

Kathleen Hamilton
PLANNING AND DEVELOPMENT

O.D. McDonald, PRESIDENT
CHIEF EXECUTIVE OFFICER

Bethany Robison
FINANCE AND ADMINISTRATION

REC
3-2-09

WESTLAND CORPORATION

2400 Candelaria, Northeast
Albuquerque, New Mexico 87107
(505) 884-2131
Fax No. (505) 884-8640

March 2, 2009

Tim Simms

Plan Checker, Hydrology Division

City of Albuquerque

Mr. Simms:

This memo concerns the proposed addition to the storage units to be built at 2240 Menaul Blvd. Westland Corporation is aware that there is no weather protection at the exterior walls. We are also aware that water could seep under the framing members and cause damage to items stored within the confines of this structure. Westland Corporation has no plans to store items in these units that could suffer damage. The square footage of this project is 1473 square feet.

Thank you for your attention to this matter.



Beth Robison

Apartments and Commercial Properties, Albuquerque, New Mexico
T-Anchor Development, Amarillo, Texas
National Flea Market, Lubbock, Texas
Western Tower, Oklahoma City, Okla.



July 20, 1998

Kent Whitman
Community Sciences Corporation
P.O. Box 1328
Corrales, New Mexico 87048

RE: DRAINAGE PLAN FOR 2400 MENAUL BLVD. NE (H16-D120) REVISION DATED
6/10/98

Dear Mr. Whitman:

Based on the information provided on your June 17, 1998 submittal, the above referenced site is approved for Building Permit.

Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

Also, prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

If I can be of further assistance, please feel free to contact me at 924-3986.

C: Andrew Garcia
File

Sincerely

Bernie J. Montoya CE
Associate Engineer

Good for You, Albuquerque!



DRAINAGE INFORMATION SHEET

PROJECT TITLE: Midtown Center ZONE ATLAS/DRNG. FILE #: H-16 RD
 LEGAL DESCRIPTION: Tracts D-2, D-3, D-4 Netherwood Park Addn.
 CITY ADDRESS: 2400 Menaul NE

ENGINEERING FIRM: Community Sciences Corp.
 ADDRESS: Box 1328 Cortales
 OWNER: Mountain Run Partners
 ADDRESS: Mountain Run Center, Alb.

CONTACT: Kent Whitman
 PHONE: 897 0000
 CONTACT: Paul Blanchard
 PHONE: (275) 0000

ARCHITECT: NA
 ADDRESS: _____

CONTACT: _____
 PHONE: _____

SURVEYOR: _____
 ADDRESS: _____

CONTACT: _____
 PHONE: _____

CONTRACTOR: _____
 ADDRESS: _____

CONTACT: _____
 PHONE: _____

PRE-DESIGN MEETING:

☒ YES

☐ NO

☐ COPY OF CONFERENCE RECAP SHEET PROVIDED

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT

☒ DRAINAGE PLAN (Updated)

☐ CONCEPTUAL GRADING/DRAINAGE PLAN

☐ GRADING PLAN

☐ EROSION CONTROL PLAN

☐ ENGINEER'S CERTIFICATION

DRB NO.: _____

EPC NO.: _____

PROJ. NO.: _____

TYPE OF APPROVAL SOUGHT:

☐ SKETCH PLAT APPROVAL

☐ PRELIMINARY PLAT APPROVAL

☐ SITE DEVELOPMENT PLAN APP.

