

EROSION CONTROL MEASURES

THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR MANAGEMENT OF STORM RUNOFF DURING CONSTRUCTION. HE SHALL ENSURE THAT THE FOLLOWING MEASURES ARE TAKEN:

- ADJACENT PROPERTY SHALL BE PROTECTED AT ALL TIMES BY CONSTRUCTION OF BERMS, DIKES, SWALES, PONDS, AND OTHER TEMPORARY GRADING AS REQUIRED TO PREVENT STORM RUNOFF FROM LEAVING THE SUBJECT SITE AND ENTERING ADJACENT PROPERTIES.
- ADJACENT PUBLIC RIGHT-OF-WAYS SHALL BE PROTECTED AT ALL TIMES FROM STORM WATER RUNOFF FROM THE SUBJECT SITE. NO SEDIMENT BEARING WATER SHALL BE PERMITTED TO ENTER PUBLIC STREET RIGHT-OF-WAYS.
- THE CONTRACTOR SHALL IMMEDIATELY AND THOROUGHLY REMOVE ANY AND ALL SEDIMENT FROM PUBLIC STREETS THAT HAS BEEN FLOODED FROM THE SUBJECT SITE AND DEPOSITED THEREON.

CONSTRUCTION NOTES

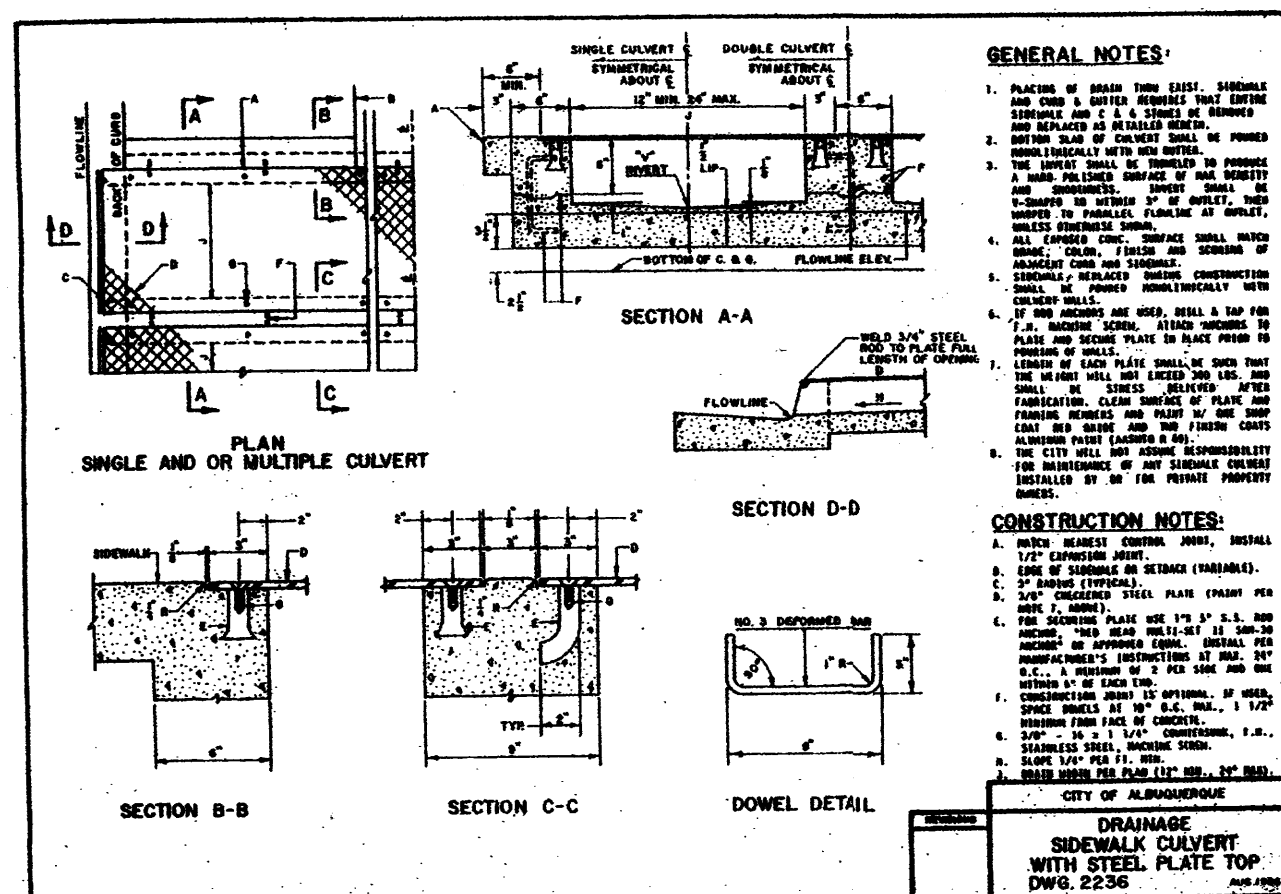
- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE AT 260-1990 FOR THE ACTUAL FIELD LOCATION OF THE EXISTING SURFACE OF SUB-SURFACE UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION(S) OF ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM OF DELAY.
- ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- ALL CONSTRUCTION WITHIN PUBLIC STREET RIGHT-OF-WAY(S) SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE/BERNALILLO COUNTY STANDARDS AND PROCEDURES.

