



# ***City of Albuquerque***

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

***Public Works Department  
Transportation Development Services Section***

November 15, 2001

Bruce Stidworthy  
Bohannon Huston  
7500 Jefferson NE  
Albuquerque, NM 87109

Re: Certification Submittal for Final Building Certificate of Occupancy for  
Furniture Row, [H16 / D117A]  
SW Corner of Wellesley and Menaul  
Engineer's Stamp Dated

Dear Mr. Stidworthy:

The TCL / Letter of Certification submitted on 11/07/01 is sufficient for acceptance by this office for final Certificate of Occupancy (C.O.). Notification has been made to Building and Safety and final C.O. has been logged in by Vicki Chavez in the Building Safety Section downstairs.

On all future submittals, the address (street number and street name) must be on the TCL or on the Drainage Information Sheet. If not, submittal of Drainage Information Sheet with address will need to be submitted before Certificate of Occupancy is issued.

Sincerely,

Mike Zamora  
Commercial Plan Checker  
Development and Building Services  
Public Works Department

c: Terri Martin, Hydrology  
Office File

MZ:gds

# DRAINAGE INFORMATION SHEET

(REV. 11/01/2001)

H-16/D117A

PROJECT TITLE: FURNITURE ROW ZONE MAP/DRG. FILE #: \_\_\_\_\_  
 DRB #: N/A EPC#: N/A WORK ORDER#: \_\_\_\_\_

LEGAL DESCRIPTION: Schollen Bager Addition TRACT 1A  
 CITY ADDRESS: SW corner of Wellbale & Menard

ENGINEERING FIRM: BOHANNAN HUSTON  
 ADDRESS: 7500 Jefferson Ave  
 CITY, STATE: Albany NM 87109

CONTACT: Bruce Stidworthy  
 PHONE: 798-2892  
 ZIP CODE: 87109

OWNER: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_  
 CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
 PHONE: \_\_\_\_\_  
 ZIP CODE: \_\_\_\_\_

ARCHITECT: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_  
 CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
 PHONE: \_\_\_\_\_  
 ZIP CODE: \_\_\_\_\_

SURVEYOR: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_  
 CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
 PHONE: \_\_\_\_\_  
 ZIP CODE: \_\_\_\_\_

CONTRACTOR: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_  
 CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
 PHONE: \_\_\_\_\_  
 ZIP CODE: \_\_\_\_\_

**CHECK TYPE OF SUBMITTAL:**

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☒ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

**CHECK TYPE OF APPROVAL SOUGHT:**

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

**WAS A PRE-DESIGN CONFERENCE ATTENDED:**

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED



DATE SUBMITTED: 11-7-01 BY: BRUCE STIDWORTHY  
BHE

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5)
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or

11/15/01 - cd in GT to Vicki; 11/20/01 Sent Letter dated 11/15/01;  
 [All future submittals need address or need more submittal.]

COPY



October 2, 2001

BOHANNAN-HUSTON, INC.

Courtyard One

7500 JEFFERSON NE

Albuquerque

NM 87109-4335

voice 505.823.1000

fax 505.821.0892

Mike Zamora  
Transportation Development  
City of Albuquerque  
P. O. Box 1293  
Albuquerque, NM 87103

Re: Furniture Row Site at the Southwest Corner of Wellesley and Menaul NE

Dear Mike:

The purpose of this letter is to provide a traffic circulation layout certification for a permanent Certificate of Occupancy approval. Having inspected the site, I have found that all of the critical traffic and pedestrian related improvements are in place and in substantial compliance with the approved plan. The minor deficiencies noted in my letter of September 28, 2001, have been corrected.

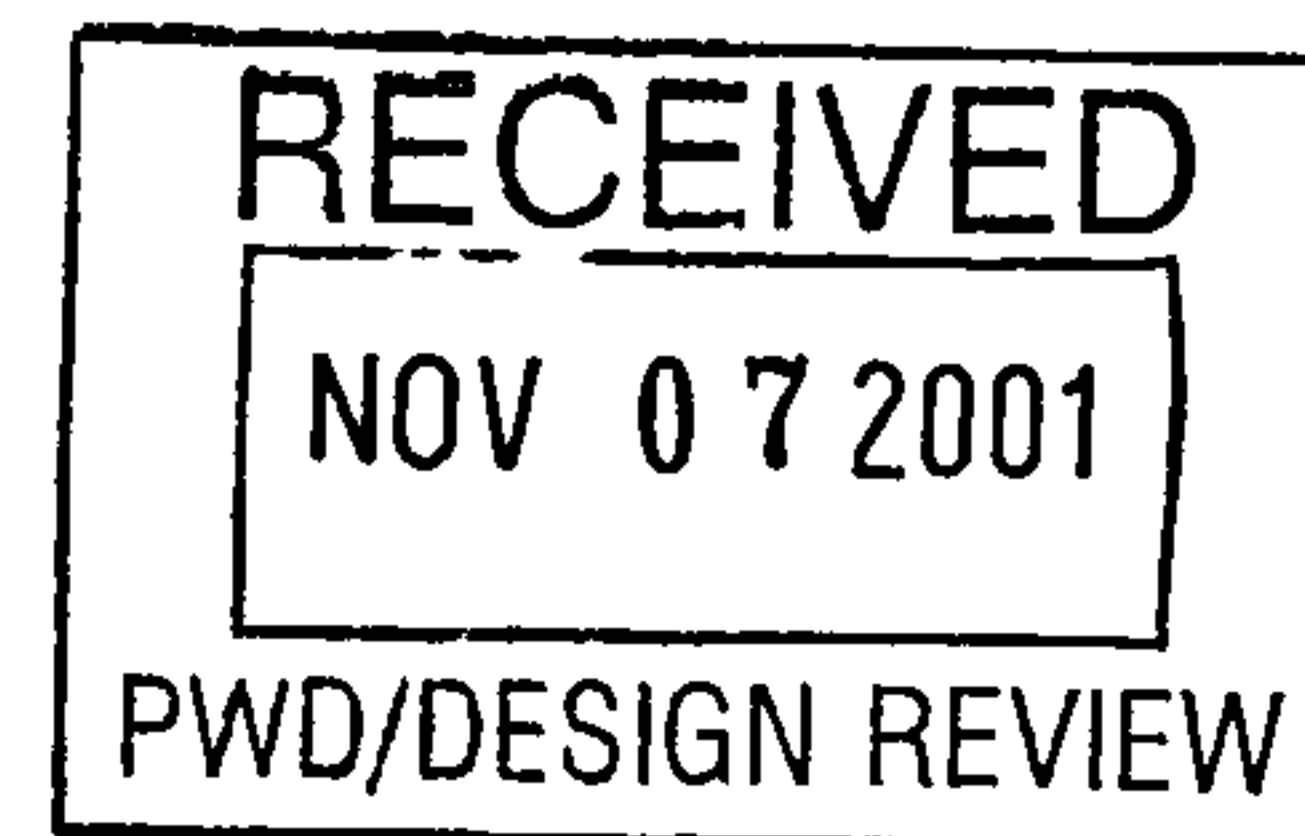
As noted in the September 28 letter, several of the dumpster locations have been adjusted from the approved plan. In addition, a driveway connection to the adjacent daycare facility has been provided. Finally, the curb line along the south edge of the driveway behind the building was modified slightly to accommodate the electrical transformer installed by PNM.

With this submittal, we request a permanent Certificate of Occupancy approval at this time. If you have any questions, please contact me at 823-1000.

