

CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

August 17, 2022

Jim Clark, RA
Masterworks Architects Inc.
1809 Illinois St. NE
Albuquerque, NM 87110

Re: Gyro Shack Commissary
3210 Candelaria Rd. NE
Traffic Circulation Layout
Architect's Stamp 07-01-22 (H16-D111)

Dear Mr. Clark,

Based upon the information provided in your submittal received 07-07-22, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. Identify the right of way width, medians, curb cuts, and street widths on Candelaria Rd. NE.
2. Curn Return design is recommended as a driveway access off Candelaria Rd. please address this concern.
3. ADA Van parking stall width should be min. 8.5 ft.
4. ADA curb ramps must be updated to current standards and have truncated domes installed.
5. All bicycle racks shall be designed according to the following guidelines:
 - a. The rack shall be a minimum 30 inches tall and 18 inches wide.
 - b. The bicycle frame shall be supported horizontally at two or more places. Comb/toaster racks are not allowed.
 - c. The rack shall be designed to support the bicycle in an upright position. See the IDO for additional information.
 - d. The rack allows varying bicycle frame sizes and styles to be attached.
 - e. The user is not required to lift the bicycle onto the bicycle rack.
 - f. Each bicycle parking space is accessible without moving another bicycle.
6. Bicycle racks shall be sturdy and anchored to a concrete pad.
7. A 1-foot clear zone around the bicycle parking stall shall be provided.
8. Bicycle parking spaces shall be at least 6 feet long and 2 feet wide.
9. A 5 ft. keyway is required for dead-end parking aisles.
10. Refuse vehicle maneuvering shall be contained on-site. The refuse vehicle shall not back into the public right of way.; provide a copy of refuse approval.
11. Please provide a sight distance exhibit

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

12. Show the clear Intersection sight triangle and add the following note to the plan:
"Landscaping and signage will not interfere with clear sight requirements. Therefore, signs, walls, trees, and shrubbery between 3 and 8 feet tall (as measured from the gutter pan) will not be acceptable in the clear sight triangle. Please see attached Intersection sight triangle.
13. Please specify the City Standard Drawing Number when applicable.
14. Add a note stating "All broken or cracked sidewalk must be replaced with sidewalk and curb & gutter." A build note must be provided referring to the appropriate City Standard drawing.
15. Traffic Studies: See the Traffic Impact Study (TIS) thresholds. In general, a minimum combination of 100 Vehicles entering and exiting in the peak hour warrants a Traffic Impact Study. Visit with Traffic Engineer for determination, and fill out a TIS Form that states whether one is warranted. In some cases, a trip generation may be requested for determination (Contact Matt Grush: mgrush@cabq.gov).
16. Please provide a letter of response for all comments given.

PO Box 1293

Once corrections are complete resubmit

1. The Traffic Circulation Layout
2. A Drainage Transportation Information Sheet (DTIS)
3. Send an electronic copy of your submittal to PLNDRS@cabq.gov.
4. The \$75 re-submittal fee.

Albuquerque

for log in and evaluation by Transportation.

