - a. Dumpster Location is existing to remain. See response to comment 5, Queuing Analysis. 8 car stacking is expected for this store at peak times, 14 car stacking is provided.
- 28. Fire Department
 - a. Fire Lane location and paths are existing to remain.
- 29. One-Way Drive Signage:
 - a. See pavement marking locations on AS-104 TCL plan and details on D3/AS-103.
 - b. Signs 04 and 05 added to plan and site signage schedule.
- 30. Crosswalk Markings:
 - a. See detail D1/AS-103.
 - b. Curb on West side of crosswalk markings: See response to comment 24, existing curb to remain alongside parking at new curb ramp.
- 31. Intersection Sight Distance Exhibit
 - a. Provided per Detail, 3/AS-104. Area in prescribed triangle (per DPM) is free from any visual obstruction.
 - b. Note: this access has been recently permitted through NMDOT as part of this process (due to proximity to I-40)
- 32. Clear Sight Triangle
 - a. Clear sight triangle and notes moved to intersection of Access road and Carlisle.
- 33. Sidewalk Repair:
 - a. Broken and cracked sidewalk note added to existing sidewalk along Carlisle.

Please contact me at 505-820-1555 or becca.snyder@bjfelix.com if you have any question, concerns, or would like to discuss this information further.

Sincerely,

A handwritten signature in black ink, appearing to read "Becca Snyder".

Becca Snyder, AIA
Project Architect

CC: Ross Brown, Blake's Lotaburger, LLC
Johnny Barton, Brycon Construction

Attachments: Permit Application
Drawings: AS-103 (Site Details), AS-104 (TCL)
Shared Access Agreement



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2018)

Project Title: _____ **Building Permit #:** _____ **Hydrology File #:** _____

DRB#: _____ **EPC#:** _____ **Work Order#:** _____

Legal Description: _____

City Address: _____

Applicant: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Owner: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

TYPE OF SUBMITTAL: _____ PLAT (____# OF LOTS) _____ RESIDENCE _____ DRB SITE _____ ADMIN SITE

IS THIS A RESUBMITTAL?: _____ Yes _____ No

DEPARTMENT: _____ TRAFFIC/ TRANSPORTATION _____ HYDROLOGY/ DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- _____ ENGINEER/ARCHITECT CERTIFICATION
- _____ PAD CERTIFICATION
- _____ CONCEPTUAL G & D PLAN
- _____ GRADING PLAN
- _____ DRAINAGE MASTER PLAN
- _____ DRAINAGE REPORT
- _____ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- _____ ELEVATION CERTIFICATE
- _____ CLOMR/LOMR
- _____ TRAFFIC CIRCULATION LAYOUT (TCL)
- _____ TRAFFIC IMPACT STUDY (TIS)
- _____ OTHER (SPECIFY) _____
- _____ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

