

## CITY OF ALBUQUERQUE

*Planning Department*  
Alan Varela, Director



*Mayor Timothy M. Keller*

August 31, 2022

Brett T. Hanrahan, PE  
ALJ Lindsey, LLC  
5629 FM 1960 West, Ste 314  
Houston, TX 77069

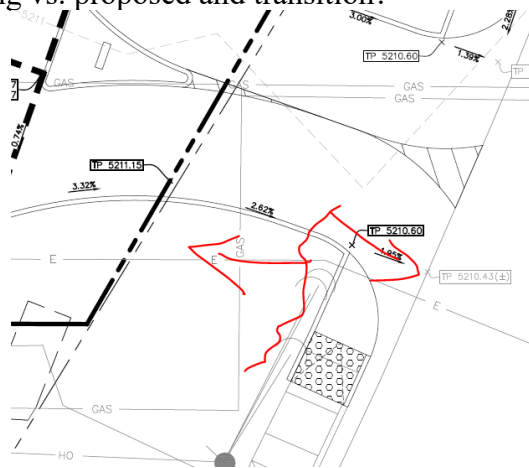
**RE: Scooter's Coffee Store #1175  
2509 San Mateo Blvd NE  
Grading and Drainage Plan  
Engineer's Stamp Date: 06-30-2022  
Hydrology File: H17D116**

Dear Mr. Hanrahan:

Based upon the information provided in your submittal received 7/11/2022, the Grading & Drainage Plan **is not** approved for Grading Permit. The following comments need to be addressed for approval of the above referenced project:

## General Notes

1. The plan clearly needs to communicate what is existing vs. proposed.
  - a. It is not clear and any infrastructure within public right-of-way may need to be constructed via public work order through the Design, Review and Construction Section with the City of Albuquerque.
  - b. Existing vs. proposed and transition?



2. Please provide a section of the proposed Storm Water Quality Pond showing pertinent elevations:
  - a. Bottom of pond
  - b. Top of pond
  - c. Inlet elevation.
  - d. Outlet elevation
  - e. Retained water for storm water quality elevation.

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3. Please acquire approval from Transportation and clearly note for the entrance that you will follow standard details for a commercial entrance. (reference the standard detail)
  - a. Both entrances should be clarified.
4. Note to match existing grades where applicable as well and show clear distinction where the construction limits are.
5. Does the site have approval to drain into the adjacent property as proposed? If so please reference the document that allows such discharge from the site.
  - a. All downstream capacity should be noted as well.
6. It is not necessary to bubble the area for the calculations etc... it made it seem initially that is the only place work/construction is being done.
  - a. Please clean this up to clearly depict the entire site is the construction limits or as appropriate.
7. Please include survey points on adjacent lots to show what the proposed infrastructure/grades are tying into.

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, [jhughes@cabq.gov](mailto:jhughes@cabq.gov), 924-3420) 14 days prior to any earth disturbance.

If you have any questions, please contact me at 924-3695 or [dggutierrez@cabq.gov](mailto:dggutierrez@cabq.gov)

Sincerely,

David G. Gutierrez, P.E.  
Senior Engineer, Hydrology  
Planning Department

PO Box 1293

Albuquerque

NM 87103

[www.cabq.gov](http://www.cabq.gov)



# City of Albuquerque

Planning Department  
Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

**Project Title:** Scooter's Coffee Store #1175 **Building Permit #:** BP-2022-17590 **Hydrology File #:** \_\_\_\_\_  
**DRB#:** \_\_\_\_\_ **EPC#:** \_\_\_\_\_ **Work Order#:** \_\_\_\_\_  
**Legal Description:** Section 11, Township 10 North, Range 3 East, N.M.P.M. Vidas Subdivision  
**City Address:** 2509 San Mateo Blvd NE, ABQ, NM 87110

**Applicant:** ALJ Lindsey, LLC. (Civil Engineer Consultant) **Contact:** Kevin Dew  
**Address:** 5629 FM 1960 West, Ste 314  
**Phone#:** 281.301.5955 **Fax#:** \_\_\_\_\_ **E-mail:** Kdew@aljilindsey.com