Sincerely,  
Bohannon Huston, Inc.

Bruce Stidworthy, P.E.  
Community Development  
and Planning Group

BS/ca  
Enclosures



11/15/01 - c'd in GT; 11/20/01 - Sent letter dated 11/15/01; Logged in 11/15

# CLIENT/COURIER TRANSMITTAL

To: Mike Zamora  
Transportation Division  
City of Albuquerque  
600 2nd Street NW - 2nd Floor

phone: 924-3620

Requested By: Bruce Stidworthy / am

Date: November 7, 2001

Time Due: ☐ This A.M. ☒ This P.M.  
☐ Rush ☐ By Tomorrow

Job No.: 01 173

Job Name: Furniture Row

## DELIVERY VIA

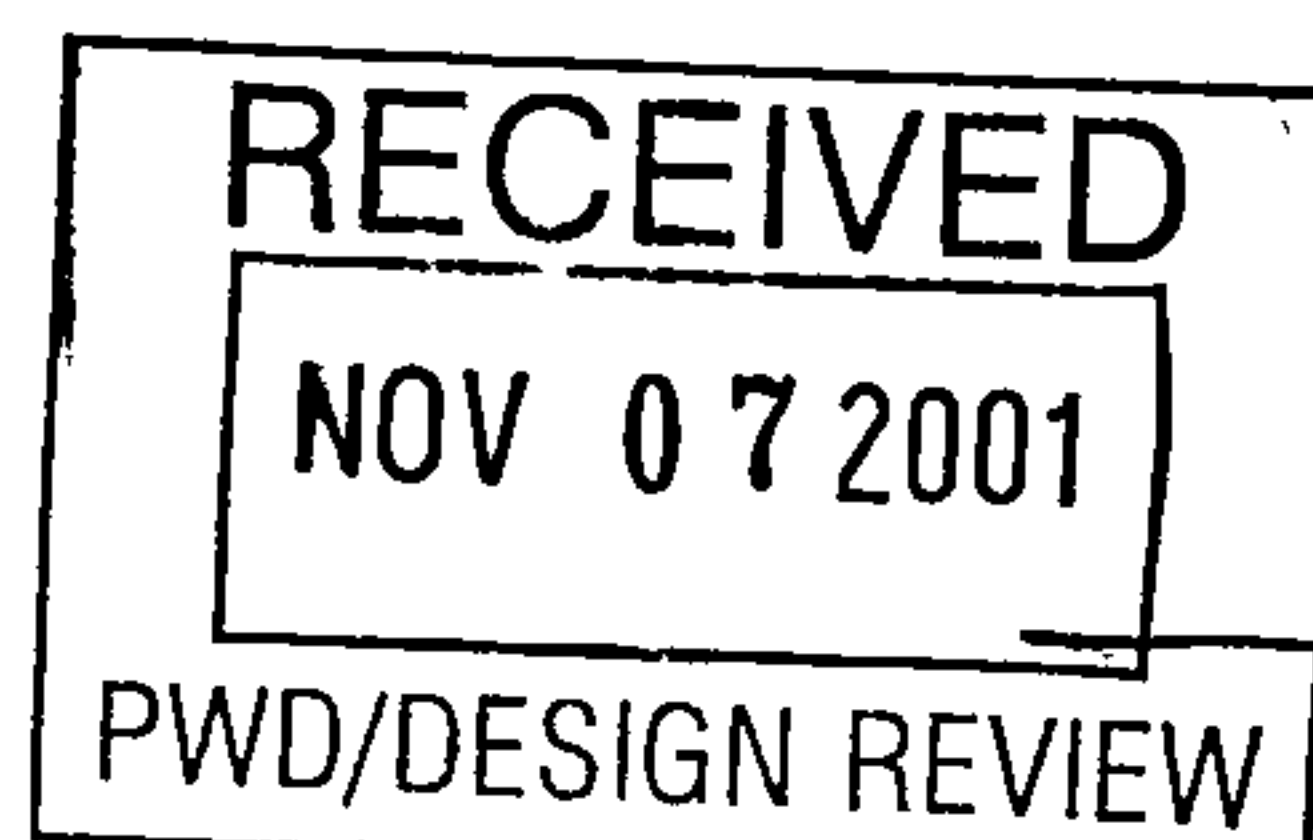
- ☒ Courier ☐ Federal Express  
☐ Mail ☐ UPS  
☐ Other \_\_\_\_\_

## PICK UP

Item: \_\_\_\_\_  
\_\_\_\_\_

ITEM NO.	QUANTITY	DESCRIPTION
1	1	Copy of letter dated 10/2/01 re: Traffic Circulation Layout Certification for permanent Certificate of Occupancy approval.

## COMMENTS / INSTRUCTIONS



REC'D BY: \_\_\_\_\_ DATE: \_\_\_\_\_ TIME: \_\_\_\_\_





# City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

## Public Works Department Transportation Development Services Section

October 18, 2001

Bruce Stidworthy, Registered Architect,  
Bohannon Huston Inc.  
7500 Jefferson St. N.E.  
Albuquerque, New Mexico 87109

Re: T.C.L. submittal for building permit approval for Furniture Row [H16/D117A],  
3230 Menaul Blvd. N.E.,  
**Engineer's Stamp undated.**

Dear Mr. Stidworthy,

Based on the information provided on your submittal, the above referenced project is approved for a 30-day Temporary Certificate of Occupancy. All construction must be according to the approved TCL in both Permit plansets.

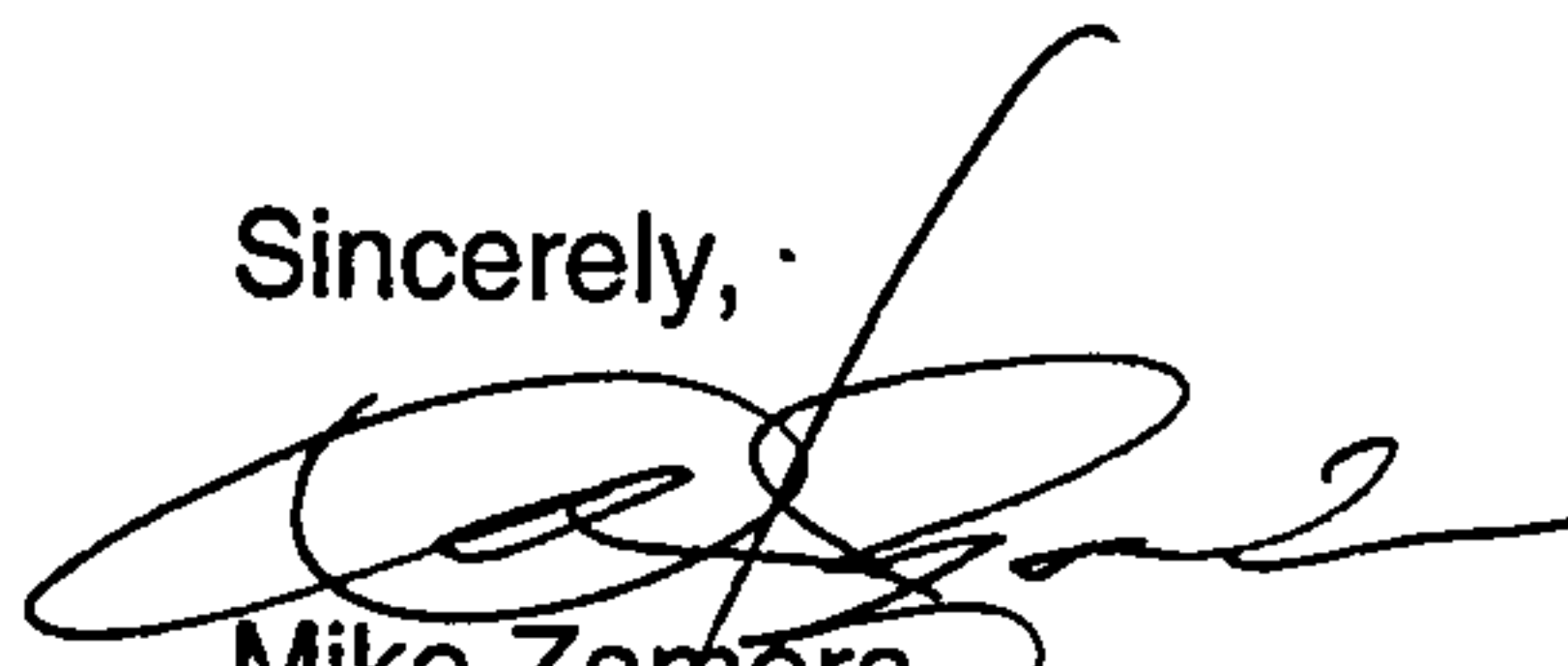
*10/1/01  
no problem  
Don't worry  
about it.* A Temporary Certificate of Occupancy has been issued for 30 days, allowing resolution of the outstanding issues: 1) Field verification of site has shown that sidewalk on Wellesley Ave. was not constructed per approved plan or the sidewalk ordinance. This will have to be redone. 2) In order for access the site to the west a cross access agreement will need to be recorded at the County Clerk's Office at the Albuquerque City/County Government Building. Copy of the easement is needed. 3) Completion of striping. 4) H.C. signage, and 5) Slope adjustments in H.C. areas as mentioned.