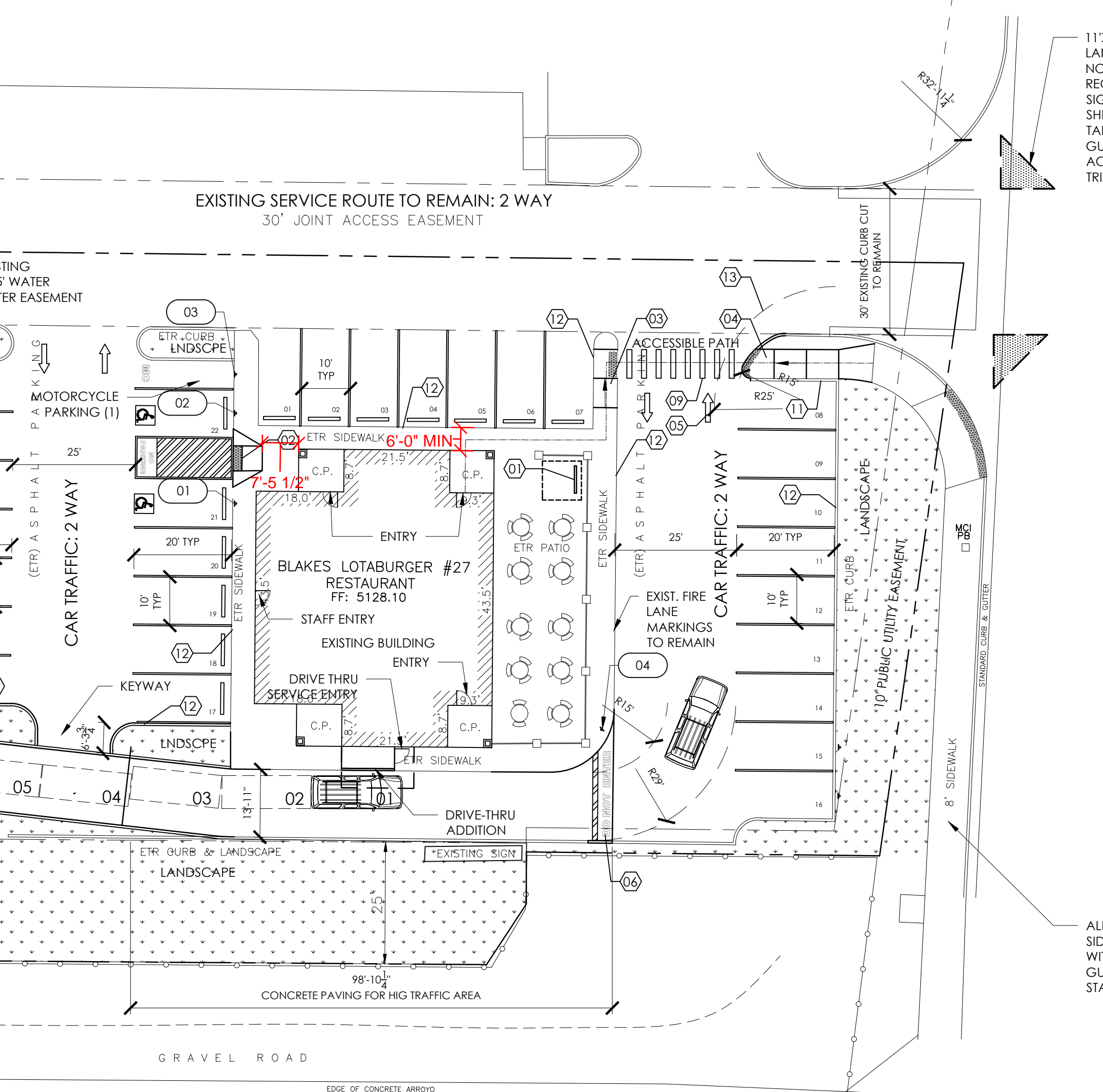
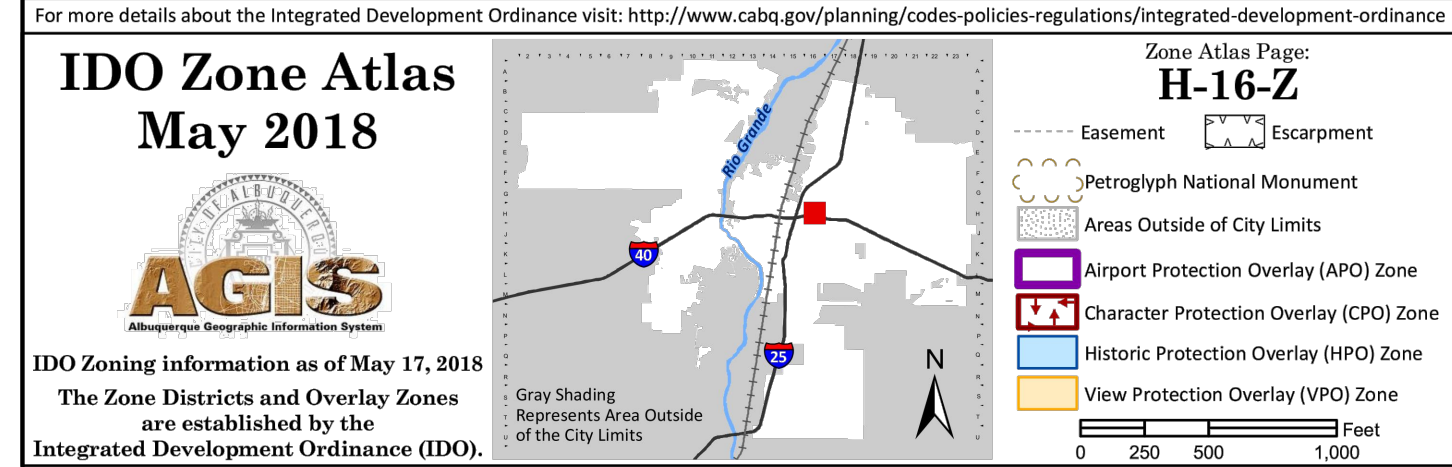
- _____ BUILDING PERMIT APPROVAL
- _____ CERTIFICATE OF OCCUPANCY
- _____ PRELIMINARY PLAT APPROVAL
- _____ SITE PLAN FOR SUB'D APPROVAL
- _____ SITE PLAN FOR BLDG. PERMIT APPROVAL
- _____ FINAL PLAT APPROVAL
- _____ SIA/ RELEASE OF FINANCIAL GUARANTEE
- _____ FOUNDATION PERMIT APPROVAL
- _____ GRADING PERMIT APPROVAL
- _____ SO-19 APPROVAL
- _____ PAVING PERMIT APPROVAL
- _____ GRADING/ PAD CERTIFICATION
- _____ WORK ORDER APPROVAL
- _____ CLOMR/LOMR
- _____ FLOODPLAIN DEVELOPMENT PERMIT
- _____ OTHER (SPECIFY) _____

