

DRAINAGE INFORMATION SHEET

PROJECT TITLE: Drainage Plan 1921 Richmond NE H-16 ZONE ATLAS/DRNG. FILE #: H16/D119
 DRB #: 95-298 EPC #: _____ WORK ORDER #: _____
 LEGAL DESCRIPTION: Lot 4-B-1 in Block 1A, Miracerros Addition
 CITY ADDRESS: 1921 Richmond Drive NE
 ENGINEERING FIRM: DVC CONTACT: Debbie Cleft
 ADDRESS: 6212 Terrell NE PHONE: 2496196
Albuquerque, N.M. 87109
 OWNER: Bruce Caird CONTACT: Bruce Caird
 ADDRESS: 2425 San Pedro NE PHONE: 881-9696
 ARCHITECT: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 SURVEYOR: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CONTRACTOR: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☒ DRAINAGE PLAN
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION
- ☐ OTHER _____

PRE-DESIGN MEETING:

- ☒ YES
- ☐ NO
- ☐ COPY PROVIDED

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SKETCH PLAT APPROVAL
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☒ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ S.A.D. DRAINAGE REPORT
- ☐ DRAINAGE REQUIREMENTS
- ☐ SUBDIVISION CERTIFICATION
- ☐ OTHER _____ (SPECIFY)

DATE SUBMITTED: 7-5-96
 BY: Bruce Caird

JUL 11 1996

Wednesday: 18 March 1998

Ms. Lisa Manwill, P.E.

600 Second Street NW
Albuquerque, NM 87102

This letter confirms our conversation on Monday, March 16, 1998.

At this time I brought you photos substantiating my concerns regarding the ongoing hydrological problems and violations of the approved city building permit at 1921 Richmond Drive N.E.

As per your request, the current owner of the property is:

Mr. Bruce Caird
2425 San Pedro NE
Albuquerque, NM 87110

505) 881-9696
505) 881-1781 fax

Again, thank you for your assistance in this matter.

With Regards:



Victoria Yorton

PO Box #36933
Albuquerque, NM 87176

505) 239-0700

VIA CERTIFIED MAIL

Mr. Bruce Caird
BRUCE CAIRD REALTY, INC.
2425 San Pedro Dr. NE 87110



Re: 1921 Richmond Dr. NE

Dear Mr. Caird:

This letter is to inform you that the Building Section has been asked by the Hydrology Division of the Public Works Department to revoke the Certificate of Occupancy issued to you as the contractor on the above referenced site. Upon an inspection of the property it was evident that the site was not built according to the approved grading and drainage plan on file with the Hydrology office. Specifically, the following violations were noted:

- 1) Retaining walls along the south, west, and north sides of the property were not constructed.
- 2) The concrete lined swale along the east property line was not constructed.
- 3) The cobble lined swale along the north property line was not constructed.
- 4) The house and driveway are not in the location shown on the approved plan.

Because the required walls and swales were not built, there is ample reason for the Hydrology Department to be concerned that public waters will damage the property along the north, east and west property lines.

Please contact this office within ten (10) days from the date of this letter to make arrangements for the problems to be corrected. If we do not hear from you, we will be forced to revoke the CO under Section 308(h) of the Uniform Administrative Code and notify the home occupants of the same.

Sincerely,

Robert Williams
Robert Williams
Building Section Supervisor

cc: Lisa Ann Manwill, P.E.
Hydrology

Good for You, Albuquerque!



CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES CENTER

INTER-OFFICE MEMORANDUM

March 11, 1998

TO: Bob Williams, Building Supervisor

FROM: Lisa Ann Manwill, P.E., Hydrology *LAM*

SUBJECT: Drainage violation at 1921 Richmond Dr. NE, Lot 4-B-1, Mirraceros Addition.

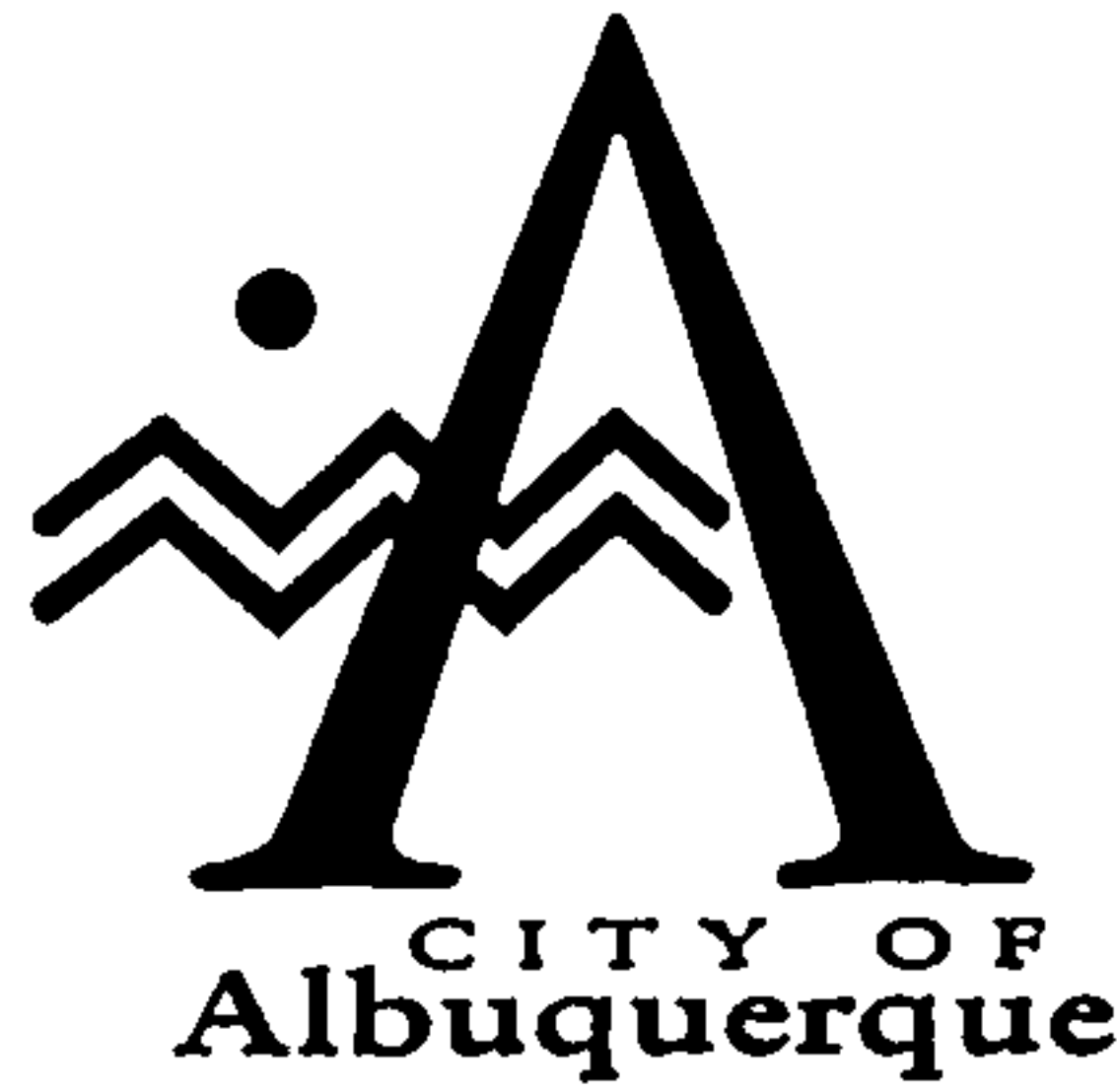
This memo is to request that the Certificate of Occupancy for the above referenced site be revoked per section 308 (h) or the Uniform Administration Code. The site was not built per the approved grading and drainage plan on file with our office.

I have visited the property and noticed that a majority of the site was not built per plan.

1. Retaining walls along the south, west, and north sides of the property were not constructed.
2. The concrete lined swale along the east property line was not constructed.
3. The cobble lined swale along the north property line was not constructed.
4. The house and driveway are not in the location shown on the approved plan.

If the walls and swales are not constructed, there is ample reason to be concerned that public waters will damage this property along the north, east and west property lines.

If you have any questions or comments, please call me at 924-3984.



March 19, 1998

Bruce Caird
Bruce Caird Realty, Inc.
2425 San Pedro Drive NE
Albuquerque, NM 87110

RE: UNAUTHORIZED RIGHT -OF- WAY ENCROACHMENT AND DRAINAGE VIOLATIONS AT 1921 RICHMOND DRIVE NE.

Dear Mr. Caird:

It has been brought to my attention that the above referenced sight is violation of the approved grading and drainage plan and the City Drainage Ordinance as follows:

1. A metal pipe is encroaching in the City of Albuquerque's and State of New Mexico's drainage right-of-way. There is no City Permit allowing this encroachment. Did you get permission from the State of New Mexico to cut through the fence and place the metal pipe in their right-of-way?
2. Retaining walls along the south and west sides of the property were not constructed.
3. The garden wall adjacent to the north property line was not constructed.
4. The cobble lined swale along the north property line was not constructed.
5. The concrete lined swale along the east property line was not constructed.
6. The house and driveway are not in the location shown on the approved plan.
7. The minimum set back requirement from the north property line is 10-feet. It appears to much less than 10-feet.

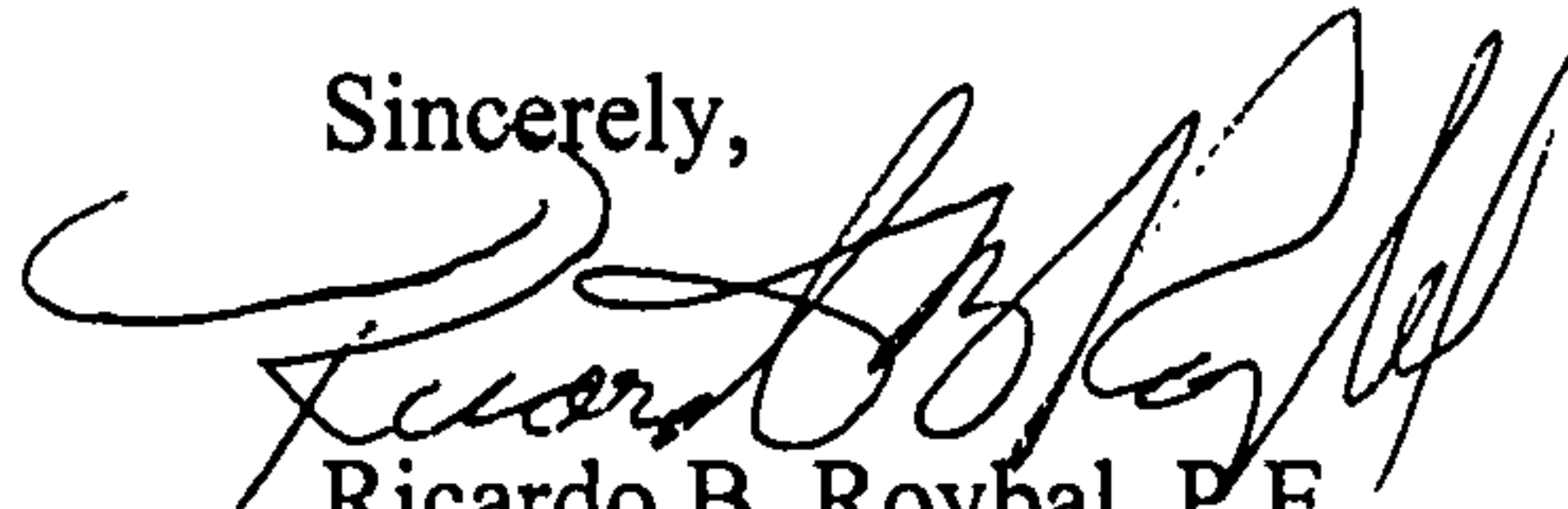
This office has requested that your Certificate of Occupancy be revoked per section 308(h) of the Uniform Administration Code. You must reply to the above comments no later than Friday, April 3, 1998. If I can be of further assistance, please feel free to contact me at 924-3979.

Good for You, Albuquerque!



Bruce Caird
March 19, 1998
Letter Continued

Sincerely,



Ricardo B. Roybal, P.E.
City Engineer

c: Steve Harris, P.E. - NMSHD
Fred Aguirre, P.E. - City Hydrology
Victoria Yorton
File

Author: Lisa A. Manwill at CABQ-PUBWORKS

Date: 2/4/98 3:33 PM

Priority: Normal

TO: Andre P. Houle at CABQ-PINO

TO: Fred J. Aguirre

Subject: 1921 Richmond NE

----- Message Contents -----

I went to 1921 Richmond Drive NE to speak with Victoria. She has not yet purchased the property. The builder/developer is still the owner.