Once the issues above have been fully completed, are in substantial compliance, and a final Certification has been resubmitted to the City's Hydrology office for approval, a Permanent Certificate of Occupancy (C.O.) will be issued.

The Certification package for Final C.O. must include an **exact** copy of the approved TCL, or signed off D.R.B. Site Plan, which is in each of the two City Permit Plan Sets--the contractor's City field set and the City's planset in the basement of the Plaza Del Sol building. Package also must include a letter of certification on designer's letterhead, stamped, signed and dated. Address of site, development name and Hydrology file number need to be included.

If question, please call 924-3620.

Sincerely,

  
Mike Zamora,  
Commercial Plan Checker

cc:

Hydrology File  
Office File

# DRAINAGE INFORMATION SHEET

PROJECT TITLE: Furniture Row ZONE MAP/DRG. FILE # H-16 / D117A  
DRB #: \_\_\_\_\_ EPC#: \_\_\_\_\_ WORK ORDER#: \_\_\_\_\_

LEGAL DESCRIPTION: Schollenbager Addition Tract 1A  
CITY ADDRESS: 3230 SW Corner of Wellesley and Menaul

ENGINEERING FIRM: Bohannon Huston, Inc.  
ADDRESS: 7500 Jefferson St NE  
CITY, STATE: Albuquerque NM

CONTACT: Bruce Stidworthy  
PHONE: 823-1000  
ZIP CODE: 87109

OWNER: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

ARCHITECT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

SURVEYOR: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

CONTRACTOR: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_

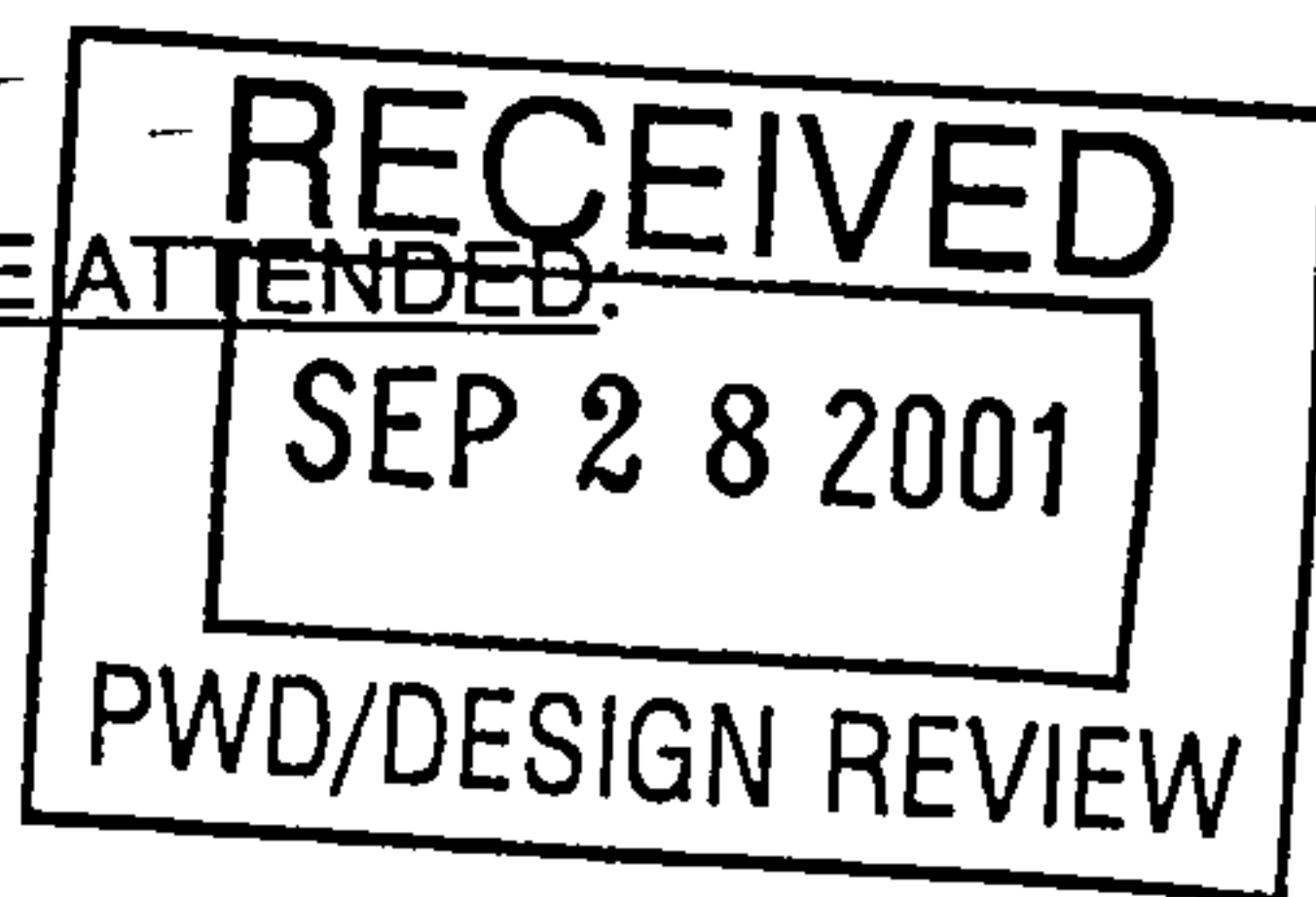
CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

## TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT  
☐ DRAINAGE PLAN  
☐ CONCEPTUAL GRADING & DRAINAGE PLAN  
☐ GRADING PLAN  
☐ EROSION CONTROL PLAN  
☒ ENGINEER'S CERTIFICATION  
☒ CLOMR/LOMR  
☒ OTHER T.C.L.  
WAS A PRE-DESIGN CONFERENCE ATTENDED:  
☐ YES  
☐ NO  
☐ COPY PROVIDED

## CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE  
☐ PRELIMINARY PLAT APPROVAL  
☐ S. DEV. PLAN FOR SUB'D. APPROVAL  
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL  
☐ SECTOR PLAN APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ FOUNDATION PERMIT APPROVAL  
☐ BUILDING PERMIT APPROVAL  
☒ TEMP. CERTIFICATE OF OCCUPANCY APPROVAL  
☐ GRADING PERMIT APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ WORK ORDER APPROVAL  
☐ OTHER (SPECIFY)



DATE SUBMITTED: 9/26/01 BY: Bruce Stidworthy, BHI

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

- 1. Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
- 2. Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
- 3. Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

10/19/01 - Verified in Basement [Menaul TNBP.doc] - Not App'd T.C.L.  
Many unapp'd Changes on Plan for T.C.L.