DATE SUBMITTED: _____ **By:** _____

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____



**TRAFFIC CIRCULATION
LAYOUT APPROVED**

Ernest Armijo 8/5/2022
Signed Date

1. PROJECT MODIFIES THE EXISTING RESTAURANT BUILDING AND SITE BY AUGMENTING THE EXISTING STRUCTURE WITH A 35 SF ADDITION AND MODIFICATIONS TO THE SITE AND PARKING LOT TO ACCOMMODATE DRIVE-THRU SERVICE.
2. THE EXISTING PATIO DINING AREA WILL BE REDUCED IN SIZE AND A NEW DRIVE WAY WILL BE CONSTRUCTED ALONG THE SOUTH SIDE OF BUILDING CONNECTING THE EAST AND WAS PARKING LOTS.
3. THE EXISTING PARKING LOTS WILL BE RECONFIGURED TO PROVIDE A DRIVE-THRU LANE, (24) 10'0" X' 20'-0" PARKING SPACES AND TO ADD MOTORCYCLE AND BIKE PARKING.
4. THE EXISTING LANDSCAPE WILL BE REFRESHED WITH NEW PLANTINGS.
5. NO ANTICIPATED IMPACT ON ADJACENT SITES

2301 Carlisle Blvd. NE
Albuquerque, NM 87110

ISSUED		
MARK	DATE	DESCRIPTION
3	5/9/2022	TCL SUBMISSION
2	4/5/2022	ASI-02 PERMIT
1	03/11/2022	ASI-01
	02/09/2022	BIDDING