**Other Contact:** \_\_\_\_\_ **Contact:** \_\_\_\_\_  
**Address:** \_\_\_\_\_  
**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**TYPE OF DEVELOPMENT:** \_\_\_\_\_ PLAT (# of lots) \_\_\_\_\_ RESIDENCE \_\_\_\_\_ DRB SITE ☒ ADMIN SITE

IS THIS A RESUBMITTAL? \_\_\_\_\_ Yes \_\_\_\_\_ No

**DEPARTMENT** \_\_\_\_\_ TRANSPORTATION ☒ HYDROLOGY/DRAINAGE

Check all that Apply:

### TYPE OF SUBMITTAL:

- ☐ ENGINEER/ARCHITECT CERTIFICATION  
☐ PAD CERTIFICATION  
☒ CONCEPTUAL G & D PLAN  
☒ GRADING PLAN  
☐ DRAINAGE REPORT  
☐ DRAINAGE MASTER PLAN  
☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC  
☐ ELEVATION CERTIFICATE  
☐ CLOMR/LOMR  
☐ TRAFFIC CIRCULATION LAYOUT (TCL)  
☐ TRAFFIC IMPACT STUDY (TIS)  
☐ STREET LIGHT LAYOUT  
☐ OTHER (SPECIFY) \_\_\_\_\_  
☐ PRE-DESIGN MEETING?

### TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY  
☐ PRELIMINARY PLAT APPROVAL  
☐ SITE PLAN FOR SUB'D APPROVAL  
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE  
☒ FOUNDATION PERMIT APPROVAL  
☒ GRADING PERMIT APPROVAL  
☐ SO-19 APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ GRADING/ PAD CERTIFICATION  
☐ WORK ORDER APPROVAL  
☐ CLOMR/LOMR  
☐ FLOODPLAIN DEVELOPMENT PERMIT  
☐ OTHER (SPECIFY) \_\_\_\_\_

**DATE SUBMITTED:** 07/11/2022 **By:** Kevin Dew (ALJ Lindsey, LLC.)

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

FEE PAID: \_\_\_\_\_



# CITY OF ALBUQUERQUE INVOICE

ALJ LINDSEY

5629 FM 1960 2, STE 314

Reference NO: SI-2022-01315

Customer NO: CU-133269021

Date	Description	Amount
7/11/22	2% Technology Fee	\$6.20
7/11/22	HYD Conceptual G&D Plan or Report - Fir	\$310.00

Due Date: **7/11/22**

Total due for this invoice:

**\$316.20**

Options to pay your Invoice:

1. Online with a credit card: <http://posse.cabq.gov/posse/pub/lms/Default.aspx>
2. In person: Plaza Del Sol, 600 2nd St. NW, Albuquerque, NM 87102

PLEASE RETURN THE BOTTOM PORTION OF THIS INVOICE NOTICE WITH PAYMENT



City of Albuquerque  
PO Box 1293  
Albuquerque, NM 87103

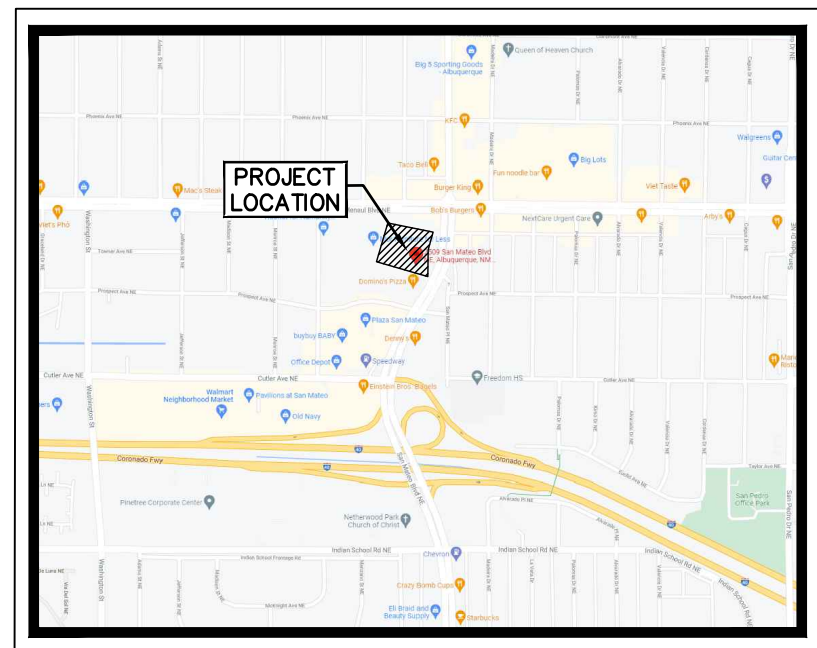
**Date:** 7/11/22  
**Amount Due:** \$316.20  
**Reference NO:** SI-2022-01315  
**Payment Code:** 130  
**Customer NO:** CU-133269021