☐ FINAL PLAT APPROVAL

☒ BUILDING PERMIT APPROVAL

☐ FOUNDATION PERMIT APPROVAL

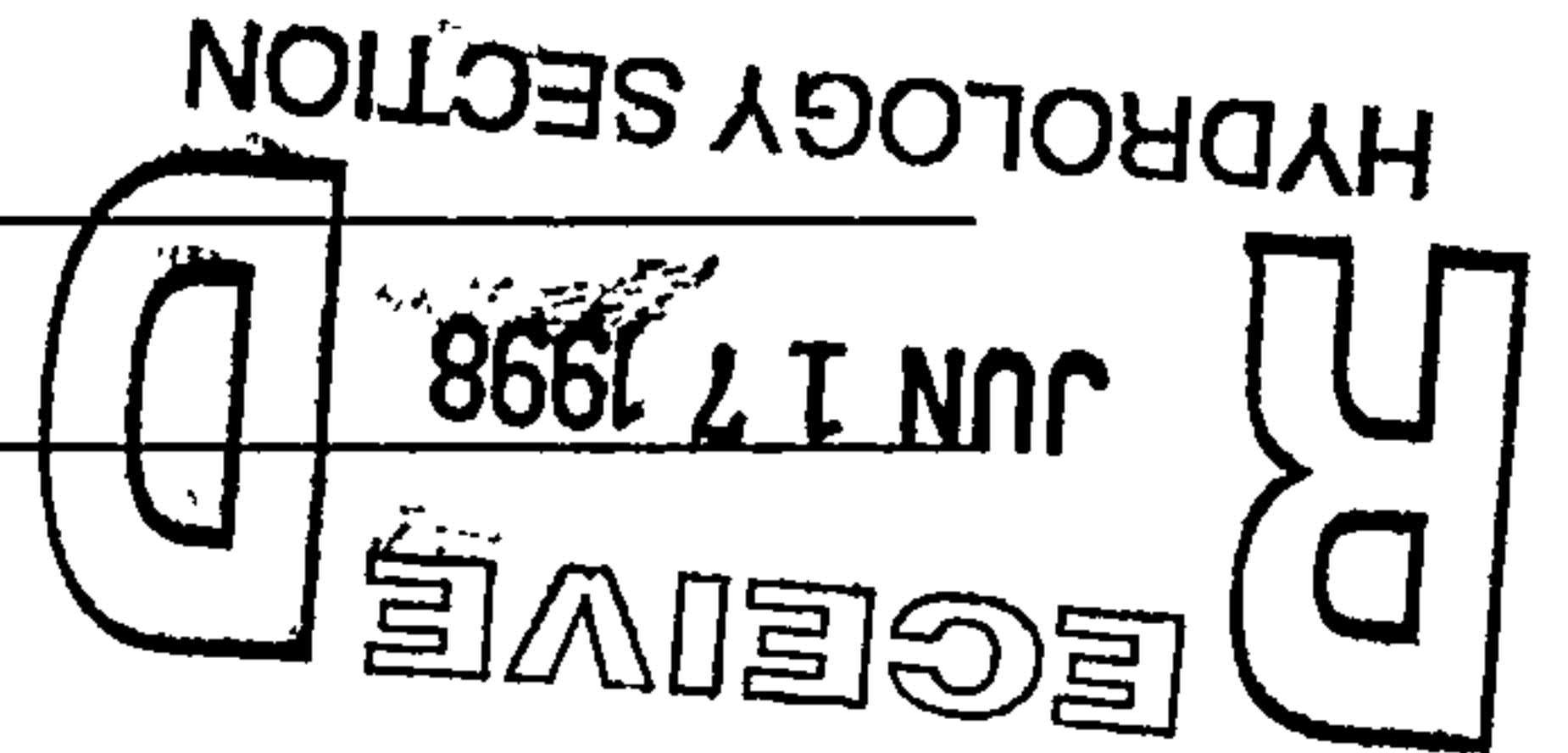
☐ CERTIFICATION OF OCCUPANCY APPROVAL

☐ ROUGH GRADING PERMIT APPROVAL

☐ GRADING/PAVING PERMIT APPROVAL

☐ OTHER: _____ (SPECIFY)

SUBMITTED: Kent M. Whitman
 BY: _____



DRAINAGE INFORMATION SHEET

APPLICANT'S NAME: RAIDER AUNING ZONE ATLAS/DRNG. FILE #: H-16-Z D 120

DRB #: _____ EPC #: _____ WORK ORDER #: _____

LEGAL DESCRIPTION: TRACT D-2 D-3 D-4 Netherwood Park Addition

CITY ADDRESS: 2340 MENAUL NE

ENGINEERING FIRM: COMMUNITY SCIENCES CONTACT: KENT WHITMAN

ADDRESS: P.O. Box 1328 CORRALES N.M. PHONE: 897-0000

OWNER: MTN. RUN PARTNERS LTD. CONTACT: PAT DUERTA

ADDRESS: 5850 SUBANIC NE B-62 PHONE: 275-0000

ARCHITECT: _____ CONTACT: _____

ADDRESS: _____ PHONE: _____

SURVEYOR: _____ CONTACT: _____

ADDRESS: _____ PHONE: _____

CONTRACTOR: _____ CONTACT: _____

ADDRESS: _____ PHONE: _____

TYPE OF SUBMITTAL
☐ DRAINAGE REPORT
☒ DRAINAGE PLAN
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERTIFICATION
☐ OTHER _____