NM 87103

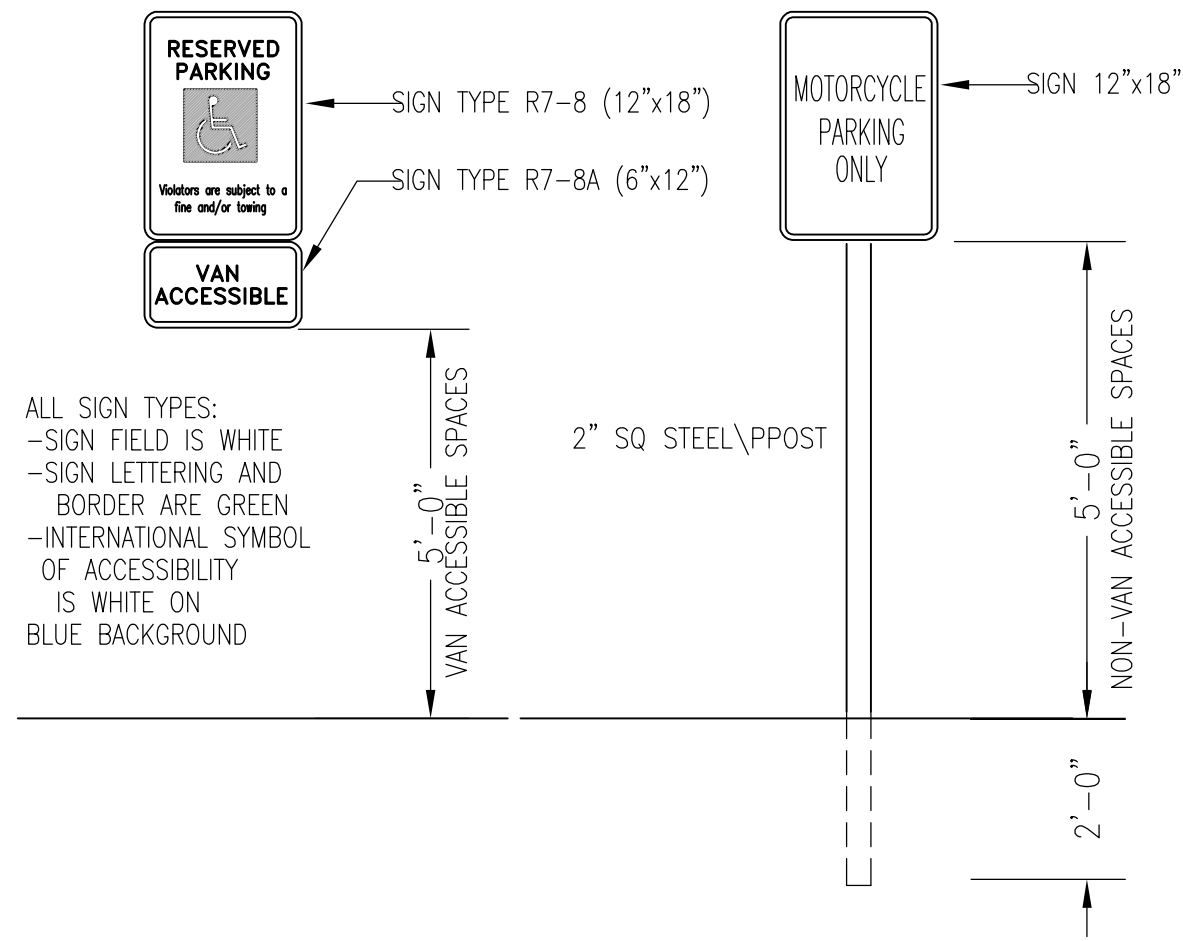
If you have any questions, please contact me at (505) 924-3675.