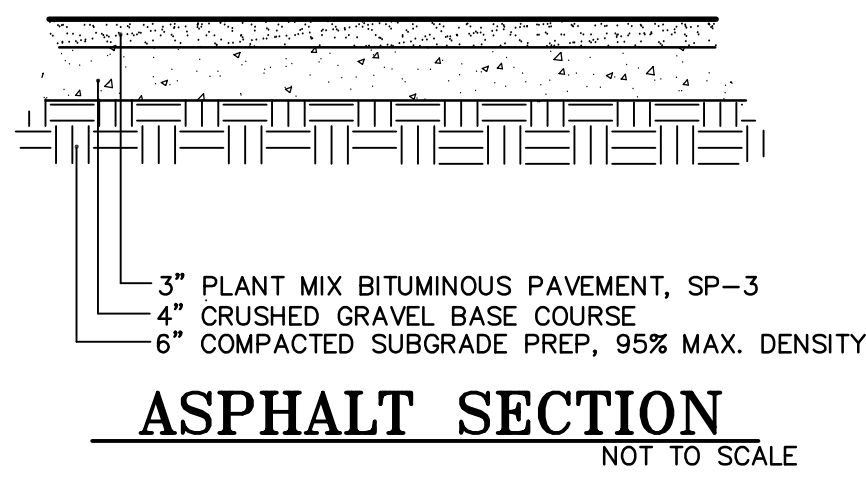
PROJECT NO.	21009
FILE NAME	27 SITE
DRAWN BY	SS
CHECKED BY	BJF

SITE PLAN-
TRAFFIC CIRCULATION LAYOUT

Sheet No.