There exists a 20.45 foot drainage easement along the east property line, perpendicular to the driveway. The approved drainage plan called for the easement to be paved with concrete into a 4-inch deep "V-ditch." The drive was not built according to the approved plan - it was not paved.

A retaining wall along the south and west property lines was shown on the plans. No retaining walls were built. The west wall may be instrumental in keeping off-site flows from the subject property.

The house encroaches on an existing 20-foot sanitary sewer easement.

Victoria was going to talk to the builder/developer and see if she could have the site built to plan. Again, she is not yet the owner of the property - she is renting at this time.

If you have any questions, please contact me at 924-3984.

Lisa Manwill

TRANSCRIBED FROM VOICE MAIL : 3/06/98 10:11 a.m. Friday

Uh, Victoria:

This is Bruce Caird:

I, uh, just learned from Milo that you are upset with the uh, uh, way we are dealing with that uh, water run-off and you know, I, I don't plan to get into a great big discussion about it. Our objective is to keep the water from getting into the back yard. Um, and we have talked about that.

Uh, I, I have the feeling and, and if I'm wrong you can tell me - I'd, I'd appreciate a call. If you want to back out of this arrangement that's fine with me. Uh, we can uh, uh start over afresh. You can go find a place that suits you very well and, and I'll find a customer for that house. Um, but um, I'm willing to do almost everything except (ha) you know, I'm not going to build a retaining wall around the, uh, back yard and, uh, uh you know I just, I don't know what your objective is unless you tell me. Um, but there are certain things I'm not going to do.

The city - if it wants to pick a quarrel, and i don't like quarrels, um, but they can pick one with me because I think they didn't do it properly in the first place.

As far as that swale is concerned in front, I planned to do that following what Milo is doing now.

Uh,I happen to be working at home. #842-0384 If you care to call me and let me know what is on your mind. I don't want to disadvantage you or have quarrels with you that are ongoing forever as you know, that is a relationship that doesn't benefit either one of us. So please let me know what you want to do and, ...by golly we'll do it.

Thank you.



Martin J. Chávez, Mayor

Debbie Cleff
DVC
6212 Torreon NE
Albuquerque, NM 87109

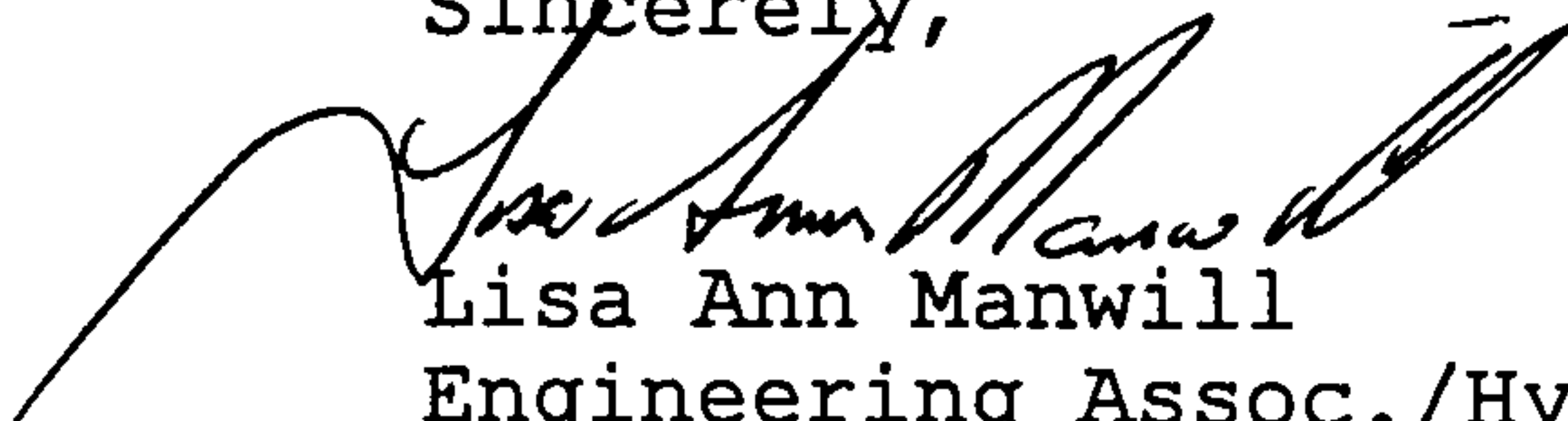
**RE: LOT 4-B-1 (H16-D119) DRAINAGE PLAN SUBMITTAL FOR FINAL PLAT
APPROVAL. ENGINEER'S STAMP DATED 9/4/96.**

Dear Ms. Cleff:

Based on the information provided on your September 5, 1996 submittal, the above referenced project is approved for Final Plat.

If I can be of further assistance, please feel free to contact me at 768-3622.

Sincerely,



Lisa Ann Manwill
Engineering Assoc./Hyd.

c: Andrew Garcia
File.





CITY OF
Albuquerque

July 30, 1996

Martin J. Chávez, Mayor

Debbie Cleff
DVC
6212 Torreon NE
Albuquerque, NM 87109

**RE: LOT 4-B-1 (H16-D119) DRAINAGE PLAN SUBMITTAL FOR FINAL PLAT APPROVAL.
ENGINEER'S STAMP DATED 7/2/96.**

Dear Ms. Cleff:

Based on the information provided on your July 11, 1996 submittal, City Hydrology has the following comments:

1. Please show finish floor elevation to mean sea level. All other elevations must be referenced to mean sea level.
2. Show proposed floor plan.
3. Whose property is the existing pond on? Is it public drainage easement?
4. Provide pond capacity calculations and show elevations.
5. Show existing and proposed contours.
6. The note that reads "20' Sanitary Sewer Easement granted by this plat," is confusing. An existing SAS line is contained within this boundary, therefore the easement is most likely existing.
7. Is the existing swale contained within a drainage easement? Do not take public waters onto private land.

If I can be of further assistance, please feel free to contact me at 768-3622.

Sincerely,

Lisa Ann Manwill
Engineering Assoc./Hyd.

c: Andrew Garcia
File

Good for You, Albuquerque!



FAX

**CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES**

**CENTER (ONE STOP SHOP)
600 2ND STREET - PLAZA DEL SOL- 2ND FLOOR W
FAX NO. 924-3864**

DATE: 2-2-98

TIME: 10:00 AM

No. of Pages: 2
(Including Cover Page)

To: Victoria

From: LISA MANWILL

Comments: If you have any questions,
please call me @ 924-3989.

MARKS
-40-12

NEW SPOT ELEV.

STATE 40

I-40

VICINITY MAP

SEE DLT. 1 THIS SHEET

EXISTING SWALE
(FREEWAY DRAINAGE)

SOUTH R/W LINE - INTERSTATE 40

SWALE - S=1% MIN

HOUSE FINISH FLOOR ELEV. = 5113.17
GRADE AT EXTERIOR WALLS = 5111.17

PROVIDE SWALE IN CONCRETE
DRIVEWAY - SEE
DETAIL 2

NEW DRIVEWAY AREA
CONCRETE

NEW PERMANENT DRAINAGE
EASEMENT - SEE PLAT FOR
EASEMENT - SEE PLAT FOR DESCRIPTION
AND NOTES

EXISTING S.A.S. MANHOLE

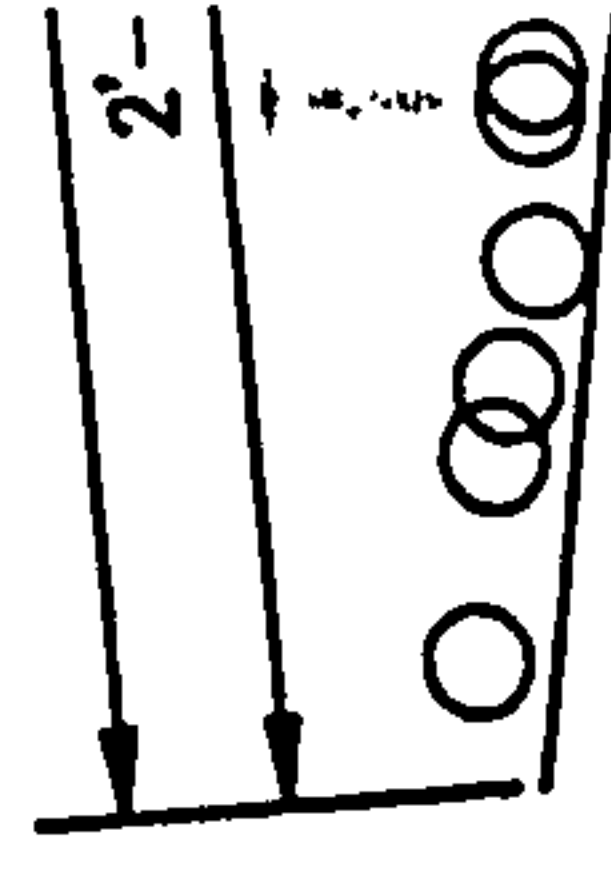
EXISTING
MANHOLE

Not to Scale

EASEMENT

NORTH

This appears to be
a 20-foot drainage
easement to accept
street water.



(RICHMOND, CUTLER & BRYNMAWR)
 $Q(100) = 28.23 \text{ CFS}$

PROPOSED
 $Q(100) = 29.97 \text{ CFS TO PUBLIC}$

$Q(100) = 0.712 \text{ CFS (EXIST.)}$
 $Q(100) = 0.99 \text{ CFS (PROP.)}$

5109.84

5108.27

N5110.0

MIN.
1% FOR 5'

5110.37

5109.56

5108.76

5109

5109.49

5108.84

5110.56

MIN.
1% FOR 5'

N5110.0
W 5110.02

5110

5110

5111

5109

5108.55

5108.31

5108

DRAINAGE INFORMATION SHEET

zone map

PROJECT TITLE: Lot A-B-1 ZONE ATLAS/DRNG. FILE #: H-16/4/19
 DRB #: _____ EPC #: _____ WORK ORDER #: _____
 LEGAL DESCRIPTION: _____
 CITY ADDRESS: _____
 ENGINEERING FIRM: DVC CONTACT: Debra Vaughan-cliff
 ADDRESS: _____ PHONE: 856-2004
 OWNER: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 ARCHITECT: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 SURVEYOR: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CONTRACTOR: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____

TYPE OF SUBMITTAL:

____ DRAINAGE REPORT
☒ DRAINAGE PLAN
 ____ CONCEPTUAL GRADING & DRAINAGE PLAN
 ____ GRADING PLAN
 ____ EROSION CONTROL PLAN
 ____ ENGINEER'S CERTIFICATION
 ____ OTHER _____

PRE-DESIGN MEETING:

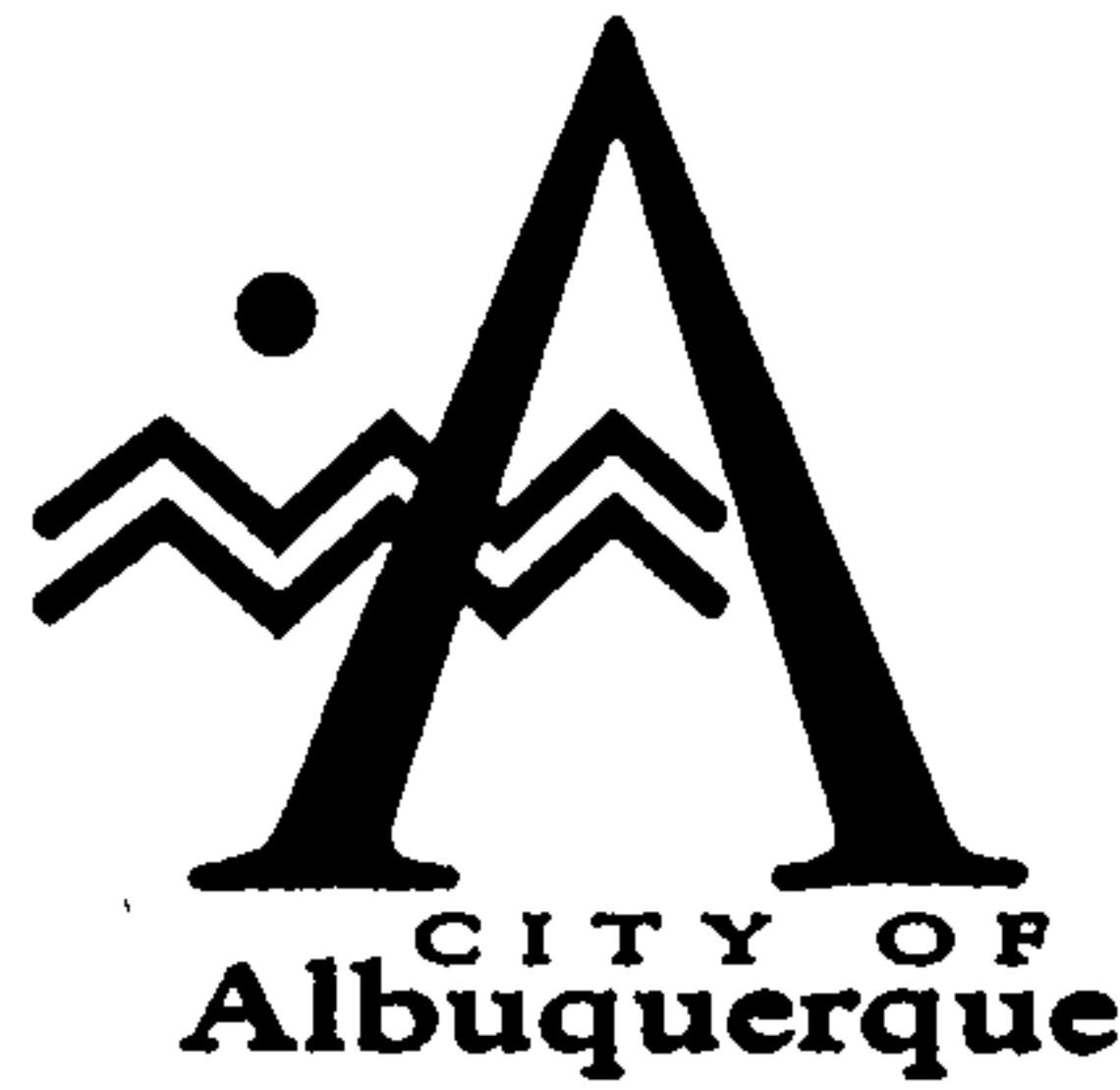
____ YES
 ____ NO
 ____ COPY PROVIDED

CHECK TYPE OF APPROVAL SOUGHT:

____ SKETCH PLAT APPROVAL
 ____ PRELIMINARY PLAT APPROVAL
 ____ S. DEV. PLAN FOR SUB'D. APPROVAL
 ____ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
 ____ SECTOR PLAN APPROVAL
☒ FINAL PLAT APPROVAL
 ____ FOUNDATION PERMIT APPROVAL
 ____ BUILDING PERMIT APPROVAL
 ____ CERTIFICATE OF OCCUPANCY APPROVAL
 ____ GRADING PERMIT APPROVAL
 ____ PAVING PERMIT APPROVAL
 ____ S.A.D. DRAINAGE REPORT
 ____ DRAINAGE REQUIREMENTS
 ____ SUBDIVISION CERTIFICATION
 ____ OTHER _____ (SPECIFY)

SEP - 5 1996

DATE SUBMITTED: _____
 BY: _____



July 22, 1998

Debra Vaughan-Cleff, P.E.
DVC Engineering
6212 Torreon NE
Albuquerque, New Mexico 87109

RE: *Engineer's Certification for 1921 Richmond Dr. NE (H16/D119) Engineer's Stamp Dated 6/21/98.*

Dear Ms. Vaughan-Cleff:

The approved Grading and Drainage plan showed several improvements which were not built. Until these issues are corrected, the certification plan cannot be accepted by City Hydrology. Please address the following comments:

1. The proposed concrete swale along the east property line, adjacent to the driveway, must be built to convey the 28.23 cfs from Richmond.
2. The retaining walls shown along the south and west property lines are required to prevent off-site flows from entering the site. These must be constructed. Was the garden wall in the northeast corner of the lot constructed?
3. The rip-rap swale along the north property line was not built according to the plan. Provide information to demonstrate that the "on-site material" used is comparable to the required rip-rap.
4. It appears from the certification plan that the house was shifted to the north. The plan is unclear on the location of the existing driveway.
5. It appears that the culvert issue has been resolved with the Highway Department. Please certify that the culvert end modifications have been done in accordance with the NMSHTD details.

If you have any questions, please call me at 924-3982.

Sincerely,

Susan M. Calongne, P.E.
City/County Floodplain Administrator

c: Bruce Caird, Owner
File

Good for You, Albuquerque!



DRAINAGE INFORMATION SHEET

PROJECT TITLE: Home for Bruce Caird

ZONE ATLAS/DRNG. FILE #: H-16

119

DRB#

EPC#:

WORK ORDER#

LEGAL DESCRIPTION: Lot 4-B-1 Mirraceros Addition

CITY ADDRESS: 1921 Richmond NE

ENGINEERING FIRM: DVC Engineering

CONTACT: Debra Vaughan-Cleff, P.E.

ADDRESS: 6212 Torreon NE

PHONE: (505) 249-6196

CITY, STATE: Albuquerque, NM

ZIP CODE: 87109

OWNER: Bruce Caird

CONTACT: Bruce Caird

ADDRESS: 2425 San Pedro NE

PHONE: 766-9103

CITY, STATE: Albuquerque, NM

ZIP CODE: 87110

ARCHITECT:

CONTRACT:

ADDRESS:

PHONE:

CITY, STATE:

ZIP CODE:

SURVEYOR:

CONTACT:

ADDRESS:

PHONE:

CITY, STATE:

ZIP CODE:

CONTRACTOR:

CONTACT:

ADDRESS:

PHONE:

CITY, STATE:

ZIP CODE:

TYPE OF SUBMITTAL:

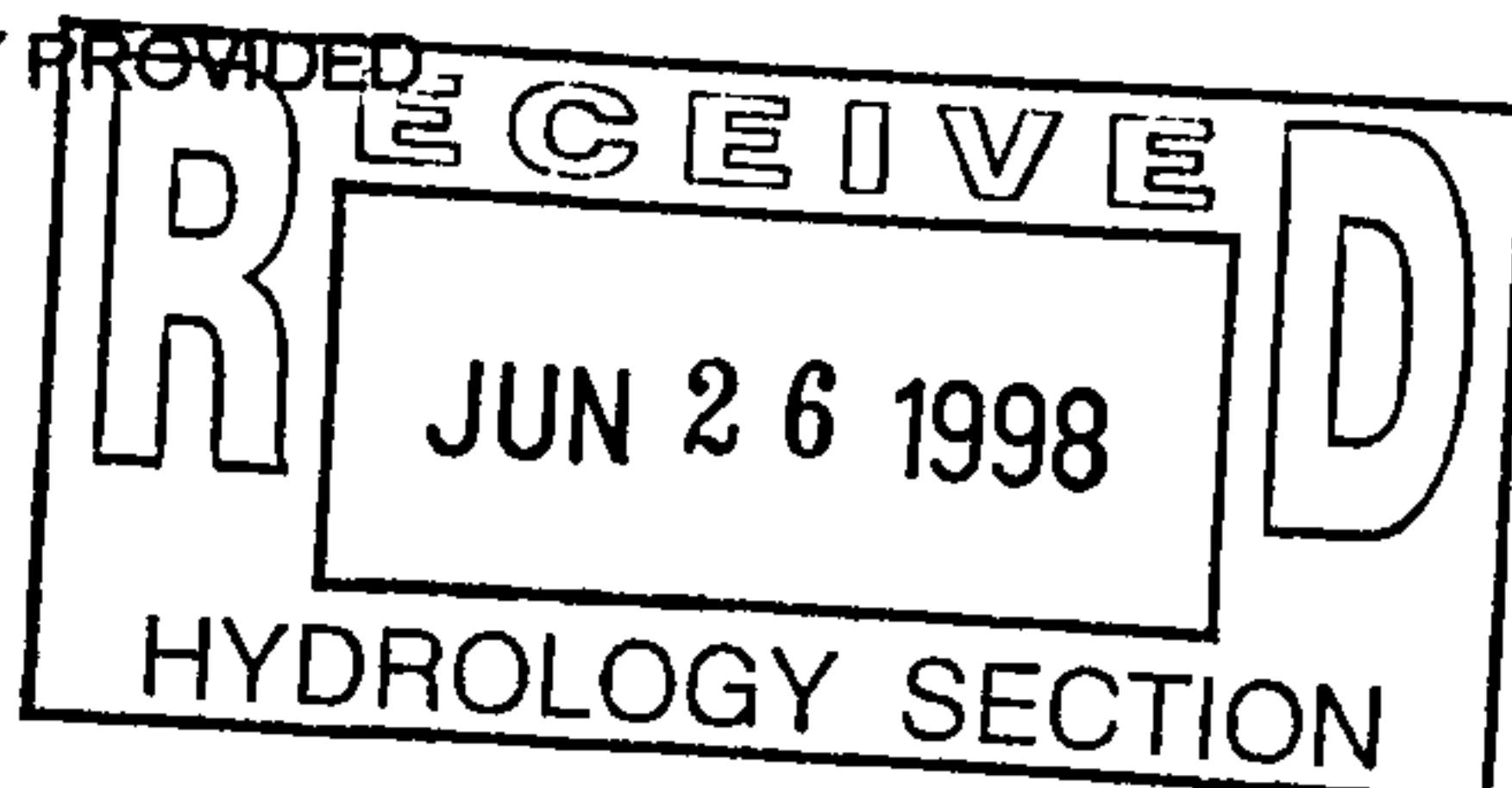
CHECK TYPE OF APPROVAL SOUGHT:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☒ ENGINEER'S CERTIFICATION
- ☐ OTHER

- ☐ SKETCH PLAT APPROVAL
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
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- ☐ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ S.A.D. DRAINAGE REPORT
- ☐ DRAINAGE REQUIREMENTS
- ☒ OTHER (SPECIFY)

PRE-DESIGN MEETING:

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED



As-constructed drawings
for approval

DVC
DVC
DVC
DVC

Debra Vaughan-Cleff, P.E.
Consulting Engineer

6212 Torreon NE
Albuquerque, NM 87109
(505) 249-6196
Fax (505) 828-1215

June 26, 1998

City of Albuquerque
Hydrology Division
P.O. Box 1293
Albuquerque, NM 87103

Attn: Susan Calongne, P.E.

Re: 1921 Richmond NE

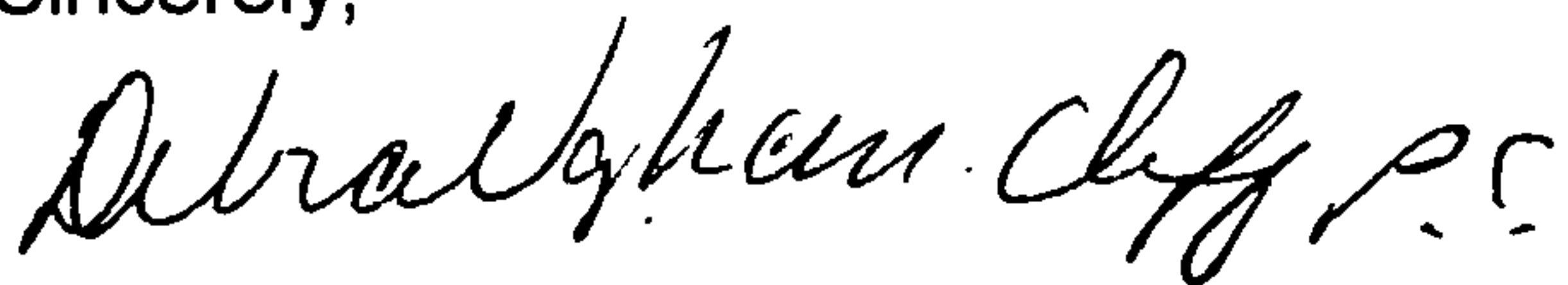
Dear Susan:

I submitted a drainage plan for this property in 1996. The property owner, when he constructed the house made some minor modifications, such as leaving the slopes natural instead of providing terraced retaining walls (planters).

In addition, he placed a pipe extension on an existing pipe and cut a hole in the highway fence. Mr. Caird, the property owner, did this because the culvert that is installed behind his property had breached the diversion into the NMSHTD right-of-way and was draining directly into his property. The culvert is the property of the City of Albuquerque and is in a dedicated drainage easement. The City has written him several letters stating that he did not properly execute the grading plan as approved and admonishing him for cutting the highway fence.