www.cabq.gov

Sincerely,

Marwa Al-najjar
Associate Engineer, Planning Dept.
Development Review Services

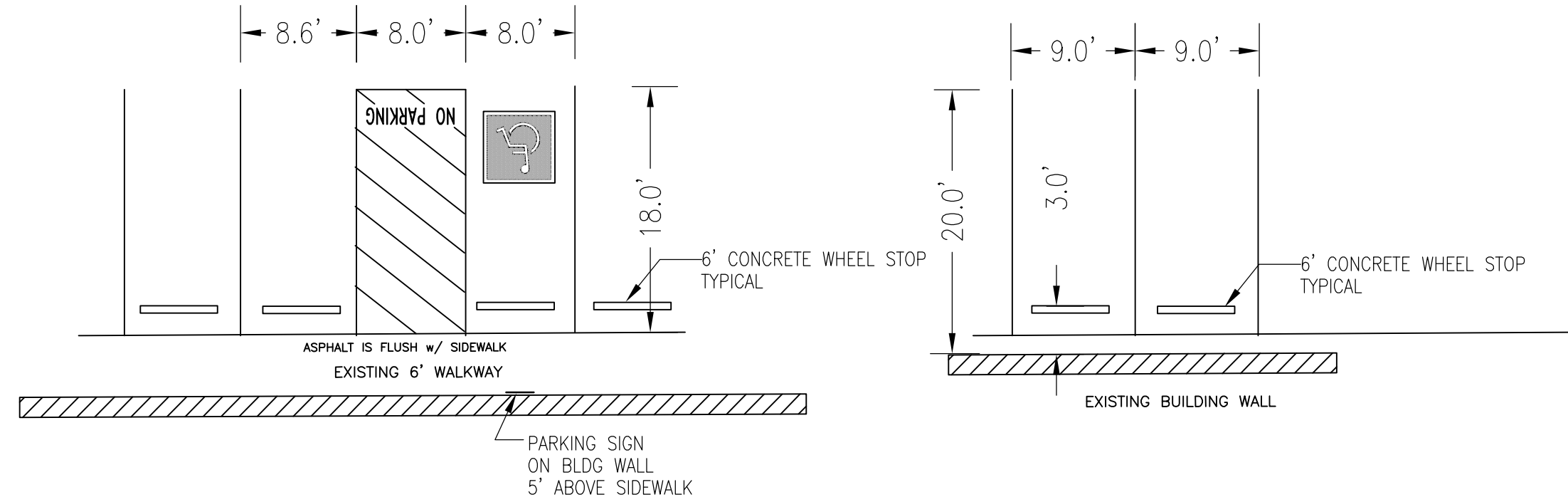
\ma via: email
C: CO Clerk, File



3 PARKING AREAS SIGNAGE

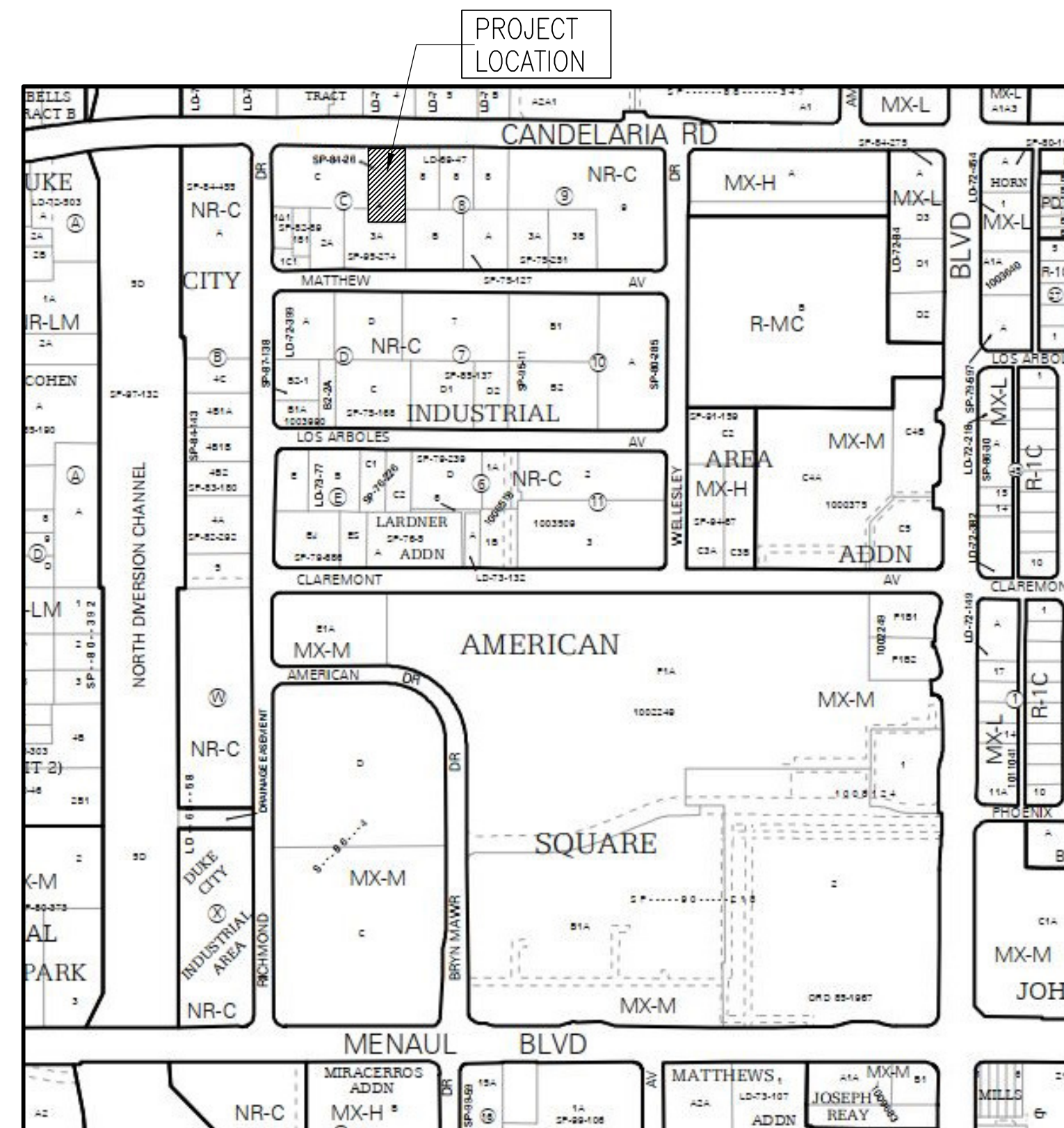
SCALE: NTS

NOTE:
PARKING SPACE LINES AND DIAGONAL STRIPES SHALL BE 4" WIDE, COLOR BLUE.
"NO PARKING" TEXT SHALL BE 12" HIGH W/ 2" STROKE, COLOR BLUE.
ACCESSIBLE SYMBOL SHALL BE COLOR WHITE ON A BLUE BACKGROUND.