GENERAL NOTES

- NO PERIMETER BOUNDARY CORNERS HAVE BEEN FIELD ESTABLISHED PER THIS SURVEY OF THE SUBJECT PROPERTY.
- NO SEARCH HAS BEEN MADE FOR EASEMENTS OF RECORD OTHER THAN SHOWN HEREON.

LEGEND

TOP OF CURB ELEVATION = $TC = 32.26$
 CURB FLOWLINE ELEVATION = $FL = 32.00$
 EXISTING SPOT ELEVATION = $SE = 32.25$
 EXISTING CONTOUR ELEVATION = $CE = 32.5$
 PROPOSED SPOT ELEVATION = $PE = 32.00$
 PROPOSED CONTOUR ELEVATION = $CE = 32.0$
 PROPOSED OR EXISTING CONCRETE SURFACE = $CS = 32.0$
 EXISTING FENCE LINE = $FL = 32.0$

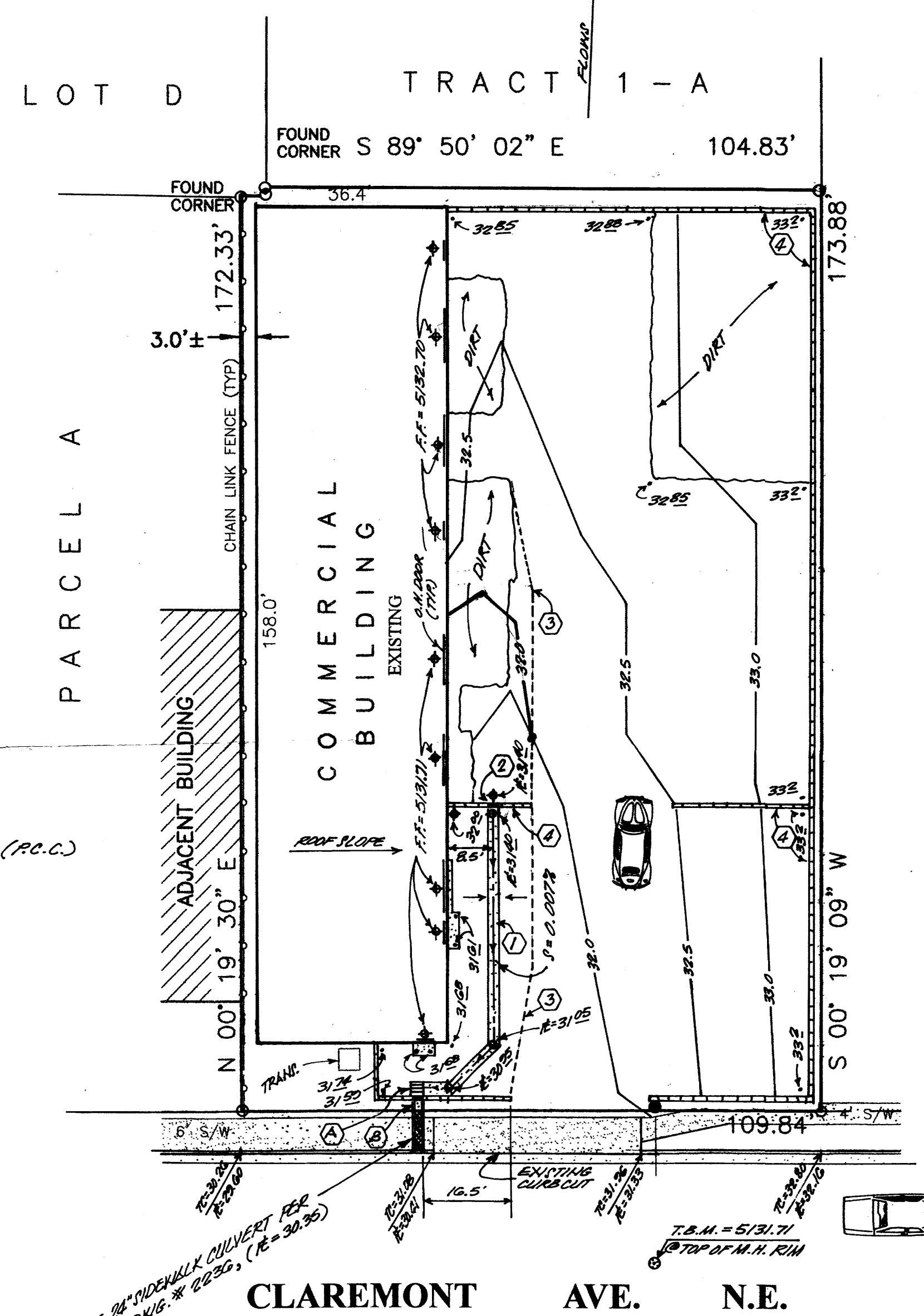


Drainage Facilities within City Right-of-Way Notice to Contractor

- An excavation permit will be required before beginning any work within City Right-Of-Way.
- All work on this project shall be performed in accordance with applicable federal, state and local laws, rules and regulations concerning construction safety and health.
- Two working days prior to any excavation, the contractor must contact the line locating service, New Mexico One Call 260-1990, for the location of existing utilities.
- Prior to construction, the contractor shall excavate and verify the locations of all obstructions. Should a conflict exist, the contractor shall notify the engineer so that the conflict can be resolved with a minimum amount of delay.
- Backfill compaction shall be according to traffic/street use.
- Maintenance of the facility shall be the responsibility of the owner of the property being served.
- Work on arterial streets shall be performed on a 24-hour basis.

APPROVALS	NAME	DATE
HYDROLOGY INSPECTOR		

NOTE: ALL WORK WITHIN PUBLIC EASEMENT SHALL BE PERFORMED UNDER SEPARATE PERMIT.



NOTES:

- PROVIDE CONCRETE VALLEY GUTTER
- PROVIDE 18" WIDE X 4" HIGH DRAINAGE IN BLOCK WALL FOR DRAINAGE.
- ASPHALT "BAY-CUT" LINE, REMOVE, RE-GRADE, & REPAVE AREA TO BUILDING AS SHOWN HEREON.
- EXISTING BLOCK WALL

UTILITY PRECAUTIONS

THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE, PIPELINE, OR UNDERGROUND UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES. IN PLANNING AND CONDUCTING EXCAVATION, THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES.