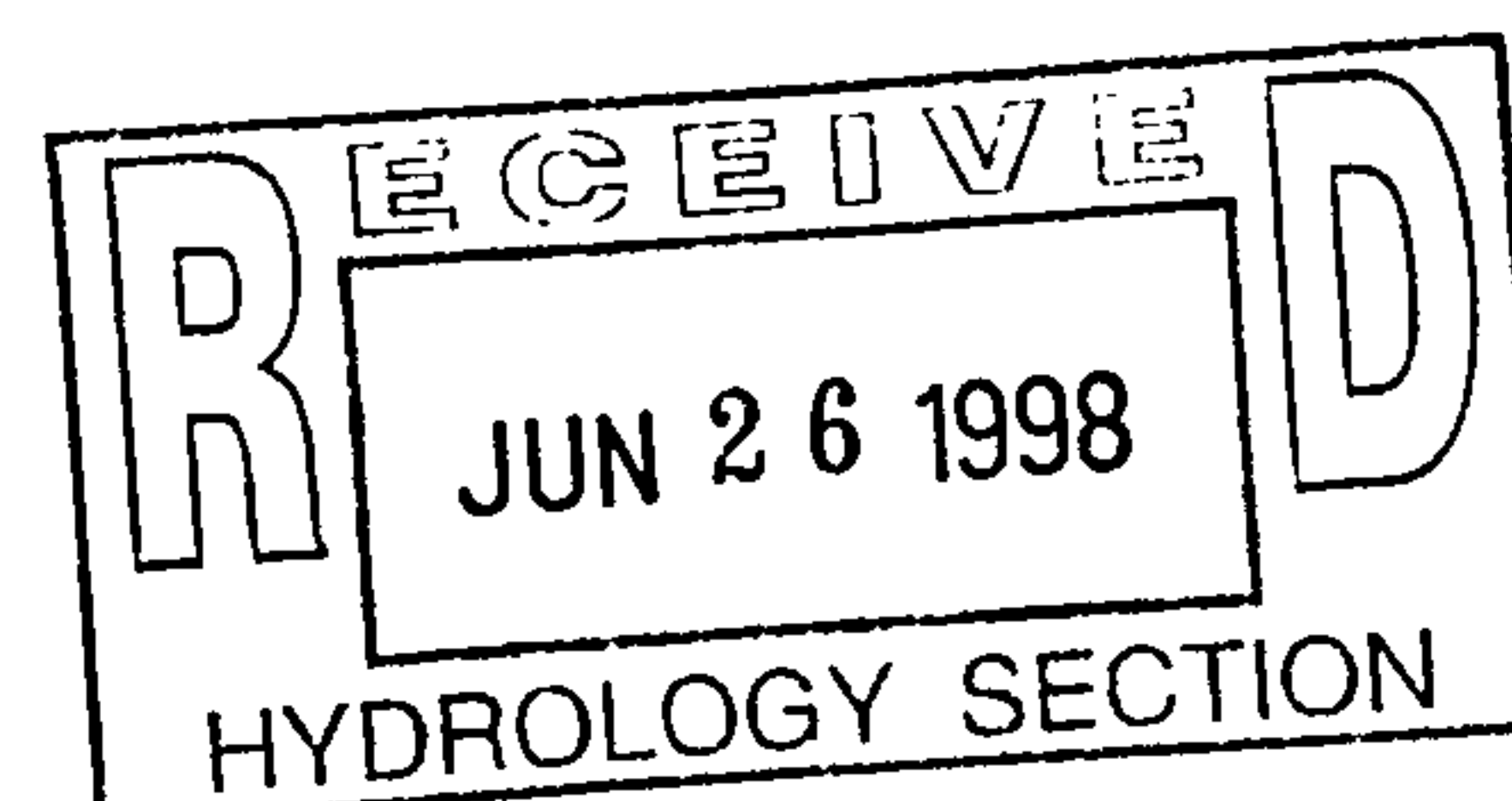
We have met with Raymunda Van Hoven, NMSHTD Drainage Division. Ray stated that a proper collar and pipe would have to be installed. I have submitted the corrective measures to the Highway Department and am waiting for a response. In the mean time, I am also submitting the as-built drawing to you for your approval.

Sincerely,



Debra Vaughan-Cleff, P.E.

Attach.



DVC
DVC
DVC
DVC

Debra Vaughan-Cleff, P.E.
Consulting Engineer

6212 Torreon NE
Albuquerque, NM 87109
(505) 249-6196
Fax (505) 828-1215

June 16, 1998

Raymunda Van Hoven
New Mexico State Highway
& Transportation Department
1120 Cerrillos Rd..
Santa Fe, NM 87501

Re: 1921 Richmond NE, Albuquerque, NM

Dear Ms. Van Hoven:

Thank you for taking the time to inspect the above referenced property. I received your comments.

The existing culvert is an 18" culvert and is in-fact too small. The culvert was approved and/or installed by the City of Albuquerque. It was originally intended to flow directly into the highway right-of-way, however, the installation failed and is discharging into the this property. The property owner, Bruce Caird, has offered to install a collar and a pipe extension through the highway fence into the right-of-way, which is where the pipe was intended to discharge all along. In order to make sure the pipe extention is not an danger to the traveling public, he will also install a modified concrete blanket, without safety grates. All of the construction will be completed in accordance with NMSHTD standard details and specifications.

Although this is really the City of Albuquerque's problem, the property owner is willing to complete this at his cost to protect the tenant on the property.

I am submitting a detail and the as-built plans to you for your review. After you have reviewed the details and plan, please provide me with a letter of your concurrence so that I can submit it to the City of Albuquerque with the as-built drawings.

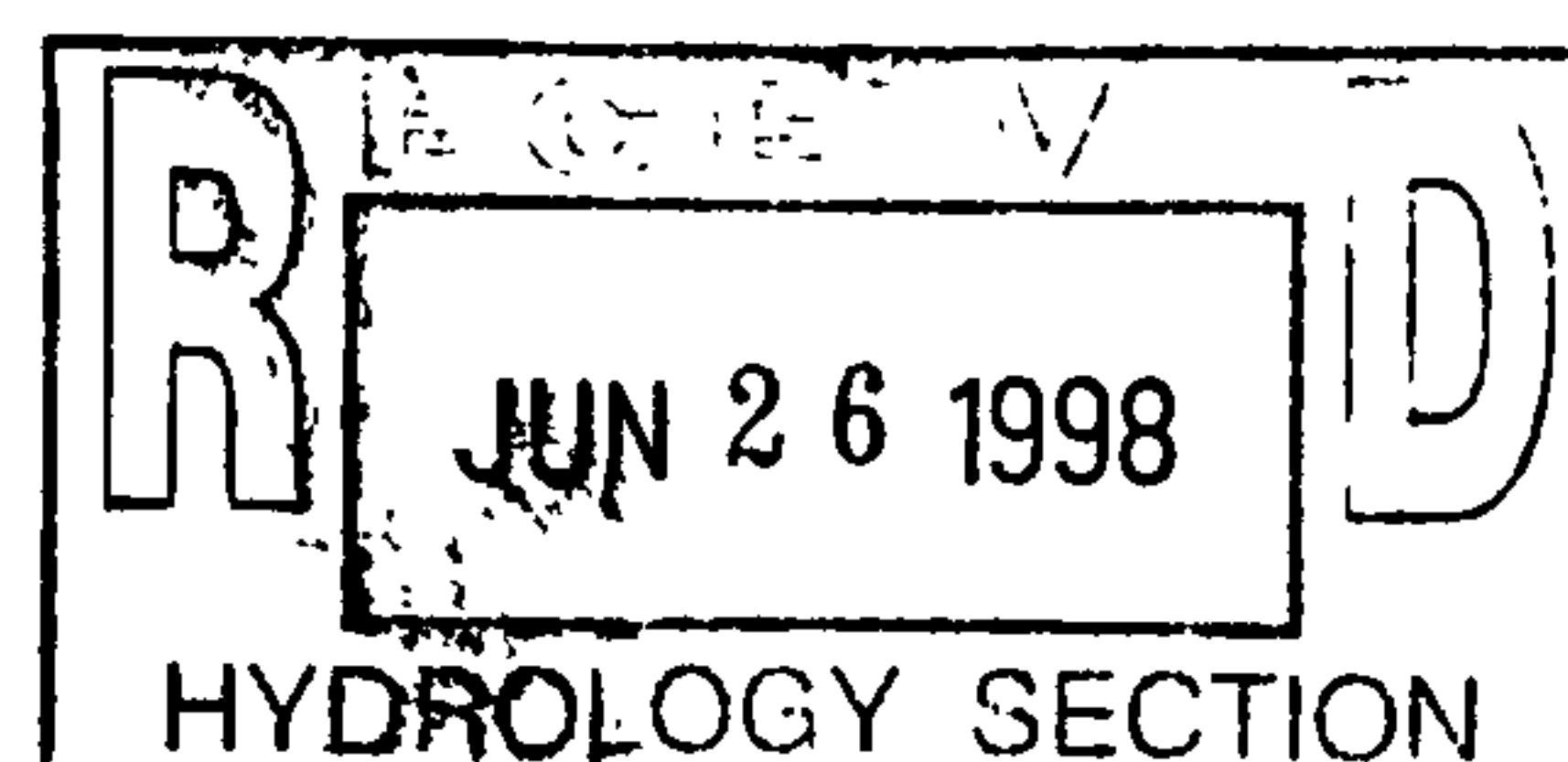
If you need any information or have any questions, please contact me at 249-6196.

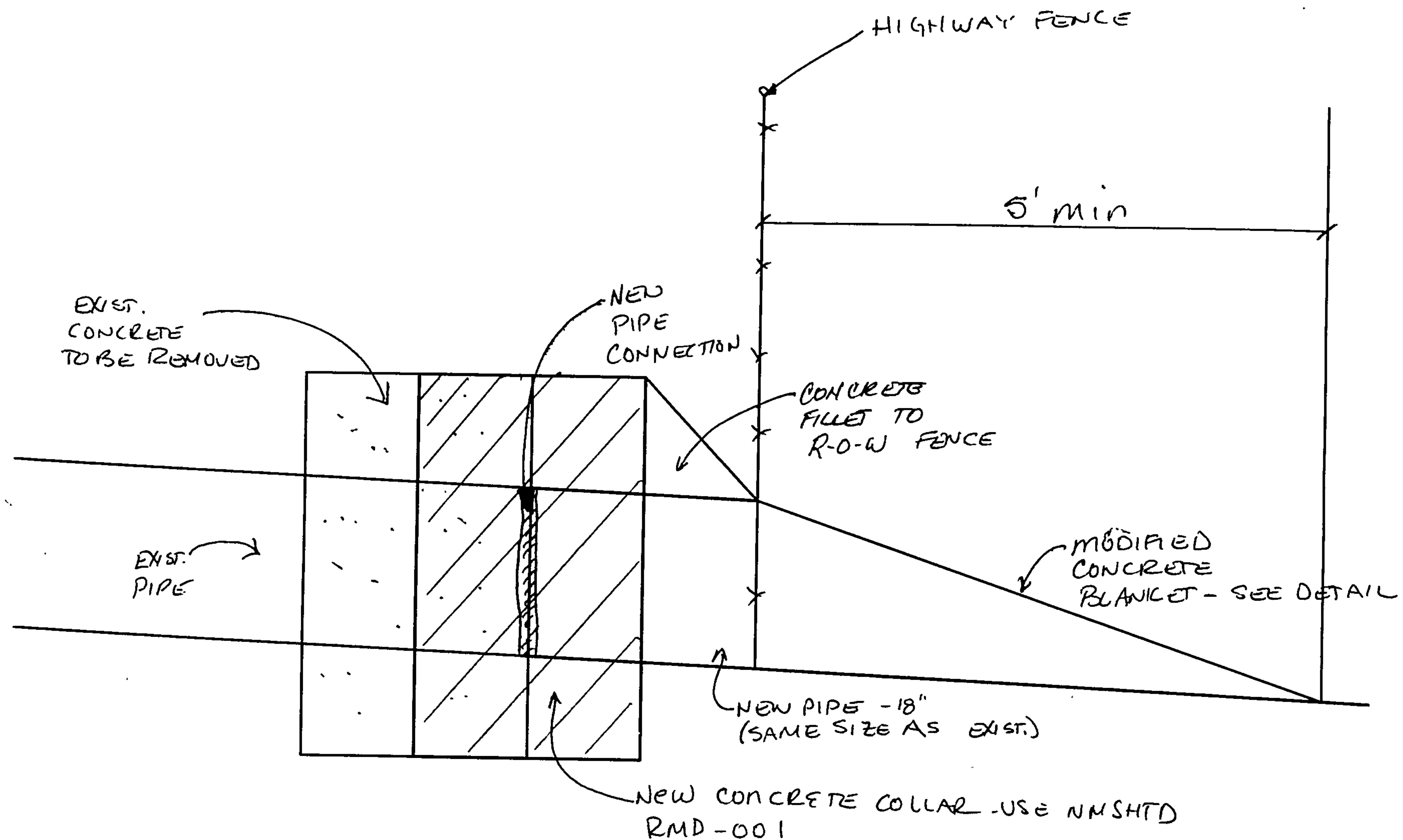
Sincerely,



Debra Vaughan-Cleff, P.E.

Attach.