4 PARKING SPACE STRIPING

SCALE: NTS



2 SITE LOCATION MAP

SCALE: 1" = 20.0'

BUILDING CODE REQUIREMENTS - I.B.C. 2015 TENANT IMPROVEMENTS

TOTAL BUILDING FLOOR AREA:	7,748.0 SF	(Section 202)
LEVEL 3 TENANT IMPROVEMENT		(I.E.B.C. Section 505)
CHANGE IN USE FROM MERCANTILE TO CATERING KITCHEN		(I.E.B.C. Chapter 10)
OCCUPIED FLOOR AREAS:		
OCCUPANCY GROUP:	FLOOR AREAS:	ALLOWABLE OCCUPANTS:
F-1 CMRCL KITCHEN >2,500 SF	3,800 SF	19 PERSONS @ 1/200 SF
B OFFICES, SUPPORT	2,348 SF	24 PERSONS @ 1/100 SF
S-1 REPAIR SHOP	1,600 SF	16 PERSONS @ 1/100 SF
TOTAL OCCUPANTS	7,748 SF	59 PERSONS

SCOPE OF WORK - TCL

- RESTRIPE EXISTING PARKING AND ACCESSIBLE PATHS
- INSTALL NEW PARKING AREA SIGNAGE
- CONSTRUCT NEW DUMPSTER PAD

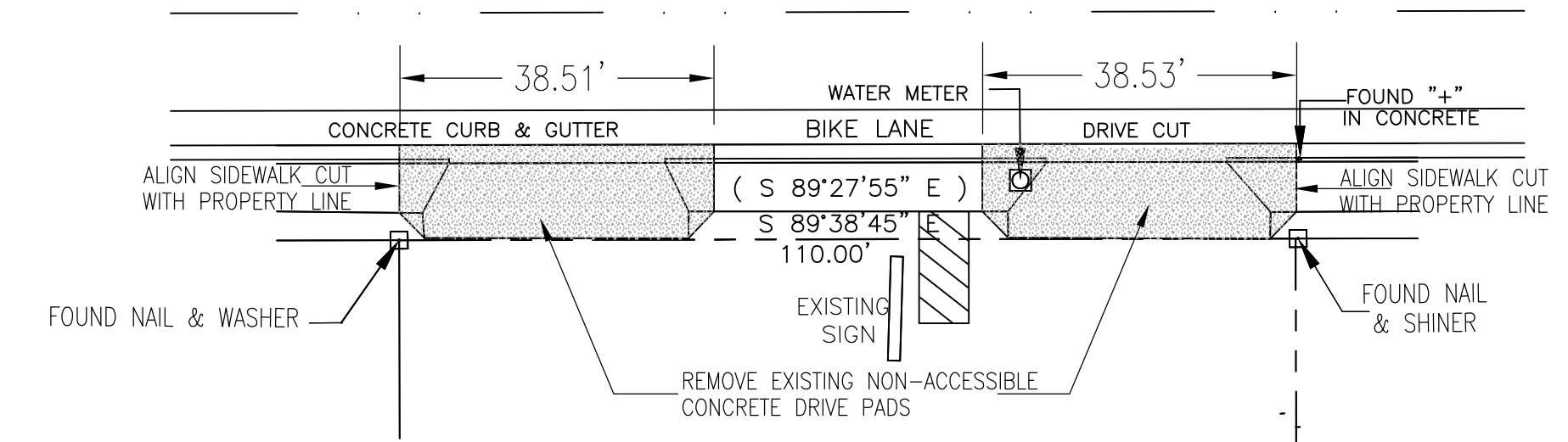
LEGAL DESCRIPTION