AS-104

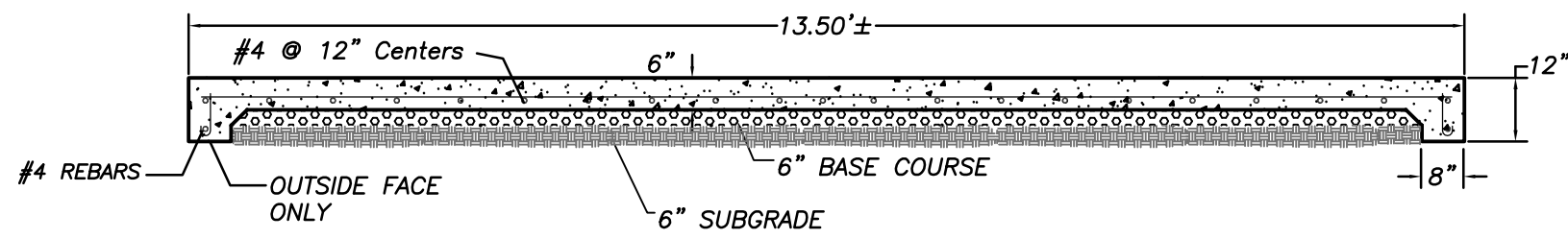
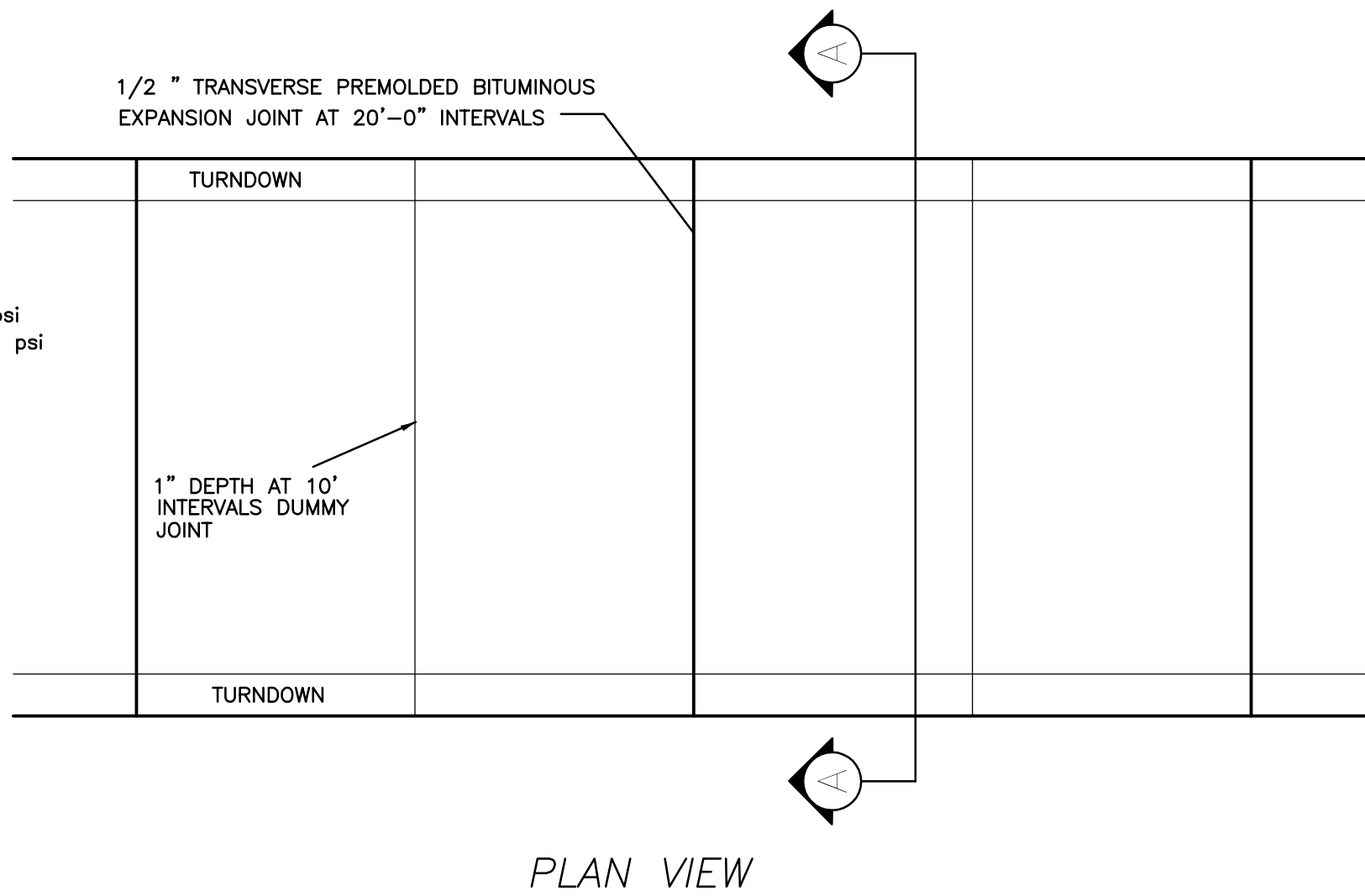
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