11/1/01 - C'd Wayne Robinson - "Basement Not Required @ West R." Suite's concern  
Wellesley. Will grant 30X w/ subm'l of T.C.L. Copy w/ letter of 30X and R.D. will get  
Back w/ Bruce S.



October 2, 2001

BOHANNAN-HUSTON, INC.

Courtyard One

7500 JEFFERSON NE

Albuquerque

NM 87109-4335

voice 505.823.1000

fax 505.821.0892

Mike Zamora  
Transportation Development  
City of Albuquerque  
P. O. Box 1293  
Albuquerque, NM 87103

Re: Furniture Row Site at the Southwest Corner of Wellesley and Menaul NE

Dear Mike:

The purpose of this letter is to provide a traffic circulation layout certification for a permanent Certificate of Occupancy approval. Having inspected the site, I have found that all of the critical traffic and pedestrian related improvements are in place and in substantial compliance with the approved plan. The minor deficiencies noted in my letter of September 28, 2001, have been corrected.

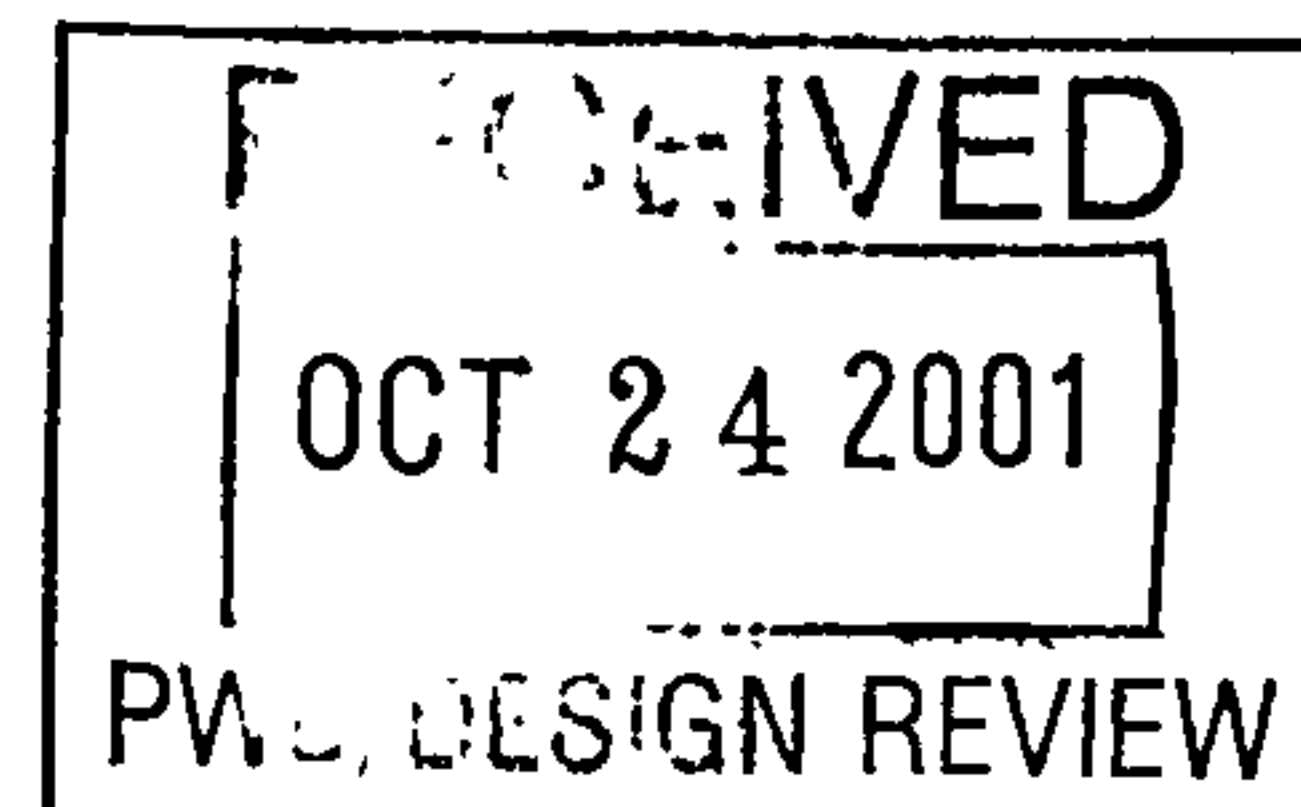
As noted in the September 28 letter, several of the dumpster locations have been adjusted from the approved plan. In addition, a driveway connection to the adjacent daycare facility has been provided. Finally, the curb line along the south edge of the driveway behind the building was modified slightly to accommodate the electrical transformer installed by PNM.

With this submittal, we request a permanent Certificate of Occupancy approval at this time. If you have any questions, please contact me at 823-1000.

Sincerely,  
Bohannon Huston, Inc.

Bruce Stidworthy, P.E.  
Community Development  
and Planning Group

BS/ca  
Enclosures







September 28, 2001

BOHANNAN-HUSTON, INC.

Courtyard One

7500 JEFFERSON NE

Albuquerque

NM 87109-4335

voice 505.823.1000

fax 505.821.0892

Mike Zamora  
Transportation Development  
City of Albuquerque  
P. O. Box 1293  
Albuquerque, NM 87103

Re: Furniture Row Site at the Southwest Corner of Wellesley and Menaul NE

Dear Mike:


The purpose of this letter is to provide a traffic circulation layout certification for a temporary Certificate of Occupancy approval. Having inspected the site, I have found that all of the critical traffic and pedestrian related improvements are in place and in substantial compliance with the approved plan. A number of minor deficiencies exist, and these must be corrected prior to permanent Certificate of Occupancy approval. The deficiencies noted are as follows:

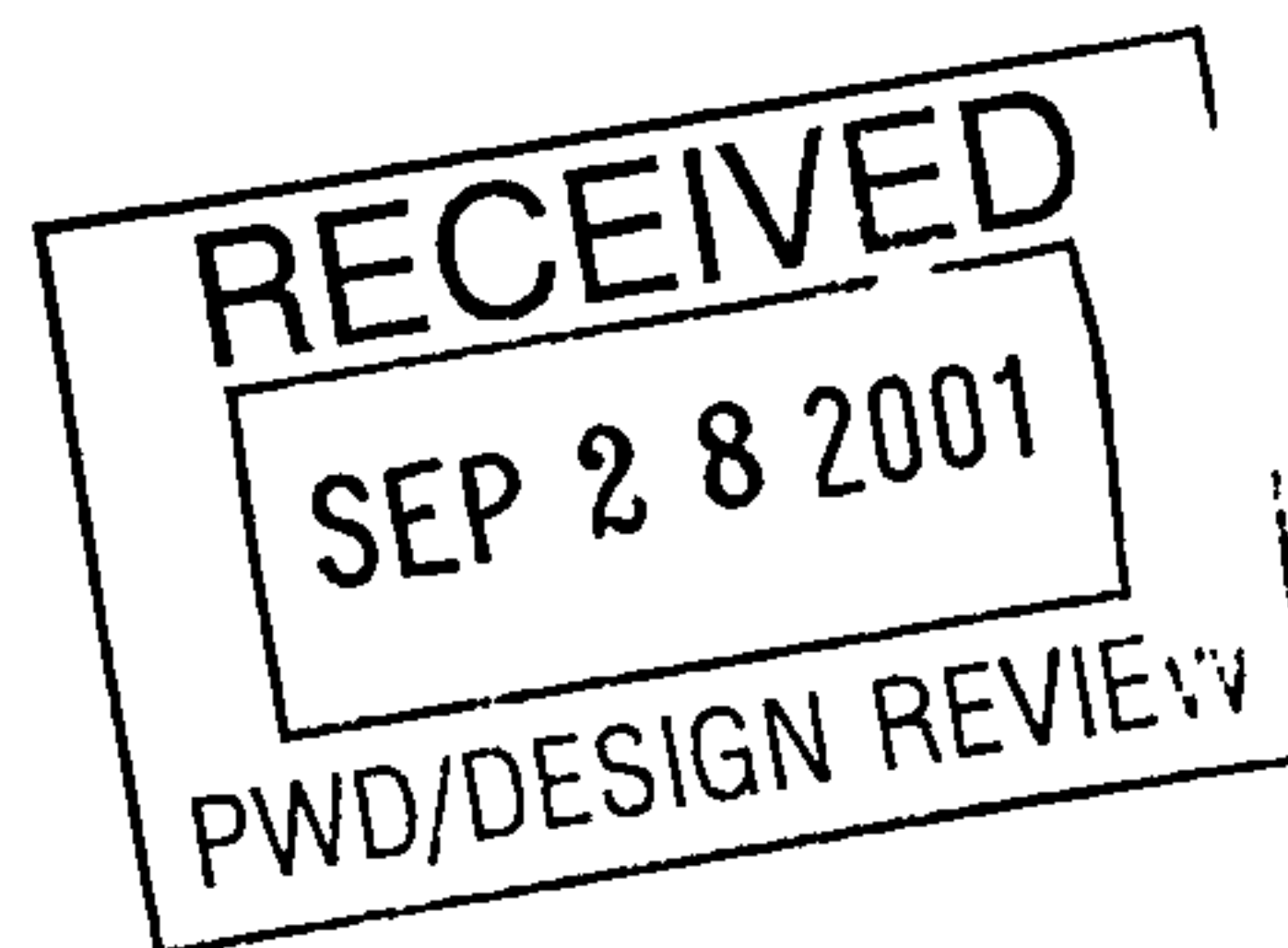
- The striping must be completed.
- Signs for the handicap parking spaces must be installed.
- Adjustments to the slope of the asphalt for two of the handicap parking spaces must be made in order to keep the slope not greater than 2%.

Please note that several of the dumpster locations have been adjusted from the approved plan. In addition, a driveway connection to the adjacent daycare facility has been provided. Finally, the curb line along the south edge of the driveway behind the building was modified slightly to accommodate the electrical transformer installed by PNM.

When these items have been completed, we will request a permanent Certificate of Occupancy approval. If you have any questions, please contact me at 823-1000.

Sincerely,  
Bohannon Huston, Inc.

  
Bruce Stidworthy, P.E.  
Community Development  
and Planning Group



BS/ca  
Enclosures

10/ 101 - Brad Brimham issued 306 w.o. 10/3/01 Appx.  
10/ 101 - Sent letter - temp accepted, however work not approved and must be redone. as noted to be corrected per Verif. in Bldg. Safety 10/19.  
10/ 101 - Field Verif. Unapproved Changes on Site.

P:\01173\cdpl\corres\c10-traffic\_layout\_&\_drng\_cert\Mike Zamora 092801.doc





# *City of Albuquerque*

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

October 25, 2001

Bruce Stidworthy, P.E.  
Bohannon Huston, Inc.  
7500 Jefferson NE  
Albuquerque, New Mexico 87109

RE: FURNITURE ROW (H-16/D117A)  
(Menaul & Wellesley NE)  
ENGINEERS CERTIFICATION FOR CERTIFICATE OF OCCUPANCY  
ENGINEERS STAMP DATED 1/11/2001  
ENGINEERS CERTIFICATION DATED 10/2/2001

Dear Mr. Stidworthy:

Based upon the information provided in your Engineers Certification resubmittal dated 10/24/2001, correcting the previous deficiencies, is approved for a Permanent Certificate of Occupancy.

If I can be of further assistance, please contact me at 924-3981.

Sincerely,

Teresa A. Martin  
Hydrology Plan Checker  
Public Works Department  
**BLB**

C: Vickie Chavez, COA  
drainage file  
approval file



October 2, 2001

BOHANNAN-HUSTON, INC.

Courtyard One

7500 JEFFERSON NE

Albuquerque

NM 87109-4335

voice 505.823.1000

fax 505.821.0892

Brad Bingham, P.E.  
Hydrology/Utility Development  
City of Albuquerque  
P. O. Box 1293  
Albuquerque, NM 87103

Re: Furniture Row Site at the Southwest Corner of Wellesley and Menaul NE

H-16/D117A

Dear Brad:

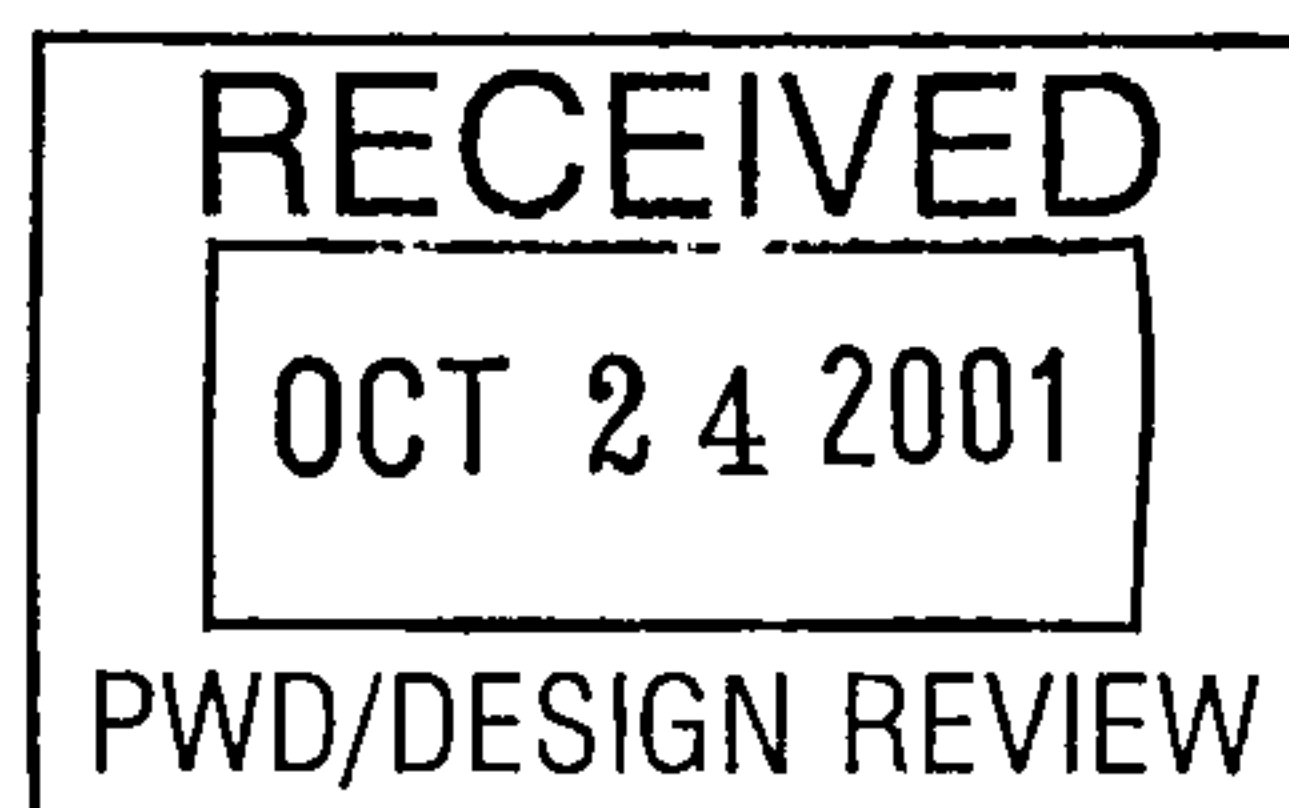
The purpose of this letter is to provide a drainage certification for a permanent Certificate of Occupancy approval. Having inspected the site, I have found that all of the critical drainage improvements are in place. The deficiencies noted in the September 26, 2001, letter have been corrected.

We are, therefore, requesting a permanent Certificate of Occupancy approval. If you have any questions, please contact me at 823-1000.

Sincerely,  
Bohannon Huston, Inc.

Bruce Stidworthy, P.E.  
Community Development  
and Planning Group

BS/ca  
Enclosures





# ***City of Albuquerque***

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

October 17, 2001

Bruce Stidworthy, P.E.  
Bohannon Huston  
7500 Jefferson NE  
Albuquerque, New Mexico 87109

RE: FURITURE ROW (H-16/D117A)  
ENGINEERS CERTIFICATION FOR CERTIFICATE OF OCCUPANCY  
ENGINEERS STAMP DATED 01/11/2001  
ENGINEERS CERTIFICATION DATED 9/26/2001 (For Temporary C.O.)

Dear Mr. Stidworthy:

We are in receipt of your Engineers Certification dated 9/28/2001 for the above referenced site; However, a Certificate of Occupancy from City Hydrology **can not** be issued at this time.

A field inspection of the site was conducted, and it was found to have some drainage deficiencies. A tie-in to the roof drain must be constructed; Also a drainage complaint from the adjacent property owner was received for offsite flows onto their property must be resolved prior to a Certificate of Occupancy being issued.

When the outstanding drainage issues have been resolved and an Engineers Certification has been resubmitted to our office, a Certificate of Occupancy can be issued.

If I can be of further assistance, please feel free to contact me at 924-3981.

Sincerely,

Teresa Martin  
Hydrology Plan Checker  
Public Works Department/COA  
*But*

c: File





10003317A

POLAROID

10-3-01 H6-D117A  
Furniture Row

## DRAINAGE INFORMATION SHEET

PROJECT TITLE: Furniture Row ZONE MAP/DRG. FILE # H-16 / D117A  
DRB #: \_\_\_\_\_ EPC#: \_\_\_\_\_ WORK ORDER#: \_\_\_\_\_

LEGAL DESCRIPTION: Schollenbager Addition Tract 1A  
CITY ADDRESS: SW Corner of Wellesley and Menaul

ENGINEERING FIRM: Bohannon Huston, Inc. CONTACT: Bruce Stidworthy  
ADDRESS: 7500 Jefferson St NE PHONE: 823-1000  
CITY, STATE: Albuquerque NM ZIP CODE: 87109

OWNER: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

ARCHITECT: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

SURVEYOR: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

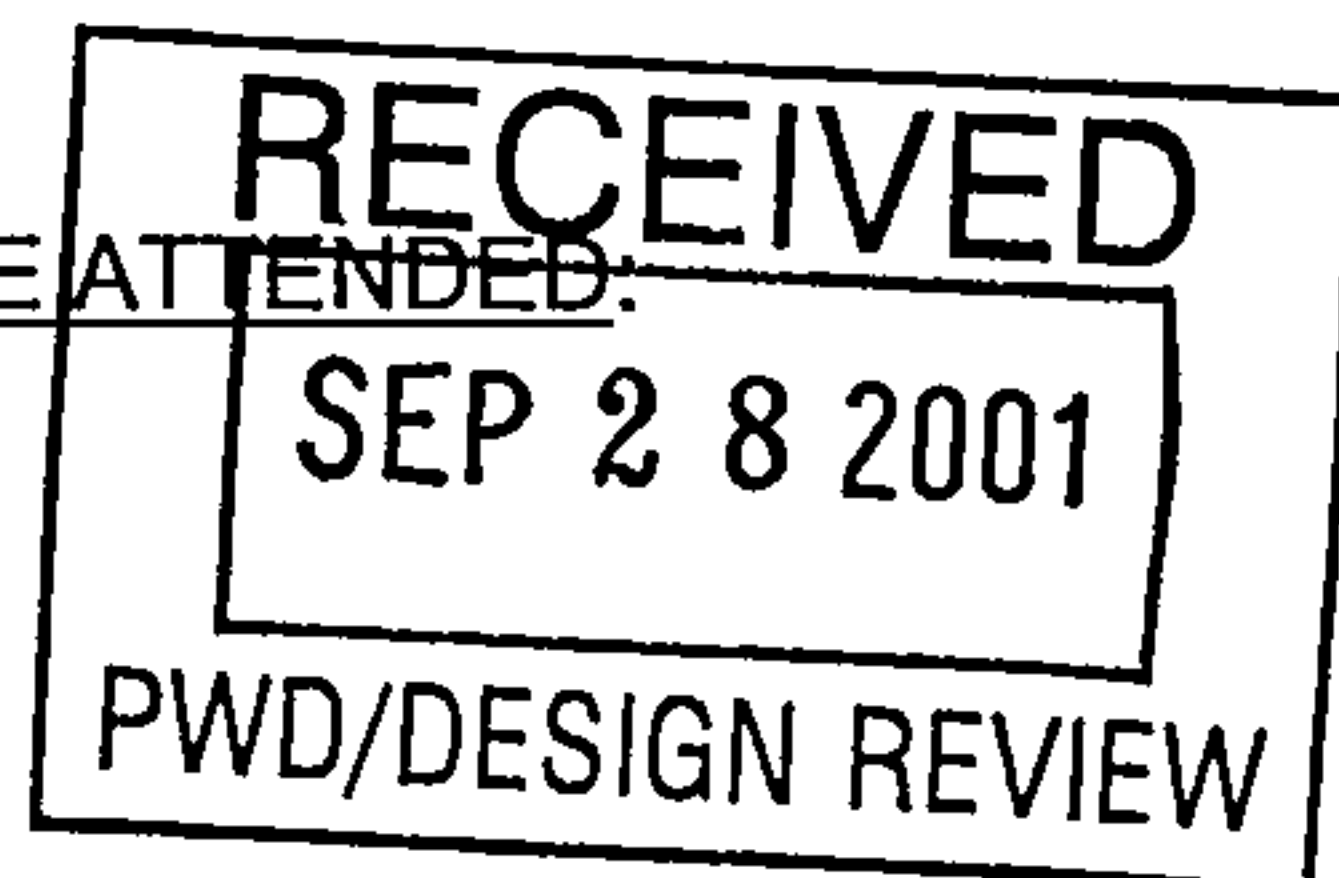
CONTRACTOR: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
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CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

### TYPE OF SUBMITTAL:

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- ☐ EROSION CONTROL PLAN
- ☒ ENGINEER'S CERTIFICATION
- ☐ CLOMR/LOMR
- ☐ OTHER

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED



### CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
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- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

DATE SUBMITTED: 9/26/01 BY: Bruce Stidworthy, BHI

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

- 1. Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
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- 3. Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.