ALJ LINDSEY  
5629 FM 1960 2, STE 314  
HOUSTON, TX 77069



130 0000SI2022013150009935511619119040000000000003162CU133269021





LOCATION MAP  
N.T.S.

REFER TO ZONE ATLAS PAGE H-17-Z ON COVER SHEET

#### EXISTING CONDITIONS:

(PER PDM-CHAPTER 6, PART 6-2(A))

PRECIPITATION ZONE: 2  
100-YEAR, 6 HR INTENSITY: 0.38 IN/HR  
LAND TREATMENT: C (0.01 ACRES); D (0.55 ACRES)  
EXCESS PRECIPITATION 'E': 1.03 (C); 2.33 (D)  
WEIGHTED 'E':  $\frac{(0.01 \times 1.03) + (0.55 \times 2.33)}{0.56} = 2.31$  IN  
VOLUME(360):  $(2.31 \times 0.56) / 12 = 0.1078$  ACRE-FEET  
PEAK DISCHARGE: 3.05 (C); 4.34 (D)  
TOTAL PEAK DISCHARGE:  $Q_p = (3.05 \times 0.01) + (4.34 \times 0.55) = 2.42$  CFS

#### PROPOSED CONDITIONS:

(PER PDM-CHAPTER 6, PART 6-2(A))

PRECIPITATION ZONE: 2  
100-YEAR, 6 HR INTENSITY: 0.38 IN/HR  
LAND TREATMENT: C (0.16 ACRES); D (0.40 ACRES)  
EXCESS PRECIPITATION 'E': 1.03 (C); 2.33 (D)  
WEIGHTED 'E':  $\frac{(0.16 \times 1.03) + (0.40 \times 2.33)}{0.56} = 1.96$  IN  
VOLUME(360):  $(1.96 \times 0.56) / 12 = 0.0915$  ACRE-FEET  
PEAK DISCHARGE: 3.05 (C); 4.34 (D)  
TOTAL PEAK DISCHARGE:  $Q_p = (3.05 \times 0.16) + (4.34 \times 0.40) = 2.22$  CFS

#### TOTAL SWQ VOLUME REQUIRED:

$V_T = [43,560 \times 0.26/12 \times A_p]$   
 $V_T = \text{REQUIRED SWQ VOLUME FOR PROJECT (CUBIC FEET)}$   
 $A_{II} = \text{AREA OF IMPERVIOUS COVER (ACRES)}$   
 $V_T = [43,560 \times (0.42/12 \times 0.40)] = 378$  CU FT  
\*REDEVELOPMENT REQUIRED RATE  
\*\*448 CU FT PROVIDED IN ON-SITE SWQ POND

#### TOTAL DETENTION VOLUME REQUIRED:

EXISTING VOLUME OF RUNOFF: 0.1078 ACRE-FEET  
PROPOSED VOLUME OF RUNOFF: 0.0915 ACRE-FEET  
NET DECREASE: -0.0163 ACRE-FEET  
-710 CU FT  
THEREFORE, NO DETENTION STORAGE WILL BE REQUIRED ON-SITE.