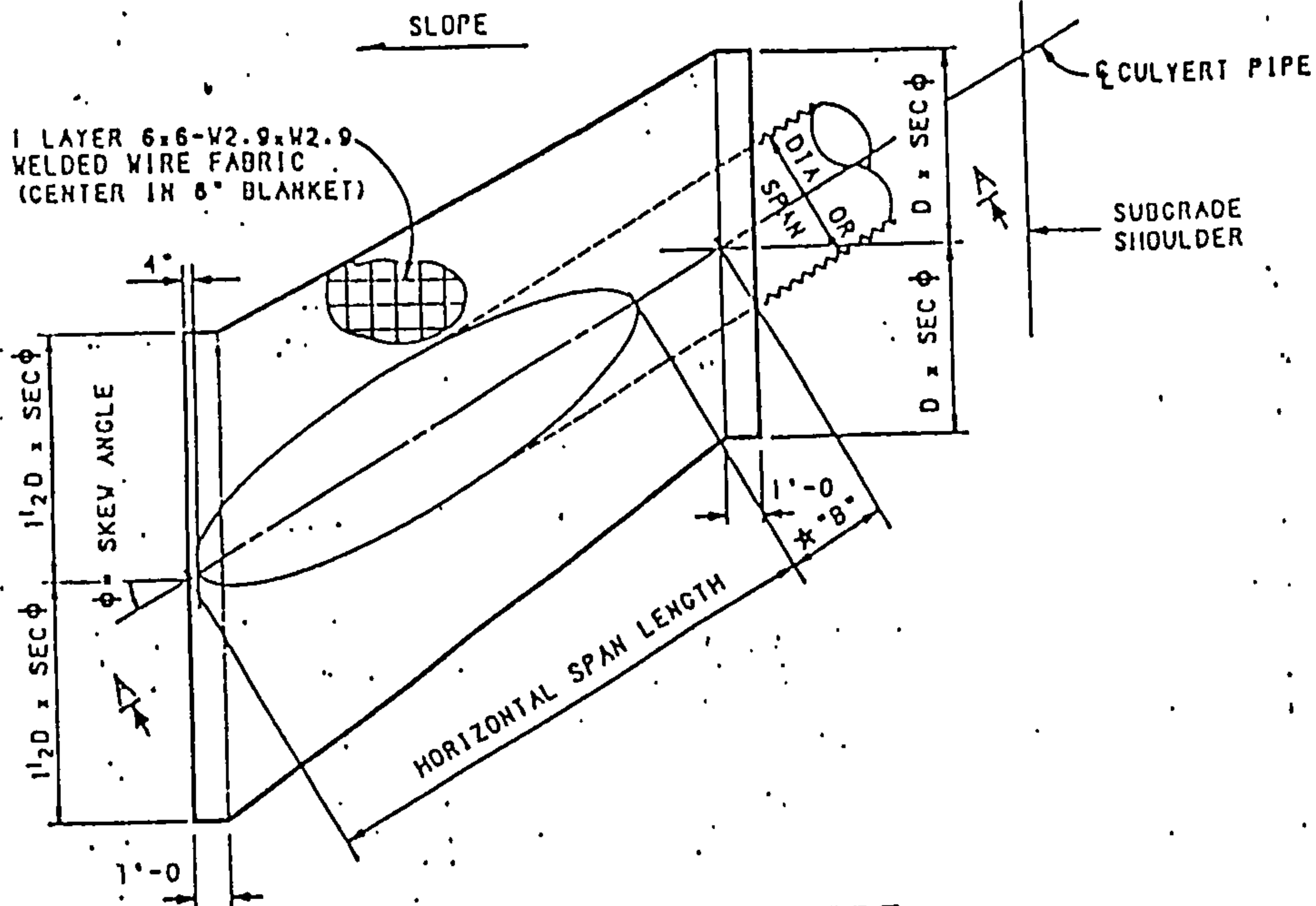


DESIGNED BY:
DETAILED BY:

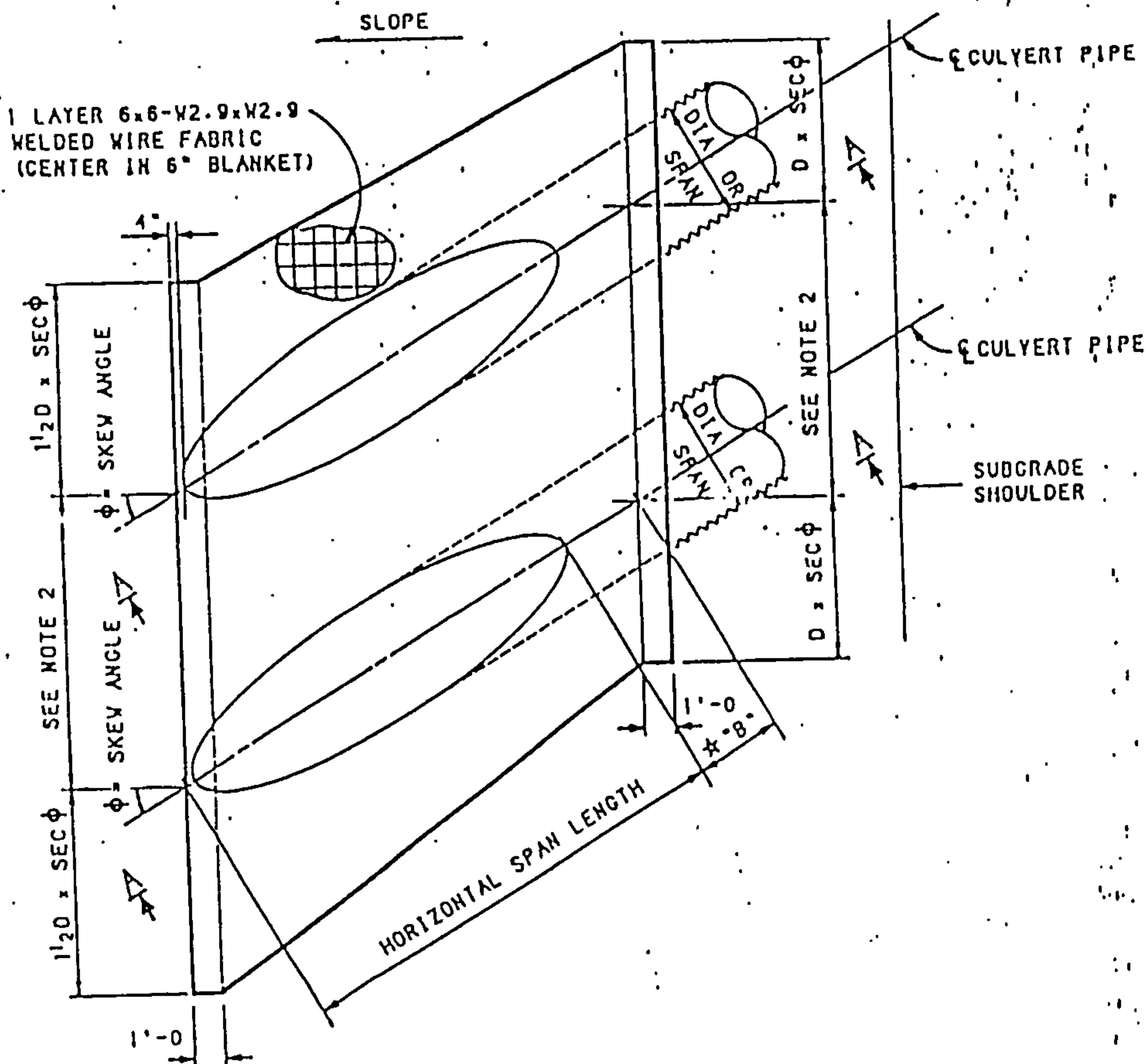


NOTE: SEE ROADWAY PLANS FOR "S".

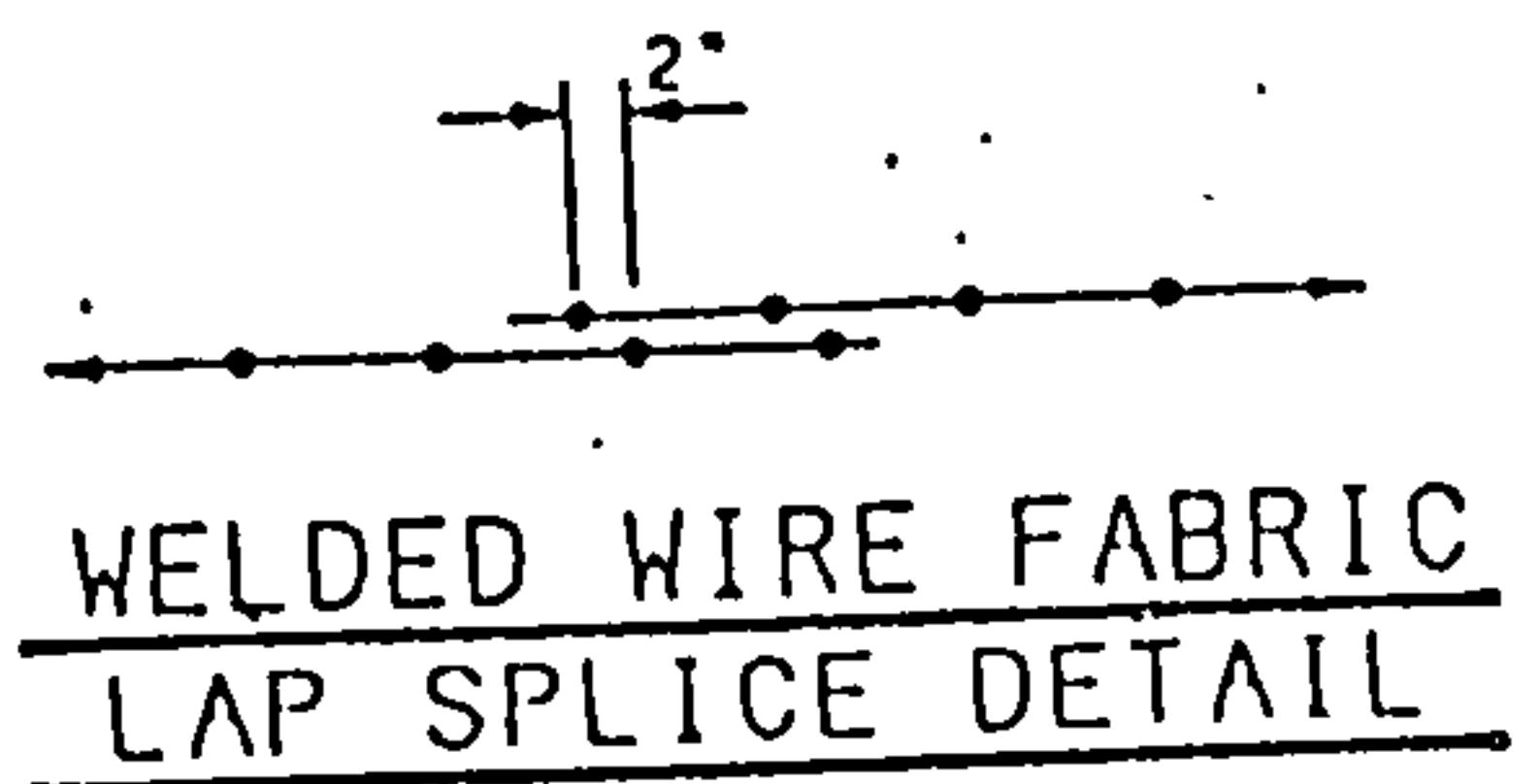




PLAN AT SINGLE PIPE
(SKEWED INSTALLATIONS)




PLAN AT MULTIPLE PIPES
(SKEWED INSTALLATIONS)



WELDED WIRE FABRIC
LAP SPLICE DETAIL

NOTES

1. FOR NEW CULVERT INSTALLATIONS, USE $D + 3'-0$.
FOR EXTENSIONS OR MODIFICATIONS TO EXISTING CULVERT
INSTALLATIONS, MATCH EXISTING CULVERT PIPE SPACING.
2. FOR NEW CULVERT INSTALLATIONS, USE $(D + 3'-0) \times \text{SEC } \phi$.
FOR EXTENSIONS OR MODIFICATIONS TO EXISTING CULVERT
INSTALLATIONS, MATCH EXISTING CULVERT PIPE SPACING.
3. REINFORCE CONCRETE BLANKETS WITH 1 LAYER OF
6x6-W2.9xW2.9 WELDED WIRE FABRIC. PLACE FABRIC ON
THE CENTERLINE OF THE CONCRETE BLANKET, AND EXTEND
INTO CUT-OFF WALL FULL DEPTH. WELDED WIRE FABRIC
SHALL CONFORM TO A.A.S.H.T.O. M-55.
4. REFER TO SERIAL BBG-001 FOR GENERAL NOTES.