PRE-DESIGN MEETING:
☐ YES
☐ NO
☐ COPY PROVIDED

CHECK TYPE OF APPROVAL SOUGHT:
☐ SKETCH PLAT APPROVAL
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY APPROVAL
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ S.A.D. DRAINAGE REPORT
☐ DRAINAGE REQUIREMENTS
☐ SUBDIVISION CERTIFICATION
☐ OTHER _____ (SPECIFY)

DATE SUBMITTED: 6-11-98

BY: Ray DeneK



CITY OF
Albuquerque
August 21, 1996

Martin J. Chávez, Mayor

Doug Hughes
Community Sciences Corporation
P.O. Box 1328
Corrales, NM 87048

**RE: 2400 MENAUL BLVD. (H16-L120). DRAINAGE PLAN SUBMITTAL FOR
GRADING, PAVING, AND BUILDING PERMIT APPROVALS. ENGINEER'S
STAMP DATED 8-19-96.**

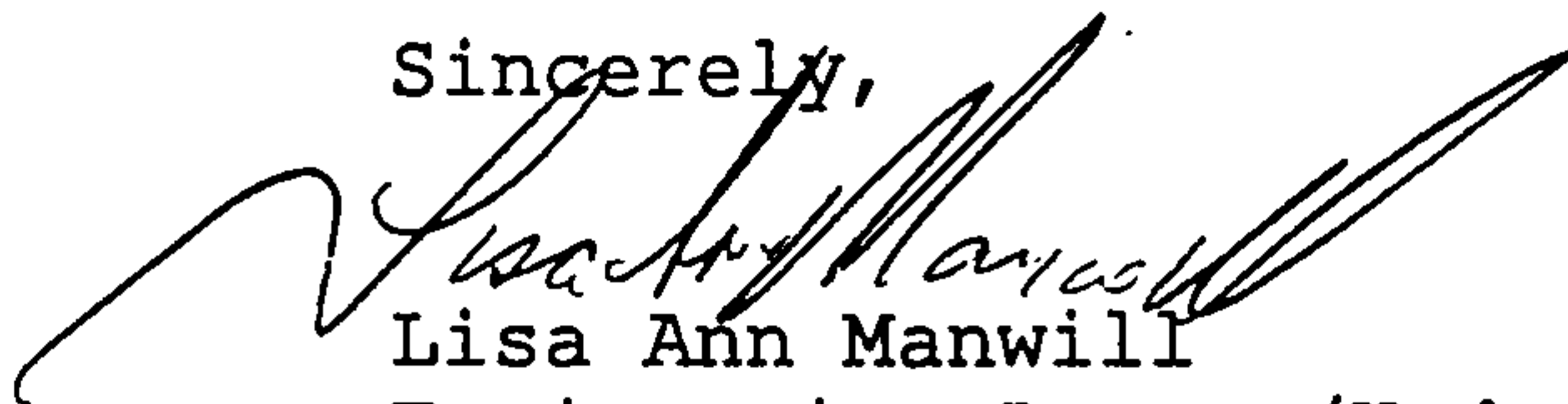
Dear Mr. Hughes:

Based on the information provided on your August 19, 1996 submittal, the above referenced project is approved for grading and paving permits. A building permit is not required for this project.

Please submit an Engineer's Certification upon completion of this project for certification.

If I can be of further assistance, please feel free to contact me at 768-3622.

Sincerely,



Lisa Ann Manwill
Engineering Assoc./Hyd.

c: Andrew Garcia
File





August 9, 1996

Martin J. Chávez, Mayor

Doug Hughes
Community Sciences Corporation
P.O. Box 1328
Corrales, NM 87048

**RE: 2400 MENAUL BLVD. (H16-D120). DRAINAGE PLAN SUBMITTAL FOR
BUILDING PERMIT APPROVAL. ENGINEER'S STAMP DATED 7-15-96.**

Dear Mr. Hughes:

Based on the information provided on your July 16, 1996 submittal, City Hydrology has the following comments:

1. Please show invert elevation and size of the pipes coming from the patio area into the 15-inch PVC. I strongly recommend the minimum pipe size have a 6-inch diameter. You will find that the smaller pipes are going to clog quite frequently, creating a maintenance problem.
2. Is the drainage easement at the south property line a public or private easement? If this is a public easement, you will be required to use reinforced concrete pipe and submit a maintenance covenant. The City would not maintain a private storm drain in a public easement.

If I can be of further assistance, please feel free to contact me at 768-3622.