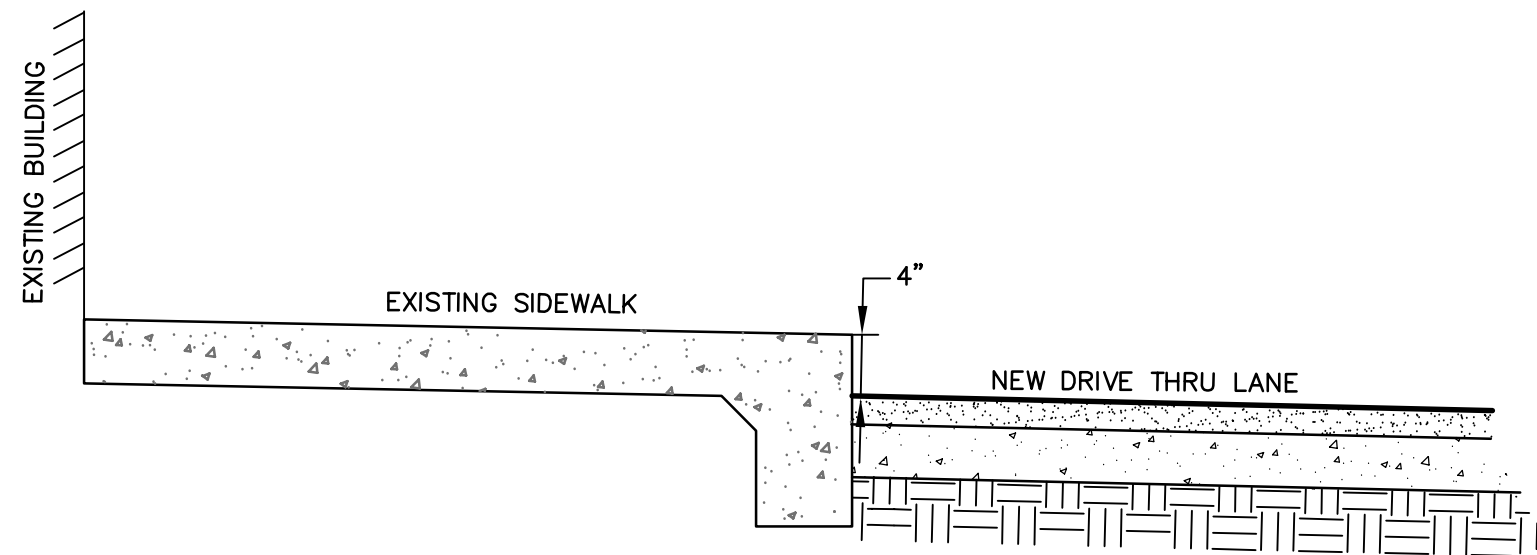
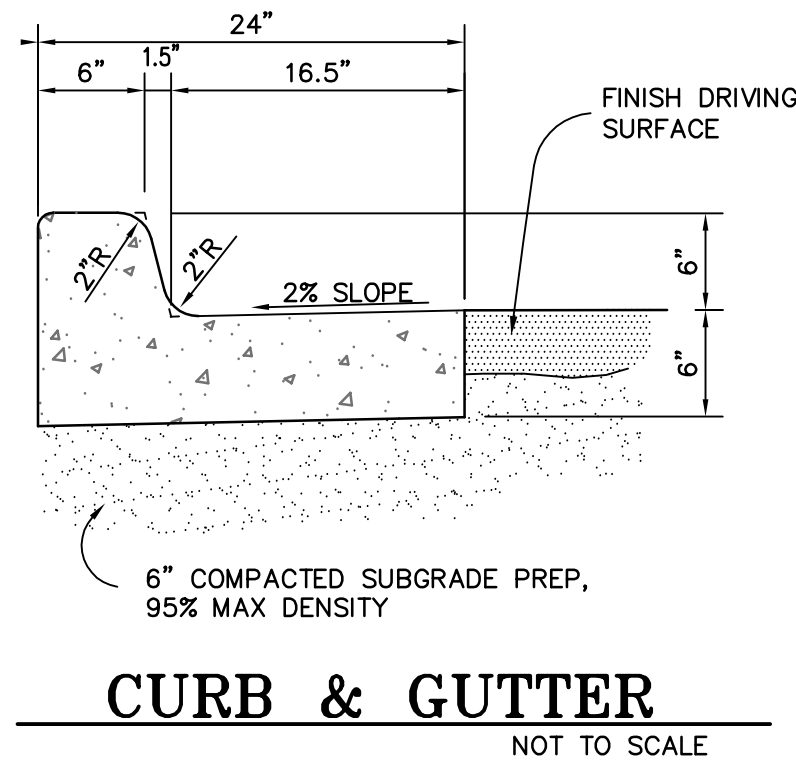
TRAFFIC CIRCULATION
LAYOUT APPROVED