September 26, 2001

BOHANNAN-HUSTON, INC.

Courtyard One

7500 JEFFERSON NE

Albuquerque

NM 87109-4335

voice 505.823.1000

fax 505.821.0892

Brad Bingham, P.E.  
Hydrology/Utility Development  
City of Albuquerque  
P. O. Box 1293  
Albuquerque, NM 87103

Re: Furniture Row Site at the Southwest Corner of Wellesley and Menaul NE

Dear Brad:

The purpose of this letter is to provide a drainage certification for a temporary Certificate of Occupancy approval. Having inspected the site, I have found that all of the critical drainage improvements are in place. A number of minor deficiencies exist, and these must be corrected prior to permanent Certificate of Occupancy approval. The deficiencies noted are as follows:

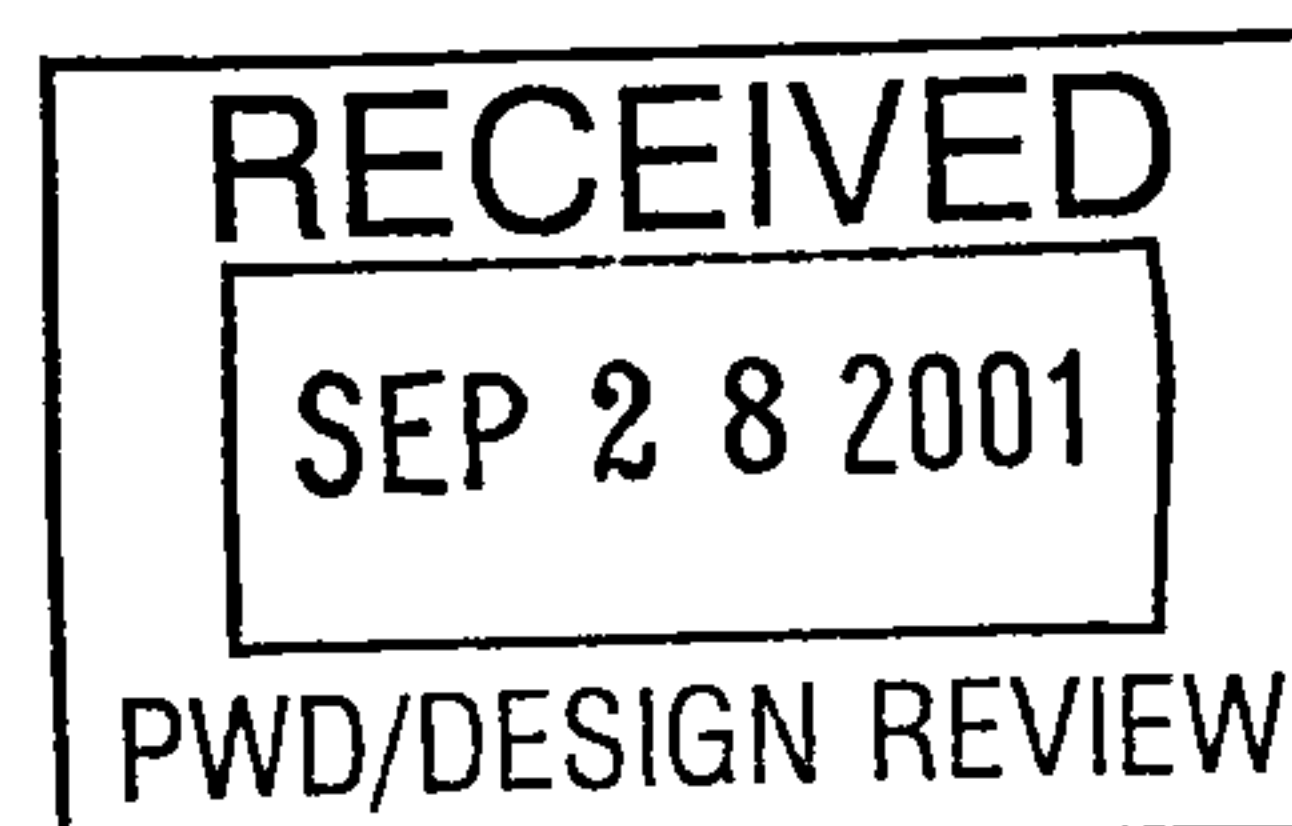
- The concrete rundown near the northwest corner of the building must be completed.
- The 4-inch PVC pipe near the northeast corner of the building must be installed.
- Minor regrading of the north edge of the pond is required to conform to the design grades.
- The adjustment to the concrete spillway to the pond must be completed.
- Minor regrading of the landscaped area near the southwest corner of the site must be completed in order to conform to the design grades.

When these items have been completed, we will request a permanent Certificate of Occupancy approval. If you have any questions, please contact me at 823-1000.

Sincerely,  
Bohannon Huston, Inc.

  
Bruce Stidworthy, P.E.  
Community Development  
and Planning Group

BS/ca  
Enclosures





# ***City of Albuquerque***

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

February 12, 2001

Bruce Stidworthy, PE  
Bohannon Huston, Inc.  
7500 Jefferson NE  
Albuquerque, NM 87109

**Re: Furniture Row Grading and Drainage Plan**  
**Engineer's Stamp dated 1-10-01 (H16/D117A)**

Dear Mr. Stidworthy,

Based upon the information provided in your submittal dated 1-11-01, the above referenced plan is approved for Building Permit and Grading Permit.

Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

Also, prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

If you have any questions about my comments, you can contact me at 924-3986

Sincerely,

*Bradley L. Bingham*  
Bradley L. Bingham, PE  
Sr. Engineer, Hydrology

C: file



January 21, 2001

Loren Meinz, P.E.,  
Head Hydrology Division  
City of Albuquerque  
600 2<sup>nd</sup> Street NW  
Albuquerque, NM 87102

Bruce  
350-3001

- **Case No:** H16-D117A
- **Submittal dated:** January 11, 2001 by BHI
- **Project Title:** Furniture Row
- **Location:** Wellesley and Menaul
- **Approval Type:** Building Permit
- **Note:** *This submittal concerns the construction of a new furniture warehouse. The site is intended to drain to an existing pond on the Homestead Village site via an 18-inch SD.*

Dear Mr. Meinz:

Based on the submittal stamped January 10, 2001, the proposed grading and drainage plan concept does not appear to be sufficient and should not be approved for building permit at this time.