Sincerely,

Lisa Ann Manwill
Engineering Assoc./Hyd.

c: Andrew Garcia
File





community
sciences
corporation

Facsimile Cover Sheet

Number of pages: 2
including cover pageDate: 3/16/98

PO Box 1328, Corrales, New Mexico 87048

Phone - (505) 897-0000, Fax - (505) 898-5195

To: Fred Aguirre Company: COA Department: Hydrology
Fax number: 924-3864
From: Kent Whitman Job Name / Number: 2300 Manual ~~843~~ 345 06 060

Attached is the drainage approval letter for the original project. We find no as-built certification in our files, so would you please check yours to see if one exists.

Thanks

Confidentiality:

The information in this facsimile message may be privileged and confidential information intended only for the use of the individual or entity named above. If the reader of this message is not the intended recipient, you are hereby notified that any dissemination, distribution or copy of this transmittal is strictly prohibited. If you have received this transmittal in error, please immediately notify us by telephone and return the original message to us at the address above via mail.

Initials of sender: KW

Time: _____

Facsimile Copy May Not Be To Scale

*** TX REPORT ***

TRANSMISSION OK

TX/RX NO	2211	
CONNECTION TEL		98985195
SUBADDRESS		
CONNECTION ID		
ST. TIME	03/13 10:12	
USAGE T	14'03	
PGS.	17	
RESULT	OK	