#### GENERAL NOTES

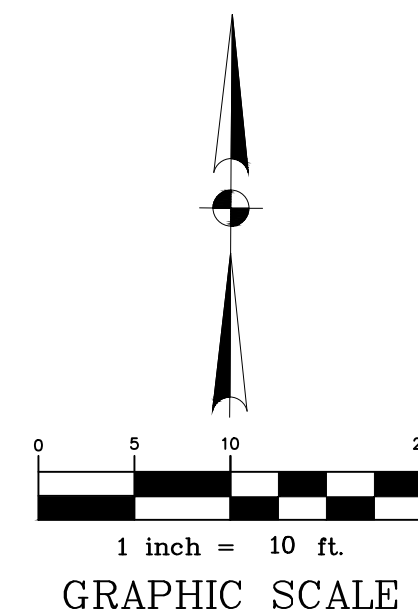
1. REFER TO ARCHITECTURAL PLANS FOR GRADES INSIDE THE BUILDING ENVELOPE.
2. PAVING CONTRACTOR TO CONFIRM AND/OR ADJUST ALL EXISTING AND PROPOSED UTILITIES AND APPURTENANCES TO FINISHED GRADE PRIOR TO PLACEMENT OF ANY PAVING.
3. CONTRACTOR TO MATCH EXISTING TOP OF PAVEMENT AND CURB ELEVATIONS.
4. CONTRACTOR TO INSTALL NEW SIDEWALK IN ADA ACCESSIBLE ROUTES AT MAXIMUM 5% LONGITUDINAL SLOPE AND 2% CROSS SLOPE.

ACCORDING TO MAP NO. 35001C0352H OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAPS FOR BERNALILLO COUNTY AND INCORPORATED AREAS, DATED AUGUST 16, 2012, THE SUBJECT TRACT IS SITUATED WITHIN: UNSHADED ZONE "X"

#### LEGEND

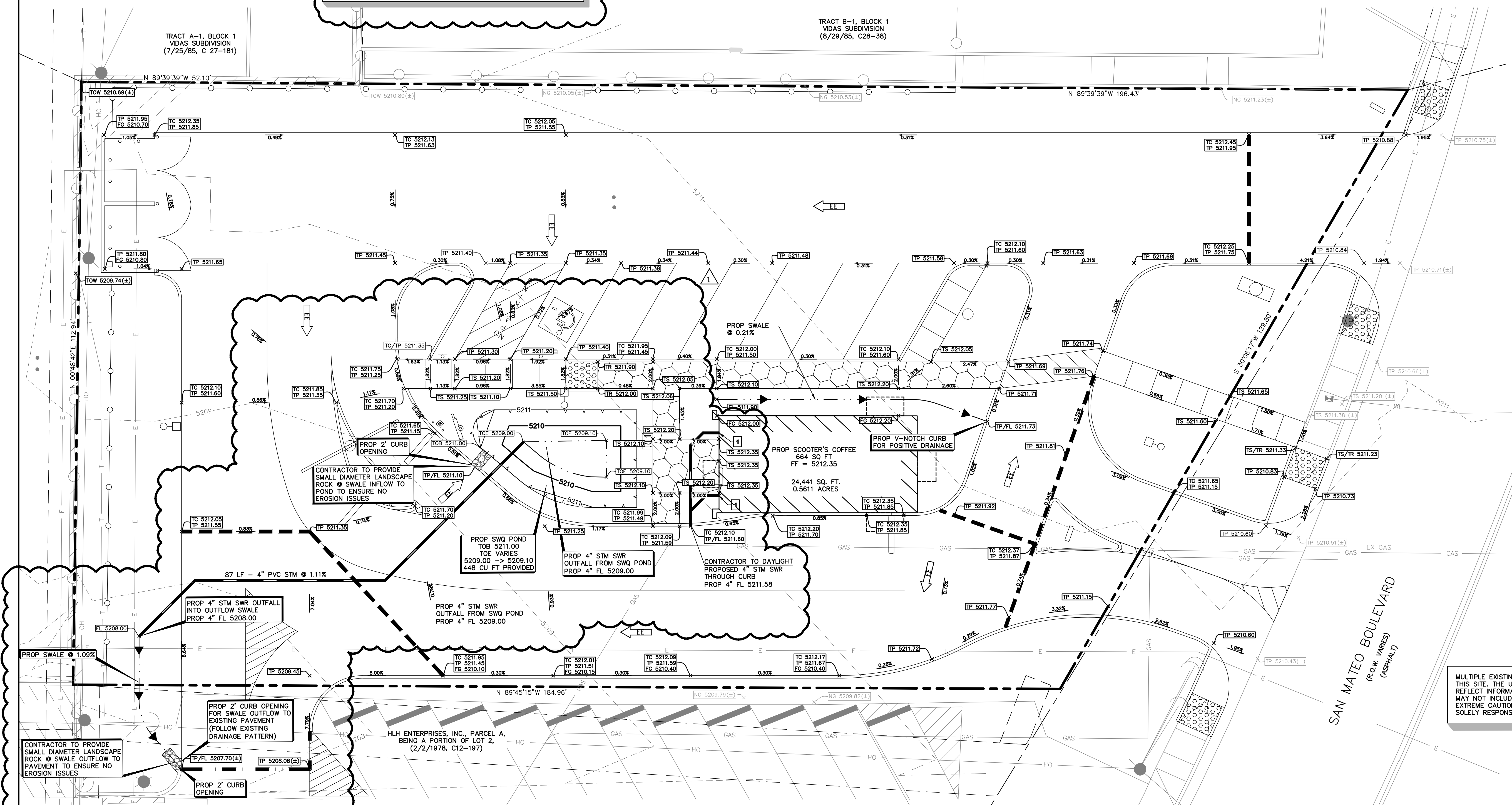
- |     |  |
|-----|--|
| TP  | TOP OF PAVEMENT                          |
| TC  | TOP OF CURB                              |
| TS  | TOP OF SIDEWALK                          |
| FG  | FINISHED GROUND                          |
| FF  | FINISHED FLOOR                           |
| TR  | TOP OF RAMP                              |
| ●   | EXISTING SANITARY OR STORM SEWER MANHOLE |
| --- | PROPOSED HIGH POINT OF PAVEMENT          |
| →   | DRAINAGE FLOW ARROWS                     |
| --- | EXISTING MAJOR CONTOUR                   |
| --- | EXISTING MINOR CONTOUR                   |
| →   | EXTREME EVENT OVERLAND FLOW              |
| 1   | PROPOSED DOWN SPOUT CONN.                |
| --- | PROPOSED STORM SEWER                     |