6			
5			
4			
3			
2			
1			
NO.	DESCRIPTION	DATE	BY
REVISIONS (OR CHANGE NOTICES)			
NEW MEXICO STATE HIGHWAY AND TRANSPORTATION DEPARTMENT			
 <div style="display: inline-block; vertical-align: middle;"> CONCRETE BLANKETS WITHOUT SAFETY GRATES (Normal And Skewed Installations) </div>			
LARGE SCALE PLAN	APPROVED	DATE	
SMALL SCALE PLAN	REVISIONS	BY	
	<i>[Signature]</i>	<i>[Signature]</i>	
	<i>[Signature]</i>	<i>[Signature]</i>	

DVC
DVC
DVC
DVC

Debra Vaughan-Cleff, P.E.
Consulting Engineer

6212 Torreon NE
Albuquerque, NM 87109
(505) 249-6196
Fax (505) 828-1215

June 30, 1998

City of Albuquerque
Hydrology Division
P.O. Box 1293
Albuquerque, NM 87103

Attn: Susan Calongne, P.E.

Re: 1921 Richmond NE

Dear Susan:

This is a follow up letter to the letter dated June 26, 1996. The NMSHTD has approved the culvert extension into the highway right-of-way, with one comment. See the attached letter from Raymunda Van Hoven, Drainage Engineer, NMSHTD, dated June 29, 1998.

The comment was accepted by the property owner and will be constructed detailed with a bend to direct the flow parallel to the driving lanes. A permit has been requested from the District Three Office in Albuquerque to construction within the highway right-of-way and is expected soon.

With this approval from the NMSHTD, the property owner respectfully requests you approval for the amended grading plan.

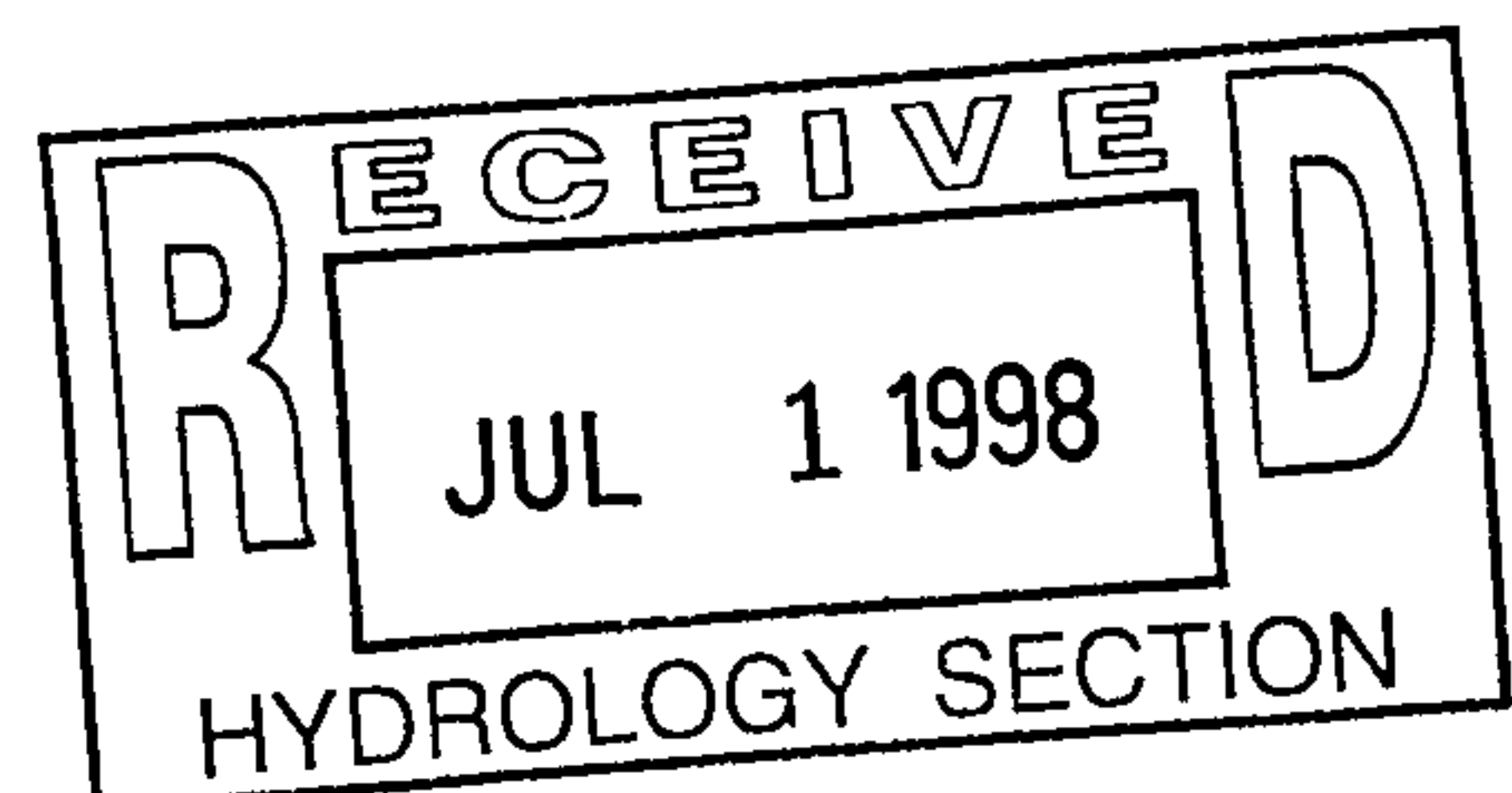
If you have any questions, please contact me at 249-6196.

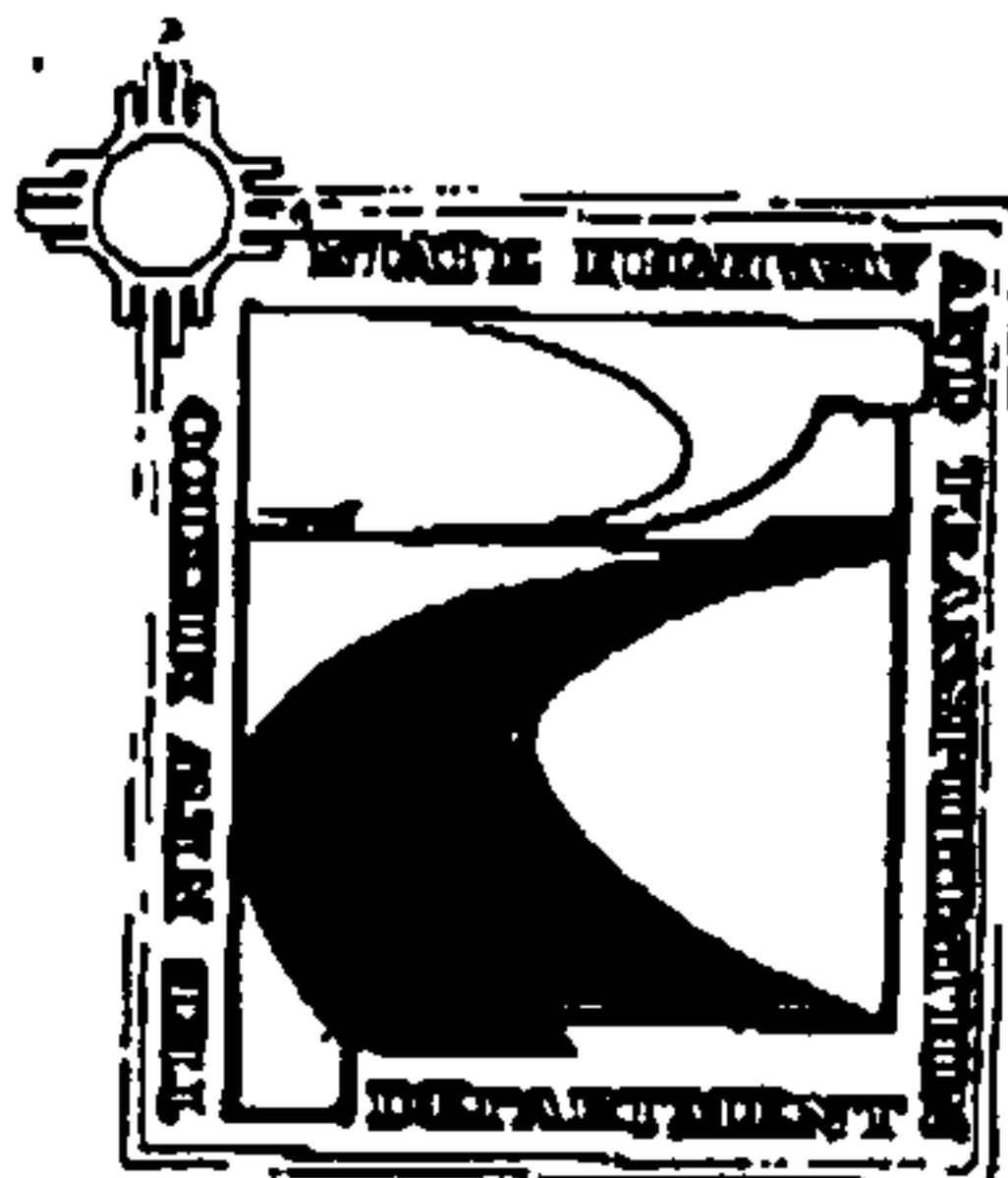
Sincerely,



Debra Vaughan-Cleff, P.E.

Attach.





GARY E. JOHNSON
GOVERNOR

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Chairman, Socorro

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**NEW MEXICO STATE HIGHWAY
AND TRANSPORTATION DEPARTMENT**
AN EQUAL OPPORTUNITY EMPLOYER

June 29, 1998

Ms. Debra Vaughan-Cleff, P.E.
Consulting Engineer
6212 Torreon NE
Albuquerque, New Mexico 87109

Subject: 18" Culvert Extension, 1921 Richmond NE, Albuquerque

Dear Debra:

I received your letter and plan details for the 18" culvert extension at Richmond Avenue that drains into the State right-of-way. I concur with the recommendations; and your submittal addressed the May 19, 1998 comments.

However, I recommend to provide an elbow at the pipe extension so as not to direct the flow toward the driving lanes. Please keep the pipe extension as far from the pavement as possible and outside of the clear zone. The clear zone is 33 feet from the edge of the outside driving lane.

By copy of this letter, I request the District Three Office in Albuquerque to provide the necessary permit since the construction the culvert extension is within the highway right-of-way.

We appreciate Mr. Bruce Caird's and your cooperation. If I can be of further assistance, please advise.

Sincerely,

Raymunda A. Van Hoven
Raymunda A. Van Hoven
Drainage Engineer

XC: George Herrera
Kathy Trujillo, DO#3
Julian Vigil, DO#3
Bruce Caird, Realty Inc.

DVC
DVC
DVC
DVC

Debra Vaughan-Cleff, P.E.
Consulting Engineer

H16/D119

6212 Torreon NE
Albuquerque, NM 87109
(505) 249-6196
Fax (505) 828-1215

August 14, 1998

City of Albuquerque,
Public Works Department
Hydrology Division - One-Stop Shop
P.O. Box 1293
Albuquerque, NM 87102

Attn: Susan M. Calogne, P.E.
City/County Floodplain Administrator

Re: Engineer's Certification for 1921 Richmond Dr. NE
(H16/D119)

Dear Ms. Calogne:

This letter is in response to your letter dated July 22, 1998.

1. The swale will be constructed in conjunction with the construction of the NMSHTD culvert into the right-of-way.
2. Because of the configuration of the lots in the vicinity, there is not any offsite flows. The grading and drainage plans show the source of all of the off-site and on-site flows. The retaining walls were originally shown to be constructed of either concrete or terraced railroad ties. They were shown to maximize the yard space for the owner, not for drainage control. You will note that the property owner chose to fence a much smaller space for a yard which made the walls unnecessary. The sloped area is stable and does not need retaining walls.
3. The on-site material is decomposed granite and sand. It does not compare to rip-rap. The swale was designed to take the overflow from the culvert above since it was improperly constructed. Now that the culvert is going to be diverted directly into the NMSHTD right-of-way, no swale is necessary.
4. The house constructed was smaller than the proposed pad envelope. The northern setback remains the same as shown on the plans. The driveway align with the 5' setback.

After the culvert and swale are constructed I will resubmit the engineering certification.