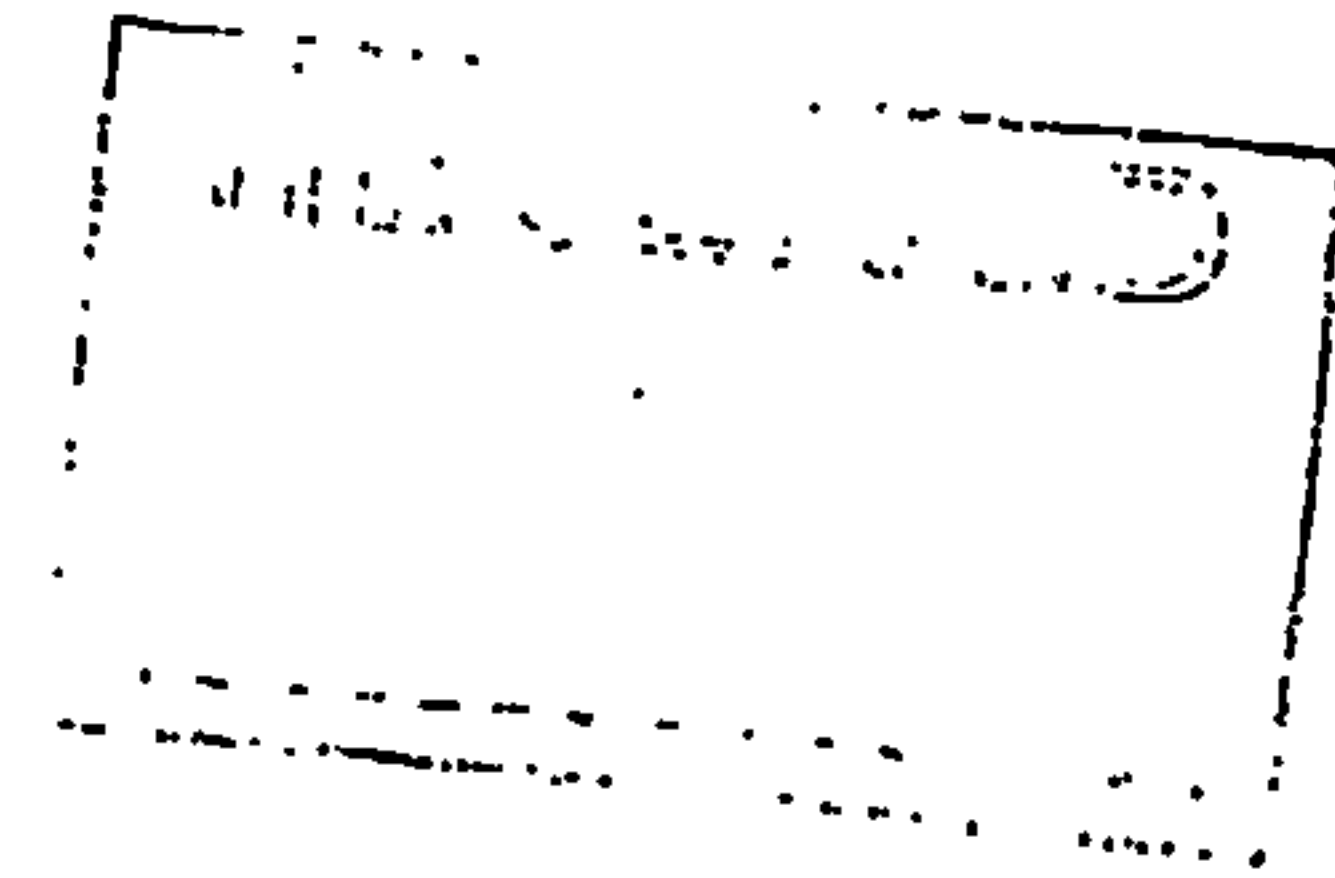
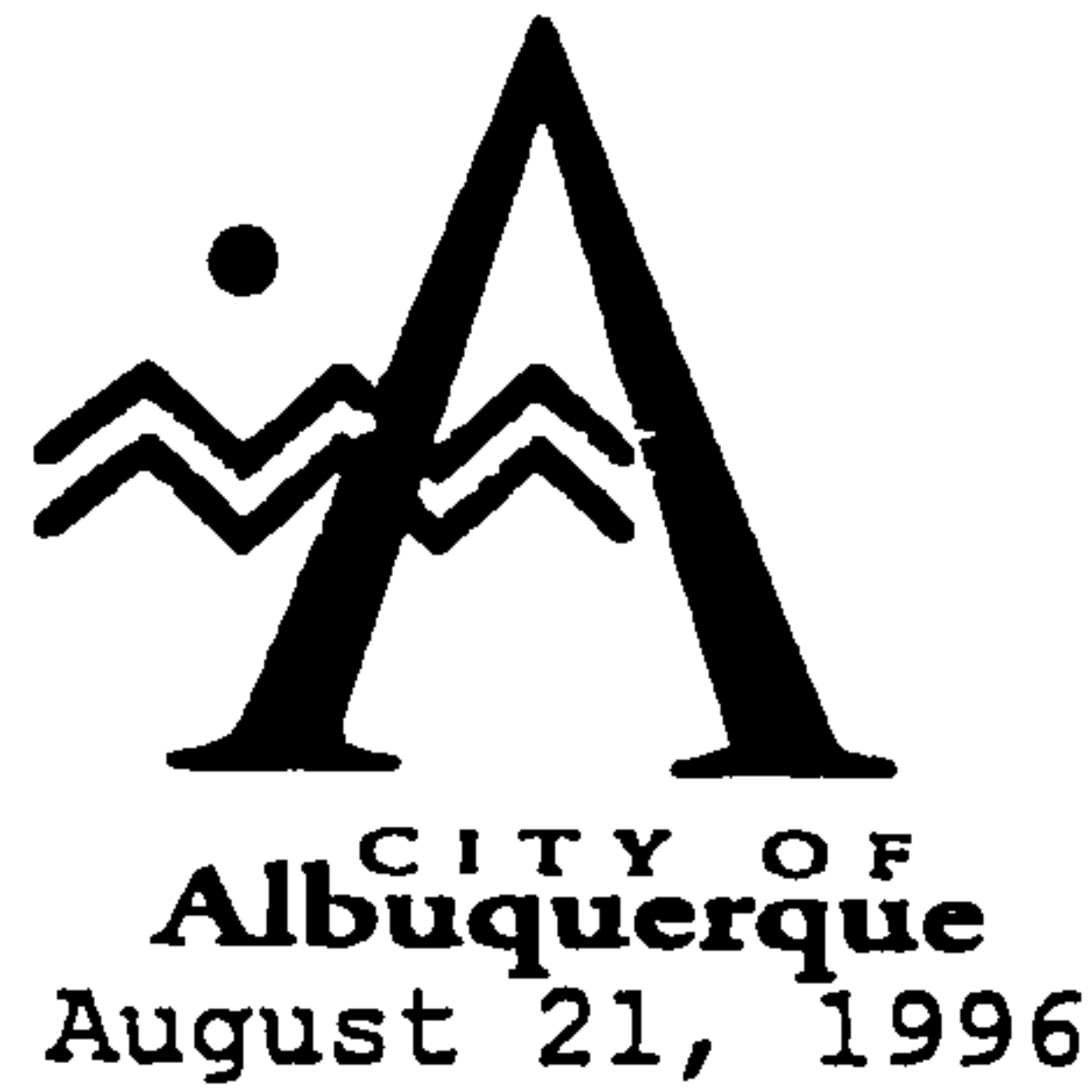
FAX

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
CENTER (ONE STOP SHOP)
600 2ND STREET - PLAZA DEL SOL- 2ND FLOOR W
FAX NO. 924-3864