BENCHMARK:  
ACS MONUMENT "18-H18"  
ELEVATION = 5232.741 FEET (NAVD88)



TRACT B-1, BLOCK 1  
VIDAS SUBDIVISION  
(6/29/85, C28-38)

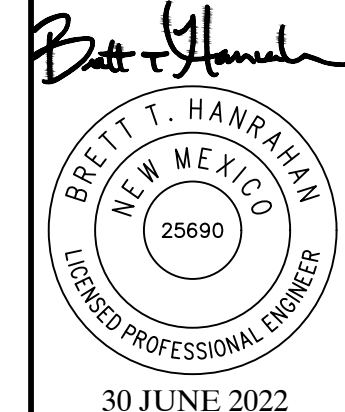
TRACT A-1, BLOCK 1  
VIDAS SUBDIVISION  
(7/25/85, C 27-181)



MULTIPLE EXISTING PUBLIC AND PRIVATE UTILITY LINES EXIST ON THIS SITE. THE UTILITY LINES SHOWN ON THESE DRAWINGS REFLECT INFORMATION OBTAINED FROM RECORD DRAWINGS AND MAY NOT INCLUDE ALL EXISTING UTILITIES. CONTRACTOR IS TO USE EXTREME CAUTION DURING ALL CONSTRUCTION ACTIVITIES AND IS SOLELY RESPONSIBLE FOR DAMAGE TO EXISTING FACILITIES.

REVISIONS	DATE
1	06/30/2022

**ALJLindsey**  
Civil Engineers  
1402 FM 1960, Suite 314  
The Woodlands, TX 77380  
281.301.9925  
FRN F-11526



30 JUNE 2022

ALL PROJECT NO.  
617-22-CV-0040  
DATE: JUNE 2022  
SCALE: 1"=10'  
DRAWN BY: BM  
CHECKED BY: KAD

## GRADING AND DRAINAGE PLAN

**SCOOTER'S COFFEE**  
2509 SAN MATEO BLVD  
ALBUQUERQUE, NEW MEXICO

SHEET  
C3.0