- No offsite topography is shown on the plan. It would be helpful in assessing the offsite impact to the subject property.
- *why* The existing pond and storm drainage system must have some runoff impacting it under current conditions. These conditions must be assessed and compared to the fully developed conditions.
- No storm drainage or inlet calculations are shown on the plan. —
- The plan shows a single 18-inch storm drain under the proposed building. *no choice*
- What is the flow rate impacting the proposed concrete rundown. Does it have adequate capacity? No calculations were found on Plan. *trial*
- The pond on Tract A-1 should be addressed and rating curves should be included on Plan if new runoff is intended to impact this pond. *same as before*

If you have any questions regarding this letter or need any clarification concerning the above project, please feel free to call me at 296-0461.

Sincerely,

*Mark Burak*  
Mark H. Burak, P.E.  
Hydrology Consultant

## DRAINAGE INFORMATION SHEET

PROJECT TITLE: Furniture Row ZONE MAP/DRG. FILE # H-16/D 117A  
DRB #: \_\_\_\_\_ EPC#: \_\_\_\_\_ WORK ORDER#: \_\_\_\_\_

LEGAL DESCRIPTION: Schollenbager Addition Tract 1A  
CITY ADDRESS: SW Corner of Wellesley and Menaul

ENGINEERING FIRM: Bohannon Huston, Inc. CONTACT: Bruce Stidworthy  
ADDRESS: 7500 Jefferson St NE PHONE: 823-1000  
CITY, STATE: Albuquerque NM ZIP CODE: 87109

OWNER: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

ARCHITECT: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

SURVEYOR: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

CONTRACTOR: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

### TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☒ DRAINAGE PLAN
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION
- ☐ CLOMR/LOMR
- ☐ OTHER

### WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☒ YES (pre-submittal conference w/ Brad B.)
- ☐ NO
- ☐ COPY PROVIDED

### CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY APPROVAL
- ☒ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

DATE SUBMITTED: 1/11/01 BY: Bruce Stidworthy, BHI

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

- 1. Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
- 2. Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
- 3. Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

**R** **RECEIVED** **D**  
JAN 11 2001  
HYDROLOGY SECTION

# CLIENT/COURIER TRANSMITTAL



To: Brad Bingham  
Hydrology / Utility Development  
City of Albuquerque  
600 2nd Street NW

Requested By: Bruce Stidworthy / am

Date: January 11, 2001

BOHANNAN HUSTON

Courtyard One

phone: 924-3986

Time Due: ☒ This A.M. ☐ This P.M.  
☐ Rush ☐ By Tomorrow

7500 JEFFERSON NE

Albuquerque

NEW MEXICO 87109

Job No.: 00 173

Job Name: Furniture Row

voice 505.823.1000

fax 505.821.0892

## DELIVERY VIA

- ☒ Courier ☐ Federal Express  
☐ Mail ☐ UPS  
☐ Other \_\_\_\_\_

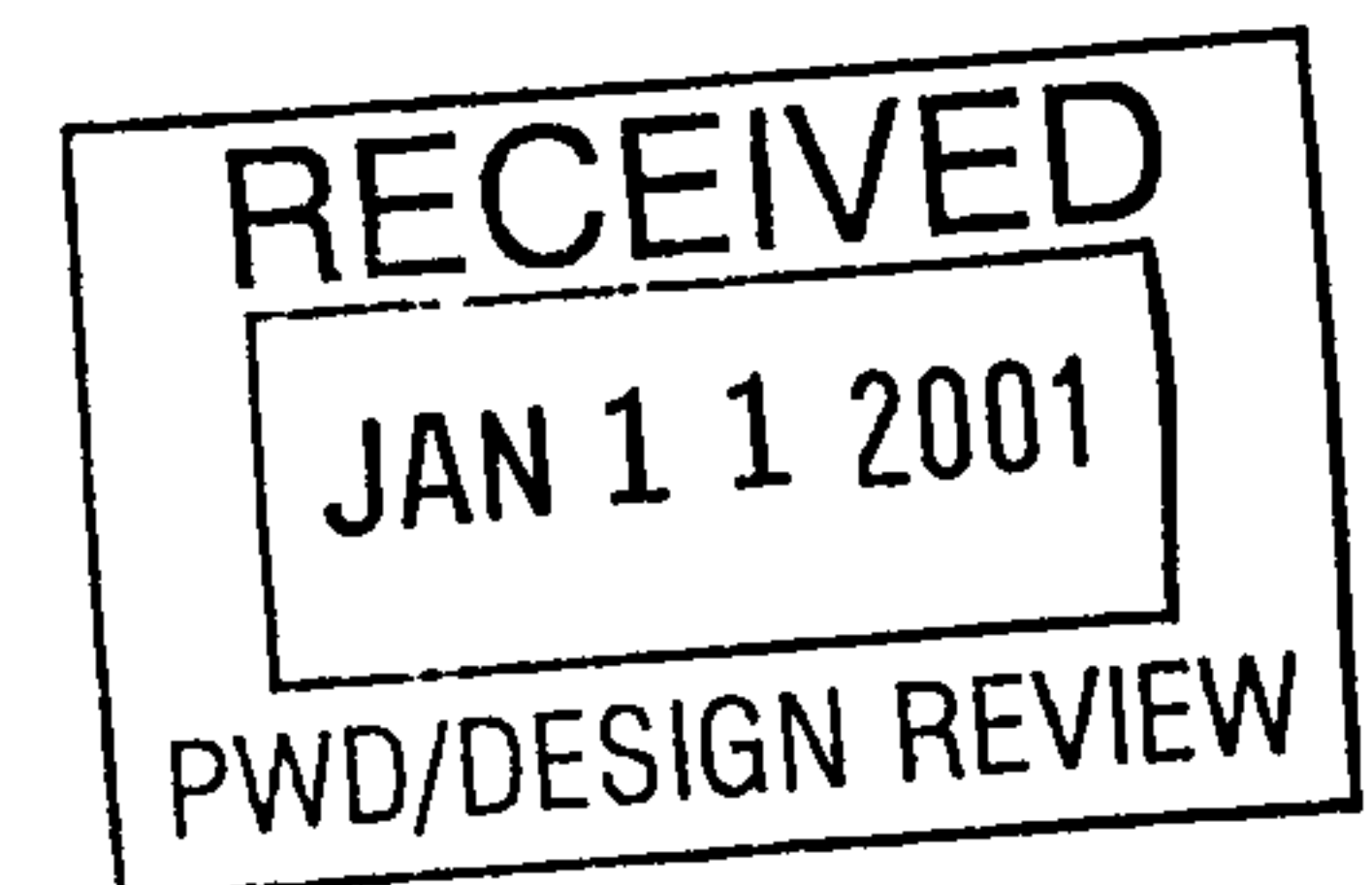
## PICK UP

Item: \_\_\_\_\_

H16/D117A

<u>ITEM NO.</u>	<u>QUANTITY</u>	<u>DESCRIPTION</u>
1	1	Blueline: Drainage Plan.
2	1	Blueline: Grading/Drainage Plan.
3	1	Drainage Information Sheet.

## COMMENTS / INSTRUCTIONS



REC'D BY: \_\_\_\_\_

*[Signature]*

DATE: 1/11/01 TIME: 10:45am

10/3  
10AM

FURNITURE Row  
↳ 3230 Meadow / 12000 SR

H16/D117A

Day Care

Root Drain

↳ 3210 Meadow / NE

Randy Eakin  
262-1919