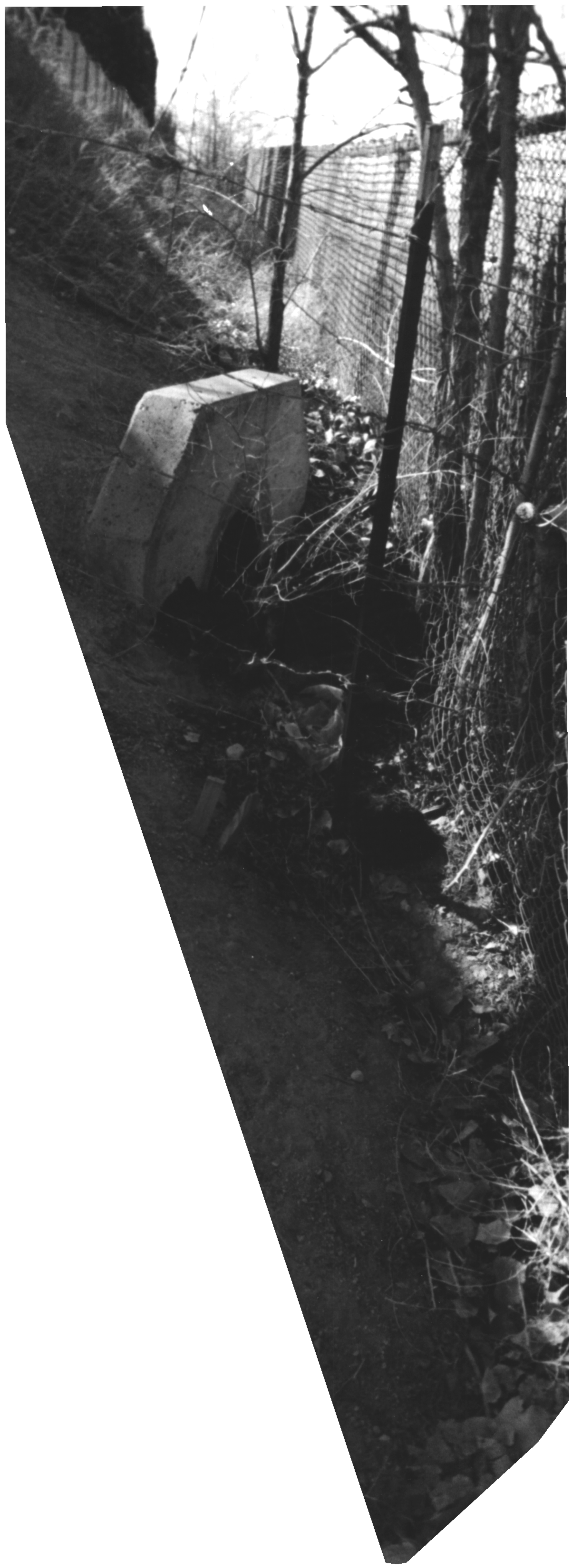
If you have any questions, please call me at 249-6196.

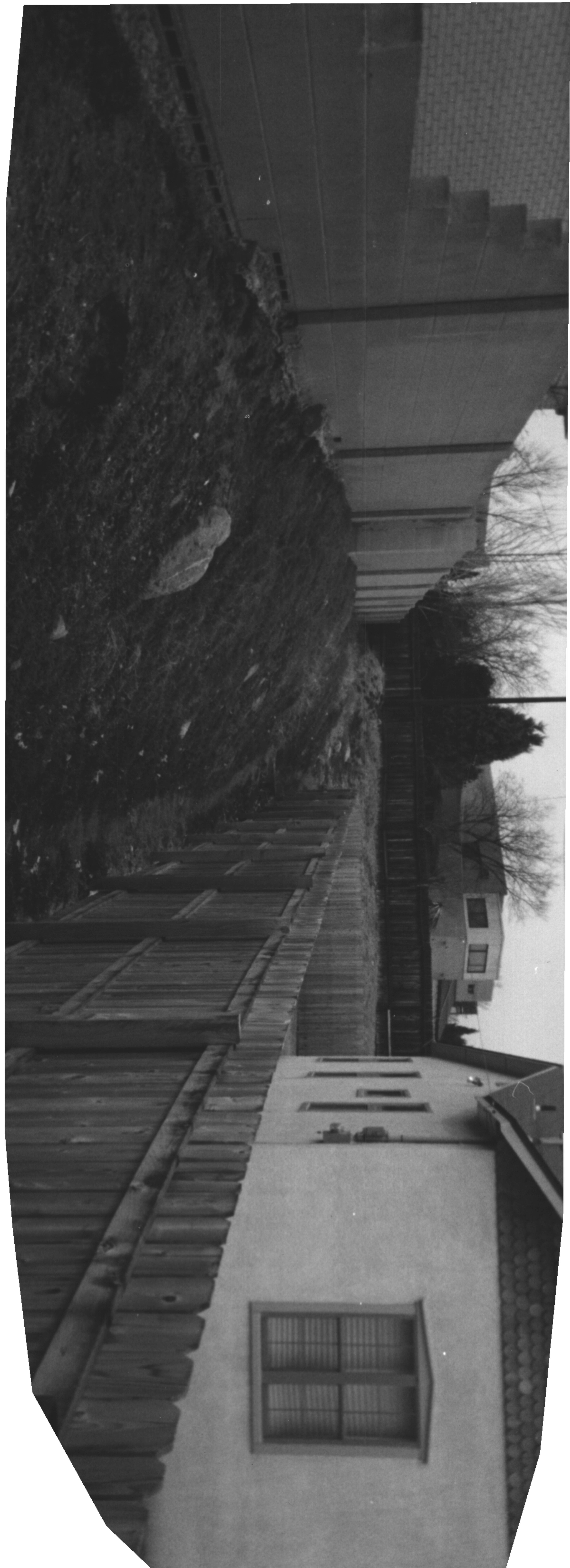
Sincerely,


Debra Vaughan-Cleff, P.E.

xc: Bruce Caird

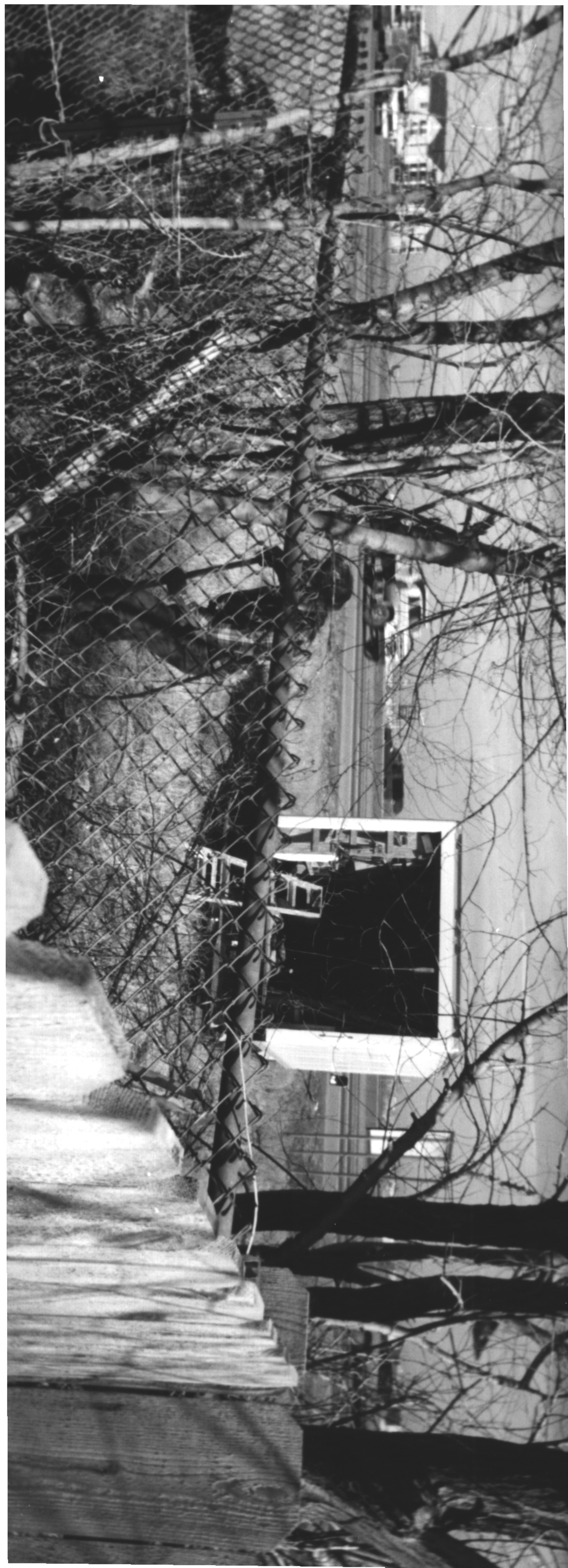






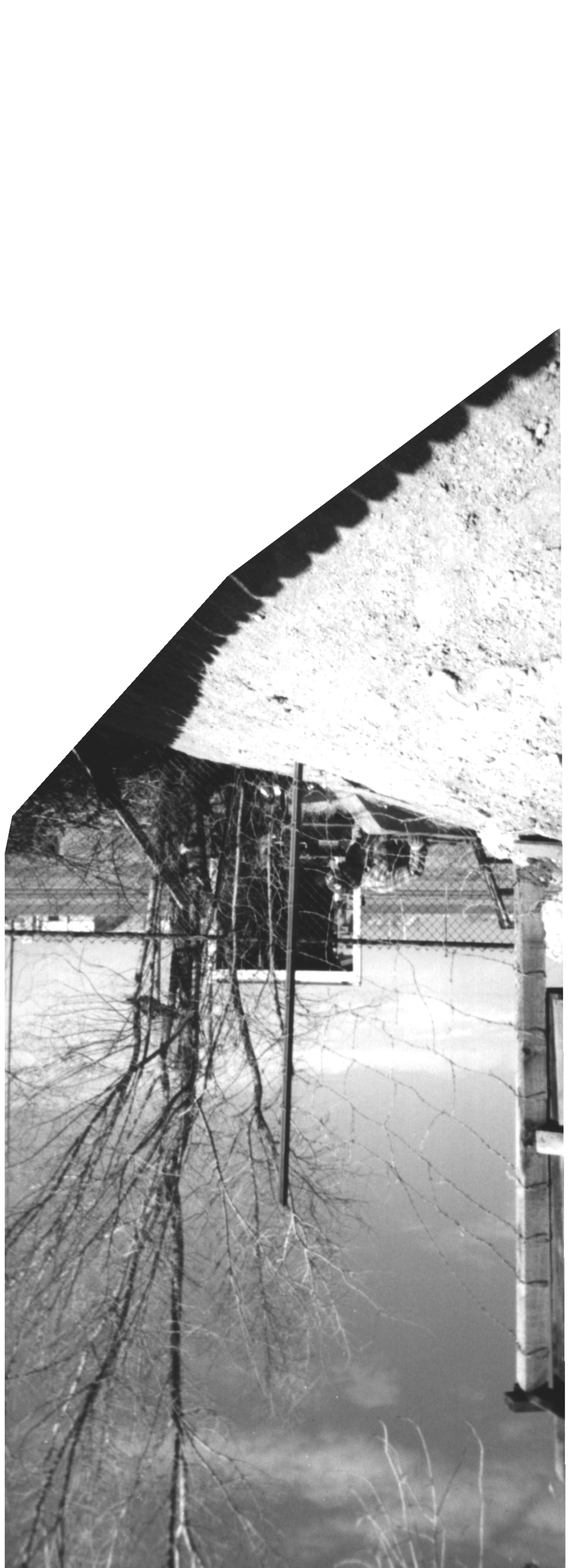
















COMMERCIAL BROKERAGE
COMMERCIAL LEASING
PROPERTY MANAGEMENT
RESIDENTIAL SPECIALISTS

bruce caird realty, inc.