STORM INLET SECTION

NOTE: PROVIDE 18" WIDE X 4" HIGH DRAINAGE IN BLOCK WALL FOR FLOWING TO TROUGH.

LEGAL DESCRIPTION:

TRACT "1-B", BLOCK 6 & 11, DUKE CITY INDUSTRIAL AREA, ALBUQUERQUE, NEW MEXICO; (3229 CLAREMONT AVE. N.E.)

BENCH MARK REFERENCE:

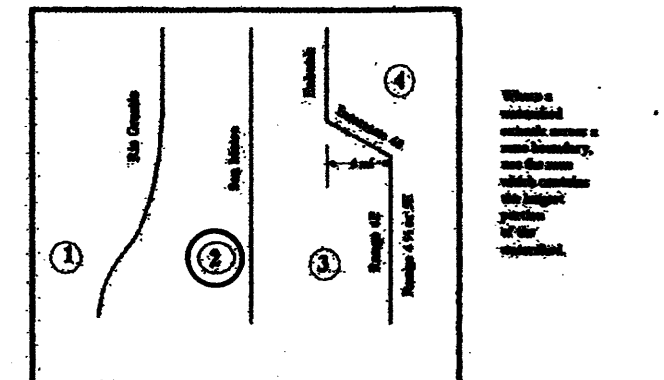
ACS STATION "1-G16", ELEVATION = 5119.150, (PROJECT BENCH MARK AS SHOWN ON PLAN HEREON).

A.1 PRECIPITATION ZONES

Bernalillo County's four precipitation zones are indicated in TABLE A-1 and on FIGURE A-1.

ZONE	LOCATION
1	West of the Rio Grande
2	Between the Rio Grande and San Mateo
3	Between San Mateo and Bernalillo, North of Interstate 40; and between San Mateo and the East boundary of Range 4 East, South of Interstate 40
4	East of Bernalillo, North of Interstate 40; and East of the East boundary of Range 4 East, South of Interstate 40

Zone	Intensity (IN/HR. at $t_c = 0.2$ hour)
1	4.70 (1.84, 3.14)
2	5.05 (2.04, 3.41)
3	5.38 (2.31, 3.65)
4	5.61 (2.34, 3.83)



Treatment	Land Condition
A	Soil uncompacted by human activity with 0 to 10 percent slopes. Native grasses, weeds and shrubs in typical densities with minimal disturbance to grading, groundcover and infiltration capacity. Crophands. Unflooded Arroyos.
B	Irrigated lawns, parks and golf courses with 0 to 10 percent slopes. Native grasses, weeds and shrubs, and soil uncompacted by human activity with slopes greater than 10 percent and less than 20 percent.
C	Soil uncompacted by human activity. Minimal vegetation. Improved parking, roads, trails. Most vacant lots. Gravel or rock on plastic (sheet) landscaping. Irrigated lawns and parks with slopes greater than 10 percent. Native grasses, weeds, and shrubs, and soil uncompacted by human activity with slopes at 20 percent or greater. Native grass, weed and shrub areas with clay or clay loam soils and other soils of very low permeability as classified by SCS Hydrologic Soil Group D.
D	Impervious areas, pavement and roofs.