DATE: 3/13/98TIME: 9:10No. of Pages: 17
(Including Cover Page)To: Kent Whitman - FAX - 898 - 5195Community Science
From: Fred Aguirre

Comments: _____

315-01-600



Martin J. Chávez, Mayor

Doug Hughes

Community Sciences Corporation
P.O. Box 1328
Corrales, NM 87048

**RE: 2400 MENAUL BLVD. (H16-D120). DRAINAGE PLAN SUBMITTAL FOR
GRADING, PAVING, AND BUILDING PERMIT APPROVALS. ENGINEER'S
STAMP DATED 8-19-96.**

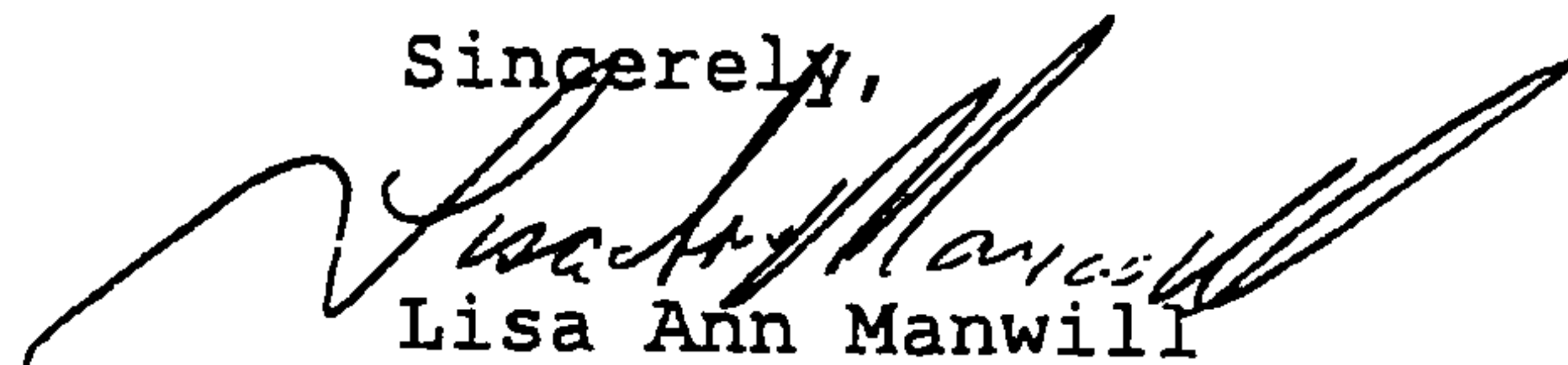
Dear Mr. Hughes:

Based on the information provided on your August 19, 1996 submittal, the above referenced project is approved for grading and paving permits. A building permit is not required for this project.

Please submit an Engineer's Certification upon completion of this project for certification.

If I can be of further assistance, please feel free to contact me at 768-3622.

Sincerely,



Lisa Ann Manwill
Engineering Assoc./Hyd.

c: Andrew Garcia
File



DRAINAGE INFORMATION SHEET

PROJECT TITLE: 2300 Menaul Blvd. N.E. ~~2400 Menaul Blvd.~~ ZONE ATLAS/DRNG. FILE #: H-16 / 4/20

LEGAL DESCRIPTION: Tracts D-2, D-3 and D-4 of Netherwood Park

CITY ADDRESS: 2300 Menaul Blvd N.E.
~~2400 Menaul Blvd., NE~~

ENGINEERING FIRM: Community Sciences Corporation

CONTACT: Doug Hughes

ADDRESS: P.O. Box 1328 Corrales, NM 87048

PHONE: (505) 897-0000

OWNER: R.B. Land Developers, Inc.

CONTACT: Paul Blanchard

ADDRESS: 5850 Eubank Blvd., Suite B-62
Albuquerque, New Mexico 87111

PHONE: (505) 275-0000

ARCHITECT: Garlan Bryan

CONTACT: Garlan Bryan

ADDRESS: 2403 San Mateo Blvd., Suite W-1
Albuquerque, New Mexico 87110

PHONE: (505) 884-9694

SURVEYOR: Community Sciences Corporation

CONTACT: Bob Miller

ADDRESS: P.O. Box 1328, Corrales, NM 87048

PHONE: 897-0000

CONTRACTOR: R.B. Land Developers, Inc.