Ernest Armijo 8/5/2022
Signed Date

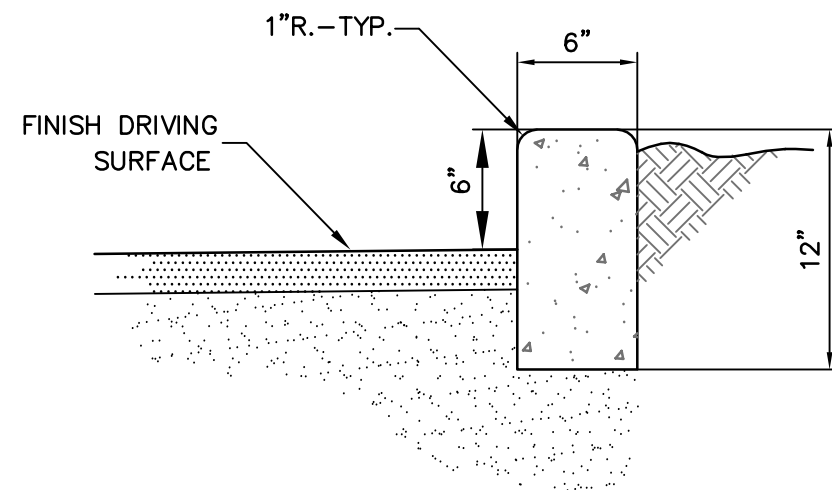
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Concrete F'c = 4,000 psi



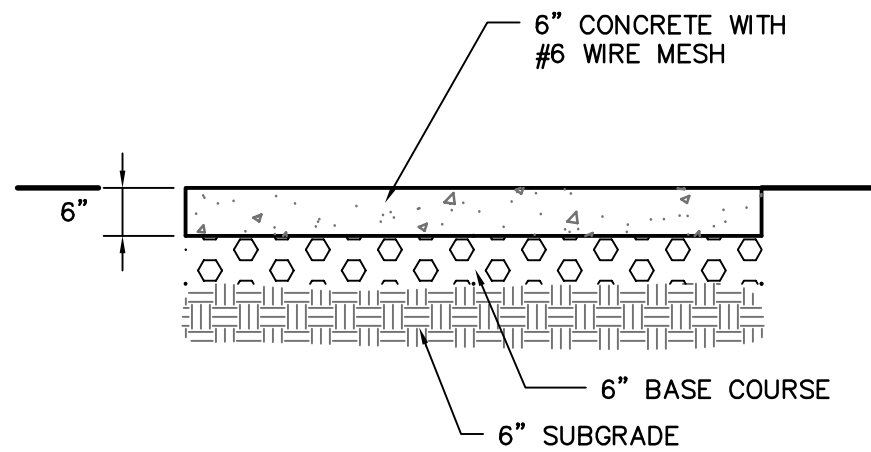
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CONCRETE DRIVE AISLE
NTS



SECTION A-A
NOT TO SCALE



HEADER CURB
NOT TO SCALE

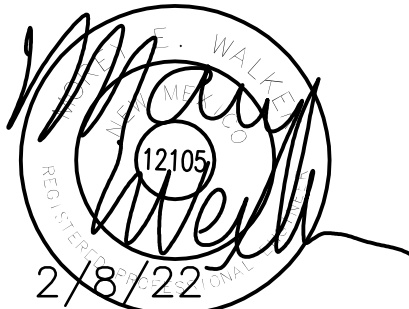


CONCRETE SECTION
N.T.S.

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Barbara Felix
Architecture + Design
511 Agua Fria Street, Santa Fe, NM 87501
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Blake's
LOTABURGER

BLAKE'S LOTABURGER
#27 DRIVE THROUGH

2301 CARLISE BLVD NE
ALBUQUERQUE, NM 87110

ISSUED

MARK	DATE	DESCRIPTION

PROJECT NO. 21-258

FEE NAME 258 GRADE

DRAWN BY P.L.B.

CHECKED BY M.E.W.

Sheet Name

DETAILS
AND DRAINAGE
CALCULATIONS

Sheet No.

C2

SHEET NO. ____ OF ____ SHEETS