3210 CANDELARIA RD NE
LOT A BLOCK C DUKE CITY INDUSTRIAL AREA ADDN
UPC: 101605936051610714

ZONING: NR-C
ZONE MAP: H16

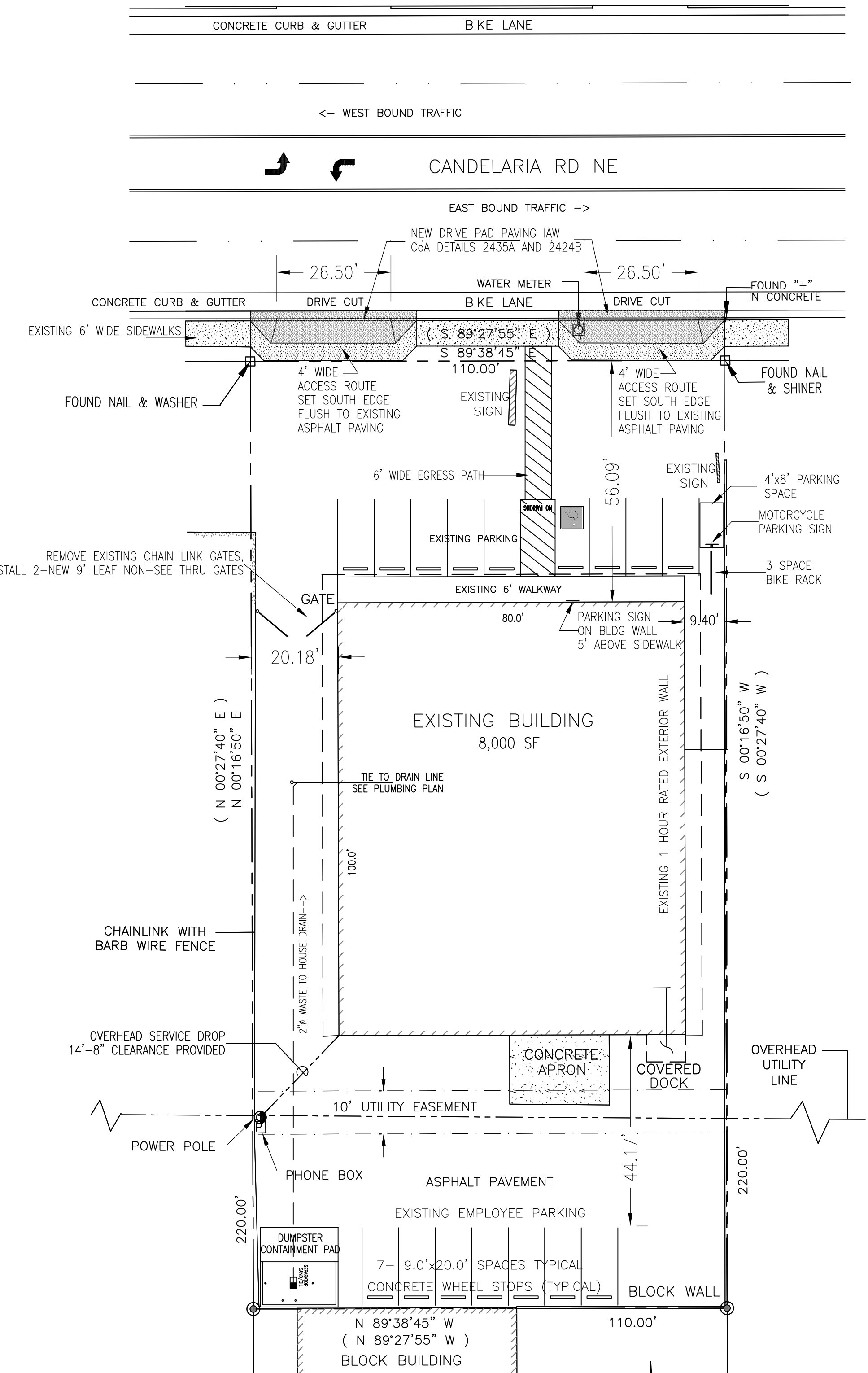
PARKING

CATERING SERVICE - 2 SPACES / 1,000 SF	EXISTING SPACES PROVIDED	16 SPACES
(8,000 / 1,000) x 2 = 16 SPACES	ACCESSIBLE	1 SPACE
EXISTING SPACES	MOTORCYCLES	1 SPACE
16 SPACES	BICYCLES	3 SPACES



5 EXISTING DRIVE PAD REMOVALS

SCALE: NTS



1 SITE LAYOUT PLAN

SCALE: 1" = 20.0'

MASTERWORKS ARCHITECTS, INC
1809 ILLINOIS ST NE 242-1866
ALBUQUERQUE, NEW MEXICO 87110

FILE # 2210BSITE
14 APR 2022

James B. Clark
1 JUL 2022
REGISTERED ARCHITECT
JAMES BENJAMIN CLARK III
1047

CHINAGE IN USE TENANT IMPROVEMENT
GYRO SHACK COMMISSARY
3210 CANDELARIA RD NE
ALBUQUERQUE, NM 87107

TRAFFIC CIRCULATION PLAN
DRIVE PAD DETAILS
LOCATION MAP

TCL