Zone	Treatment	100-YR (2-YR, 10-YR)
1	A	1.29 (0.00, 0.24)
2	B	1.56 (0.00, 0.38)
3	C	1.87 (0.00, 0.38)
4	D	2.30 (0.05, 0.87)

DRAINAGE COMMENTS:

AS SHOWN ON THE VICINITY MAP HEREON, THE SUBJECT SITE IS LOCATED ON THE NORTH SIDE OF CLAREMONT AVENUE N.E. BETWEEN RICHMOND DRIVE N.E. AND WELLESLEY DRIVE N.E., IN THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, (ZONE ATLAS MAP "H-16-Z").

THE SUBJECT SITE IS PRESENTLY A DEVELOPED COMMERCIAL SITE THAT HAS EXISTING BUILDINGS AND ASPHALT PAVING THAT WILL BE PARTIALLY OVERLAPPED, (PORTION OF THE EXISTING ASPHALT PAVING WILL BE REMOVED, REGRADED, AND REPAVED AS SHOWN ON PLAN HEREON; THE SUBJECT SITE, 1) DOES NOT LIE WITHIN A DESIGNATED FLOODPLAIN PER F.E.M.A. PANEL 351 OF 8/25 2) DOES NOT ACCEPT OFFSITE FLOWS FROM ADJACENT PROPERTIES 3) DOES NOT CONTRIBUTE TO THE OFFSITE FLOWS OF ADJACENT PROPERTIES FROM THE EXISTING OR PROPOSED ASPHALT PAVING, 4) DOES NOT LIE ADJACENT TO A NATURAL OR ARTIFICIAL WATER COURSE, 5) IS TO FREE DISCHARGE THE FLOWS CREATED FROM SAID ASPHALT PAVING AS SHOWN HEREON.

DRAINAGE CALCULATIONS:

PER SECTION 22.2, HYDROLOGY OF THE DEVELOPMENT PROCESS MANUAL, VOLUME 2, DESIGN CRITERIA FOR THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, JANUARY 1993, AND PER BERNALILLO COUNTY STORM DRAINAGE ORDINANCE NO. 90-6.

SITE AREA: 0.44 ACRES

PRECIPITATION ZONE: TWO (2)
 PEAK INTENSITY: IN/HR. AT t_c = TWELVE (12) MINUTES, 100-YR. = 5.05, TABLE A-1
 "LAND TREATMENT METHOD" FOR CALCULATION OF "Qp", TABLES A-8 & A-9
 "LAND TREATMENT FACTORS", TABLE A-4

EXISTING CONDITIONS:

TREATMENT	AREA/ACRES	FACTOR	CFS
C	0.01	x 3.14	= 0.03
D	0.43	x 4.70	= 2.02

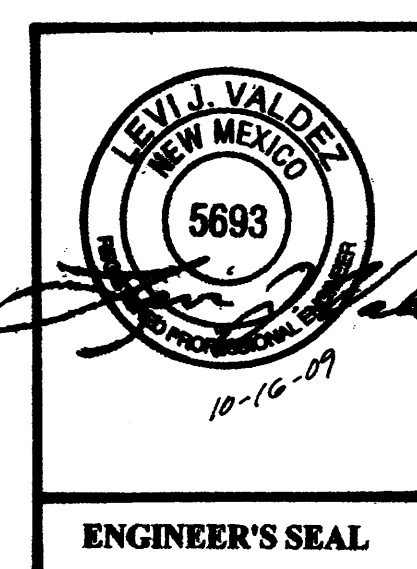
"Qp" = 2.05 CFS

PROPOSED DEVELOPED CONDITIONS:

TREATMENT	AREA/ACRES	FACTOR	CFS
C	0.01	x 3.14	= 0.03
D	0.43	x 4.70	= 2.02

"Qp" = 2.05 CFS

NO INCREASE OF FLOWS



A PROPOSED PAVING PLAN
 FOR
 3229 CLAREMONT AVE. N.E.
 ALBUQUERQUE, NEW MEXICO
 SEPTEMBER, 2009

RECEIVED
 OCT 28 2009
 HYDROLOGY SECTION