CONTACT: Paul Blanchard

ADDRESS: 5850 Eubank Blvd., Suite B-62

PHONE: (505) 275-0000

PRE-DESIGN MEETING:

☐ YES

☒ NO

☐ COPY OF CONFERENCE RECAP SHEET PROVIDED

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT

☒ DRAINAGE PLAN

☐ CONCEPTUAL GRADING/DRAINAGE PLAN

☐ GRADING PLAN

☒ EROSION CONTROL PLAN

☐ ENGINEER'S CERTIFICATION

DRB NO: _____

EPC NO: _____

PROJ. NO. _____

TYPE OF APPROVAL SOUGHT:

☐ SKETCH PLAT APPROVAL

☐ PRELIMINARY PLAT APPROVAL

☐ SITE DEVELOPMENT PLAN APP.

☐ FINAL PLAT APPROVAL

☒ BUILDING PERMIT APPROVAL

☐ FOUNDATION PERMIT APPROVAL

☐ CERTIFICATION OF OCCUPANCY APPROVAL

☒ ROUGH GRADING PERMIT APPROVAL

☒ GRADING/PAVING PERMIT APPROVAL

☐ OTHER: _____ (SPECIFY)

SUBMITTED: 7/15/96

BY: Ed Gilmore

AUG 19 1996

community sciences corporation
P.O. Box 1328
Corrales, NM 87048-1328

Corrales Office 897-0000 • 898-5195
Rio Rancho Office 891-1400 • 891-1414
Satellite Office 897-4688 • 898-2305

Letter of Transmittal

Date 8-19-96	Job No. 373-01-600
Attention	
RE: 2300 Manual	

To: **City Hydrology**

WE ARE SENDING YOU: ☒ Attached ☐ Under separate cover via _____ the following items:

☐ Shop drawings ☒ Prints ☐ Plans ☐ Samples ☐ Specifications

☐ Copy of letter ☐ Change order ☐ _____

Copies	Date	No.	Description
8-19-96			Drainage Information Sheet
8-19-96			Revised Grading & Drainage Plan.

THESE ARE TRANSMITTED as checked below

☒ For approval ☐ Approved as submitted ☐ Resubmit _____ copies for approval

☐ For your use ☐ Approved as noted ☐ Submit _____ copies for distribution

☐ As requested ☐ Returned for corrections ☐ Return _____ corrected prints

☐ For review and comment ☐ _____

☐ FOR BIDS DUE _____ 19 _____ PRINTS RETURNED AFTER LOAN TO US

REMARKS **I have made the revisions as requested. Please call when approval letter is ready. I am seeking both "rough grading" and "building permit approval" though no building permit is required. If asbuilt "Engineer's Certification" is required, please let me know when it is expected.**

COPY TO **Gorland Bryan & Paul Blanchard** **AUG 19**

SIGNED: **Doug Ruder**

DRAINAGE INFORMATION SHEET

PROJECT TITLE: 2400 Menaul Blvd. ZONE ATLAS/DRNG. FILE #: H-16 / 4120LEGAL DESCRIPTION: Tracts D-2, D-3 and D-4 of Netherwood ParkCITY ADDRESS: 2400 Menaul Blvd., NEENGINEERING FIRM: Community Sciences Corporation CONTACT: Doug HughesADDRESS: P.O. Box 1328 Corrales, NM 87048 PHONE: (505) 897-0000OWNER: R.B. Land Developers, Inc. CONTACT: Paul BlanchardADDRESS: 5850 Eubank Blvd., Suite B-62 PHONE: (505) 275-0000
Albuquerque, New Mexico 87111ARCHITECT: Garlan Bryan CONTACT: Garlan BryanADDRESS: 2403 San Mateo Blvd., Suite W-1 PHONE: (505) 884-9694
Albuquerque, New Mexico 87110SURVEYOR: Community Sciences Corporation CONTACT: Bob MillerADDRESS: P.O. Box 1328, Corrales, NM 87048 PHONE: 897-0000CONTRACTOR: R.B. Land Developers, Inc. CONTACT: Paul BlanchardADDRESS: 5850 Eubank Blvd., Suite B-62 PHONE: (505) 275-0000

PRE-DESIGN MEETING:

☐ YES☒ NO☐ COPY OF CONFERENCE RECAP SHEET PROVIDED

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT☒ DRAINAGE PLAN☐ CONCEPTUAL GRADING/DRAINAGE PLAN☐ GRADING PLAN☒ EROSION CONTROL PLAN☐ ENGINEER'S CERTIFICATION

DRB NO: _____

EPC NO. _____

PROJ. NO. _____

TYPE OF APPROVAL SOUGHT:

☐ SKETCH PLAT APPROVAL☐ PRELIMINARY PLAT APPROVAL☐ SITE DEVELOPMENT PLAN APP.☐ FINAL PLAT APPROVAL☒ BUILDING PERMIT APPROVAL☐ FOUNDATION PERMIT APPROVAL☐ CERTIFICATION OF OCCUPANCY APPROVAL☐ ROUGH GRADING PERMIT APPROVAL☐ GRADING/PAVING PERMIT APPROVAL☐ OTHER: _____ (SPECIFY)SUBMITTED: 7/15/96
BY: Ed Gilmore

JUL 16 1996



Letter of Transmittal

Date 7/15/96	Job No. 373-01-6000
Attention Susan Calongne	
RE: Drainage Plan for 2400 Menaul Blvd.	

To: City of Albuquerque
Public Works Department
Hydrology
P.O. Box 1293
Albuquerque, New Mexico 87103

WE ARE SENDING YOU: ☒ Attached ☐ Under separate cover via CSC Courier the following items:

☐ Shop drawings ☐ Prints ☒ Plans ☐ Samples ☐ Specifications
☐ Copy of letter ☐ Change order ☐ _____

Copies	Date	No.	Description
-2-	6/96	2	Drainage Plan 2400 Menaul Blvd.
-2-	6/96	1	Drainage Information Sheet

THESE ARE TRANSMITTED as checked below

☐ For approval ☐ Approved as submitted ☐ Resubmit _____ copies for approval
☐ For your use ☐ Approved as noted ☐ Submit _____ copies for distribution
☐ As requested ☐ Returned for corrections ☐ Return _____ corrected prints
☒ For review and comment ☐ _____
☐ FOR BIDS DUE _____ 19 _____ PRINTS RETURNED AFTER LOAN TO US

REMARKS The purpose of this Drainage Plan is to obtain a building permit. This site is an existing in-fill development. Changes to drainage patterns and runoff will be minor.

JUL 16 1996

COPY TO _____ SIGNED Ed Gilmore

DRAINAGE INFORMATION SHEET

PROJECT TITLE: 2400 Menaul Blvd. ZONE ATLAS/DRNG. FILE #: H-16LEGAL DESCRIPTION: Tracts D-2, D-3 and D-4 of Netherwood ParkCITY ADDRESS: 2400 Menaul Blvd., NEENGINEERING FIRM: Community Sciences Corporation CONTACT: Doug HughesADDRESS: P.O. Box 1328 Corrales, NM 87048 PHONE: (505) 897-0000OWNER: R.B. Land Developers, Inc. CONTACT: Paul BlanchardADDRESS: 5850 Eubank Blvd., Suite B-62 PHONE: (505) 275-0000
Albuquerque, New Mexico 87111ARCHITECT: Garlan Bryan CONTACT: Garlan BryanADDRESS: 2403 San Mateo Blvd., Suite W-1 PHONE: (505) 884-9694
Albuquerque, New Mexico 87110SURVEYOR: Community Sciences Corporation CONTACT: Bob MillerADDRESS: P.O. Box 1328, Corrales, NM 87048 PHONE: 897-0000CONTRACTOR: R.B. Land Developers, Inc. CONTACT: Paul BlanchardADDRESS: 5850 Eubank Blvd., Suite B-62 PHONE: (505) 275-0000

PRE-DESIGN MEETING:

☐ YES☒ NO☐ COPY OF CONFERENCE RECAP SHEET PROVIDED

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT☒ DRAINAGE PLAN☐ CONCEPTUAL GRADING/DRAINAGE PLAN☐ GRADING PLAN☒ EROSION CONTROL PLAN☐ ENGINEER'S CERTIFICATION☒ *1) Is easement Public or Private*☒ *2) Need drainage plan for patio.*SUBMITTED: 7/15/96
BY: Ed Gilmore

DRB NO: _____

EPC NO: _____

PROJ. NO: _____

TYPE OF APPROVAL SOUGHT:

☐ SKETCH PLAT APPROVAL☐ PRELIMINARY PLAT APPROVAL☐ SITE DEVELOPMENT PLAN APP.☐ FINAL PLAT APPROVAL☒ BUILDING PERMIT APPROVAL☐ FOUNDATION PERMIT APPROVAL☐ CERTIFICATION OF OCCUPANCY APPROVAL☐ ROUGH GRADING PERMIT APPROVAL☐ GRADING/PAVING PERMIT APPROVAL☐ OTHER: _____ (SPECIFY)