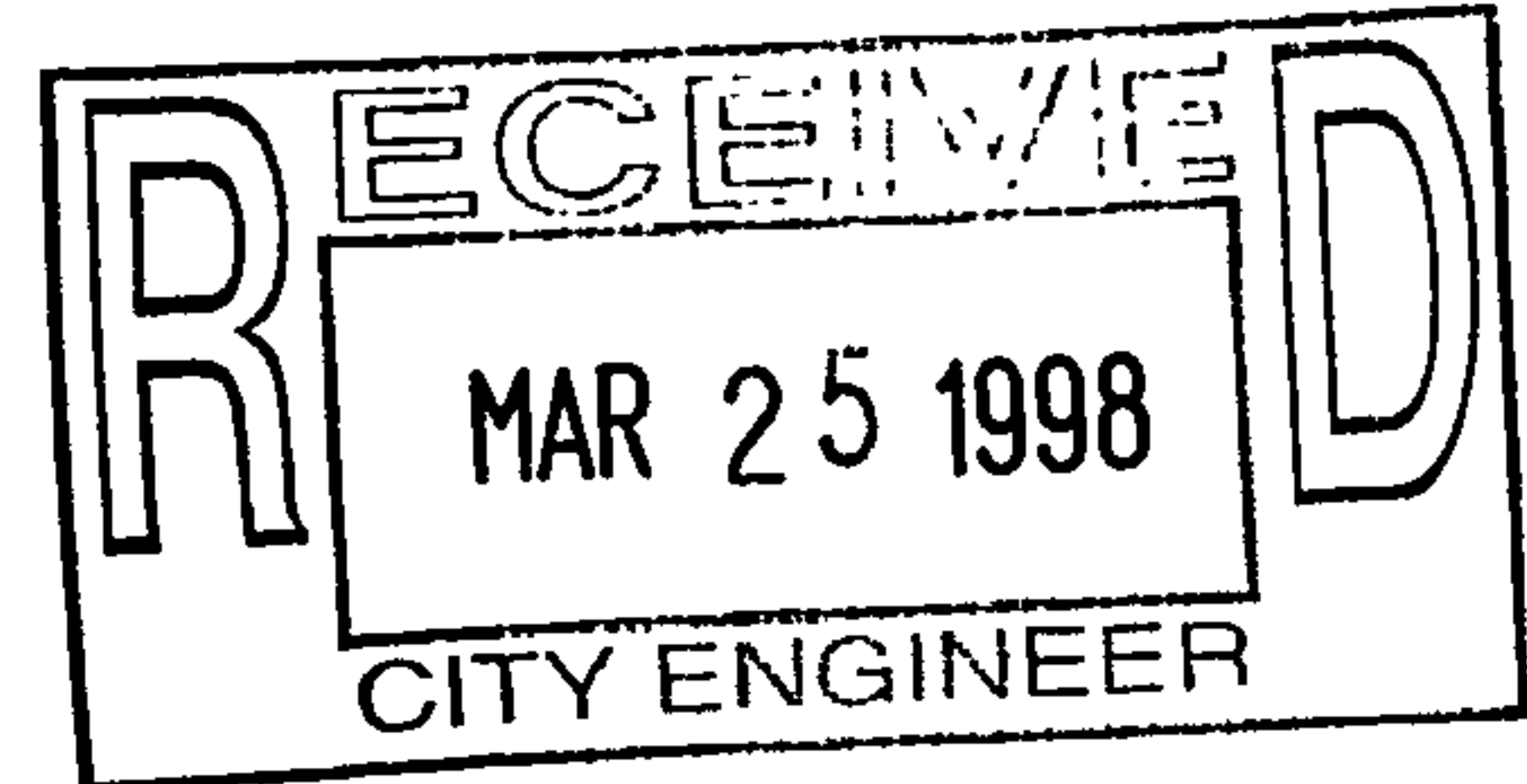
est. 1957

"Two Generations of Professional Service"

2425 SAN PEDRO, N.E.
ALBUQUERQUE, NEW MEXICO 87110
TELEPHONE (505) 881-9696
FAX (505) 881-1781

March 24, 1998

Mr. Ricardo B. Roybal, P.E.
City of Albuquerque Engineer
Public Works Department
P. O. Box 1293
Albuquerque, New Mexico 87103



Re: 1921 Richmond NE

Dear Mr. Roybal,

In response to your letter dated March 19th, I would like you to know that I have engaged Deborah Vaughn Cleff, P.E. to review the property as built and to work with the City and State Engineer regarding the drainage plan.

It is true that there were job site changes made in order to fit the house on an unusually narrow lot so as not to encroach on the southerly sewer easement.

In any event I assure you I will make a diligent effort to remedy the stated concerns.

Very truly yours,


R. Bruce Caird

RBC/ds

encl:

THIS IS TO CERTIFY:

TO TITLE COMPANY: FIRST AMERICAN TITLE INSURANCE COMPANY

TO UNDERWRITER: _____

TO LENDER: UNION SAVINGS BANK

THAT ON SEPTEMBER 18, 1996, I MADE AN ACCURATE INSPECTION OF THE PREMISES SITUATED AT ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, BRIEFLY DESCRIBED AS:

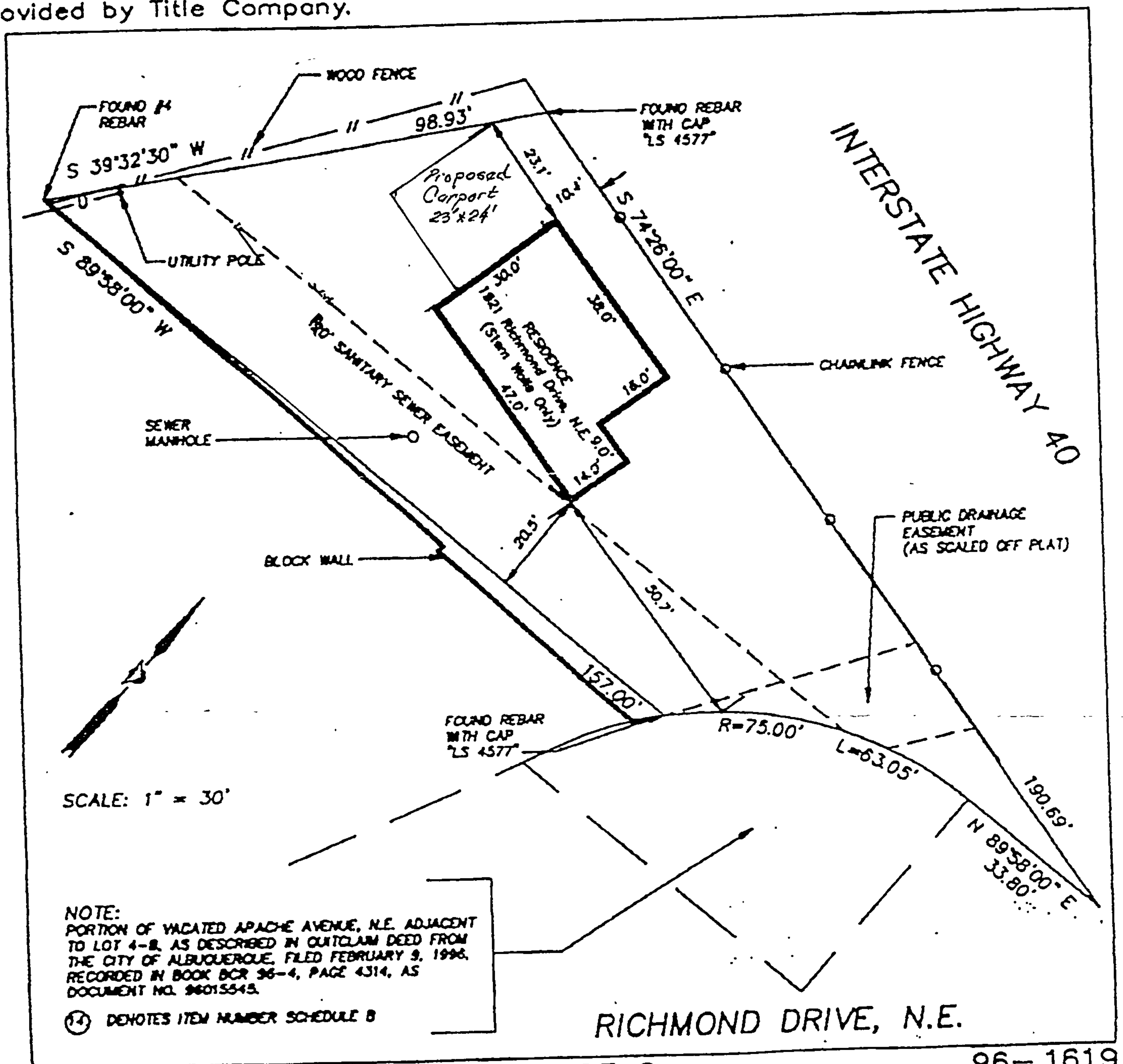
1921 RICHMOND DRIVE, N.E.

PLAT REFERENCES: Bearings, distances and/or curve data are taken from the following plat:

PLAT OF LOT NUMBERED 4-B-1, IN BLOCK NUMBERED ELEVEN (11) (BEING A REPLAT OF LOT 4-B) VACATION OF 20 FOOT WIDE (STORM) SEWER EASEMENT MIRACERROS ADDITION ALBUQUERQUE, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT OF SAID ADDITION, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON SEPTEMBER 26, 1996 IN VOLUME 96C, FOLIO 400, TOGETHER WITH THAT PORTION OF VACATED APACHE AVENUE, N.E. ADJACENT TO LOT 4-B, AS DESCRIBED IN QUITCLAIM DEED FROM THE CITY OF ALBUQUERQUE, NEW MEXICO FILED FEBRUARY 9, 1996, RECORDED IN BOOK BCR96-4, PAGE 4314, AS DOCUMENT NO. 96015545.

NOTE: The error of closure is one foot of error for every NO ERROR feet along the perimeter of the legal description provided.

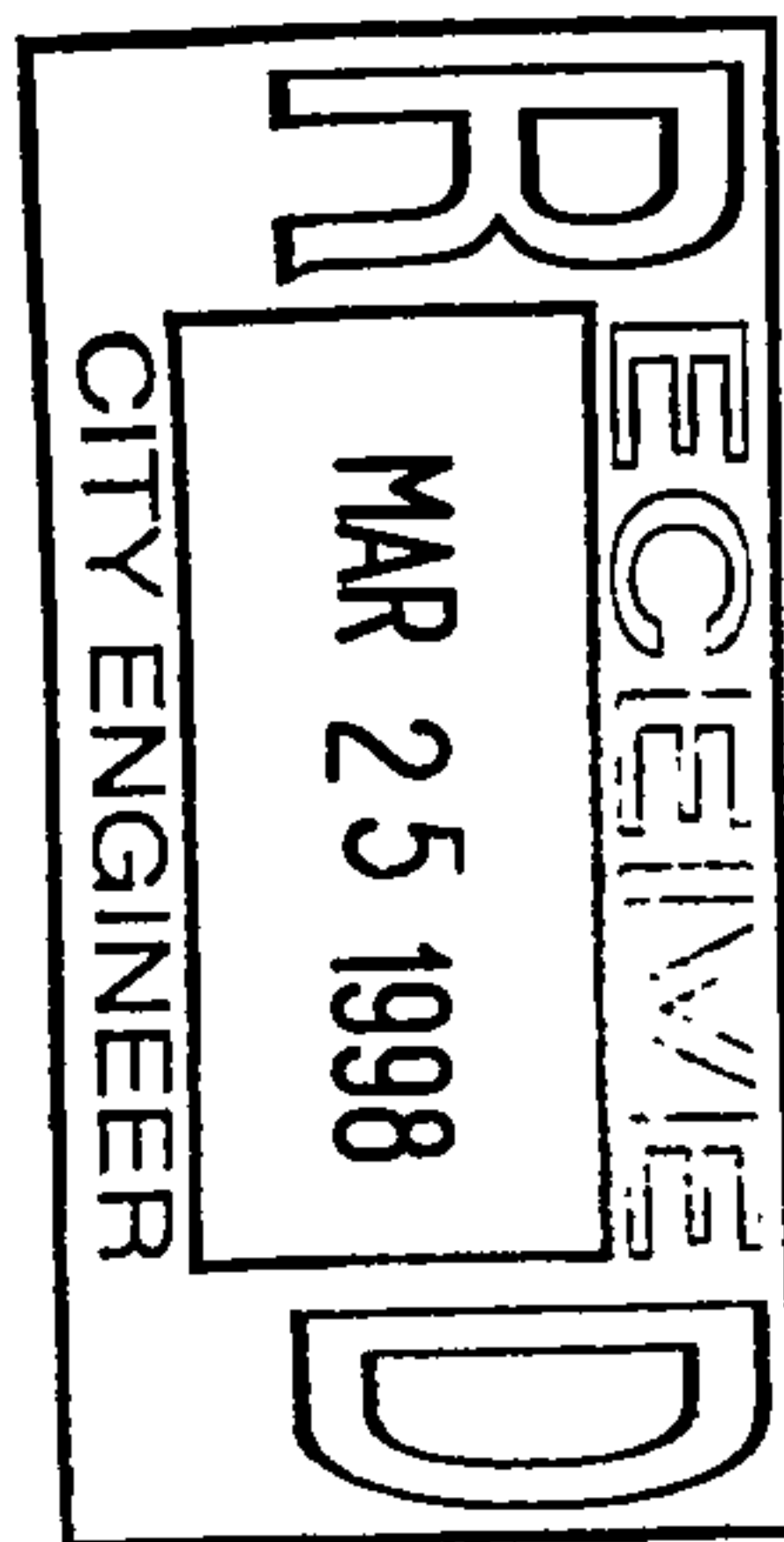
Easements shown hereon are as listed in Title Commitment No. 108128.PAU provided by Title Company.



bruce caird
realty, inc.

est. 1957

2425 San Pedro Blvd., N.E.
Albuquerque, N.M. 87110



CERTIFIED

Z 448 485 537

MAIL

Lunch Wagon 1890s
23 USA



Lunch Wagon 1890s
23 USA



Lunch Wagon 1890s
23 USA



Lunch Wagon 1890s
23 USA



Lunch Wagon 1890s
23 USA



Lunch Wagon 1890s
23 USA



Lunch Wagon 1890s
23 USA



Lunch Wagon 1890s
23 USA



Lunch Wagon 1890s
23 USA



Lunch Wagon 1890s
23 USA



Lunch Wagon 1890s
23 USA



Mr. Ricardo B. Roybal, P.E.
City of Albuquerque Engineer
Public Works Dept.
P.O. Box 1293
Albuquerque, NM 87103