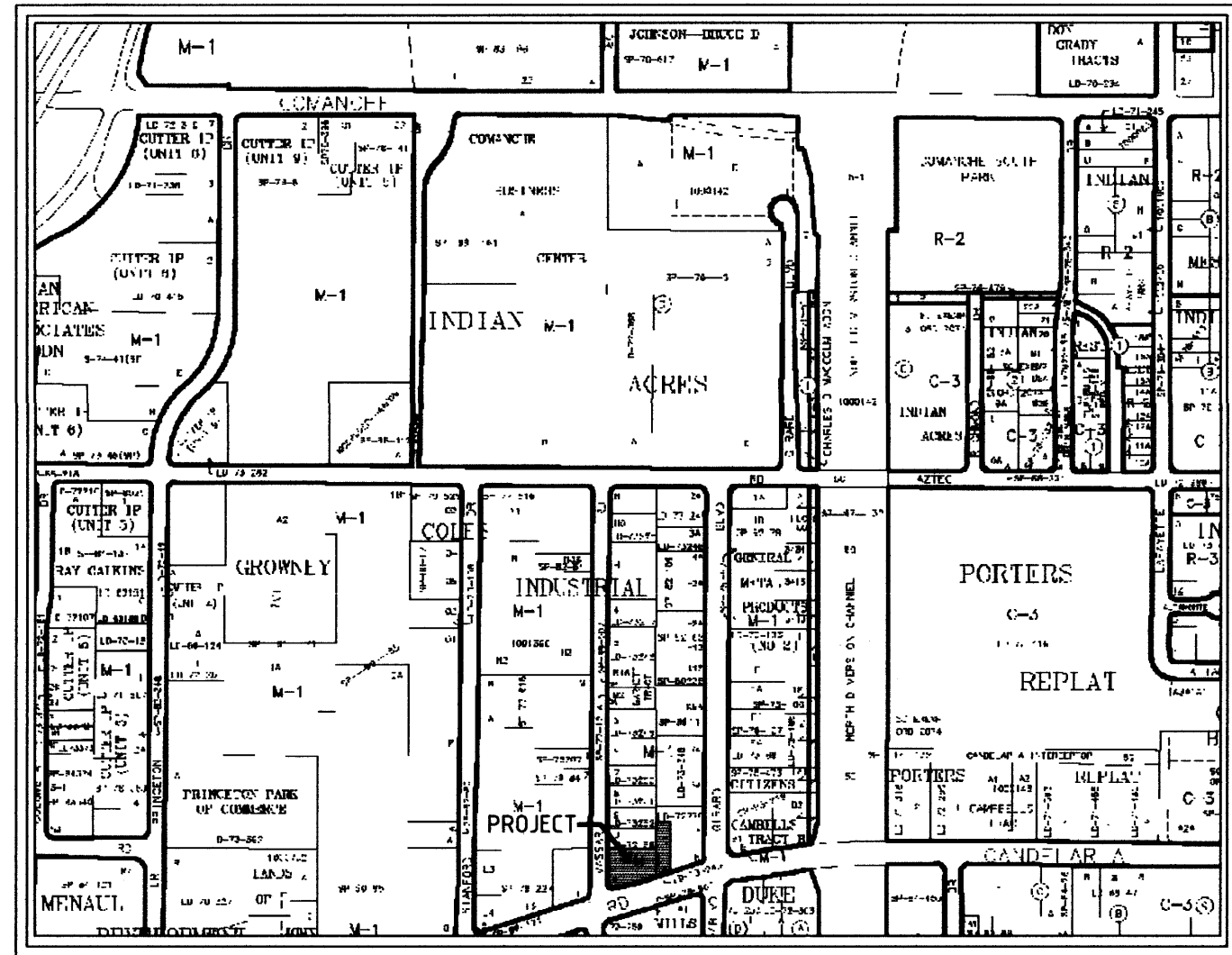
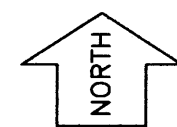
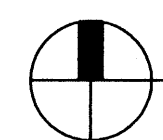
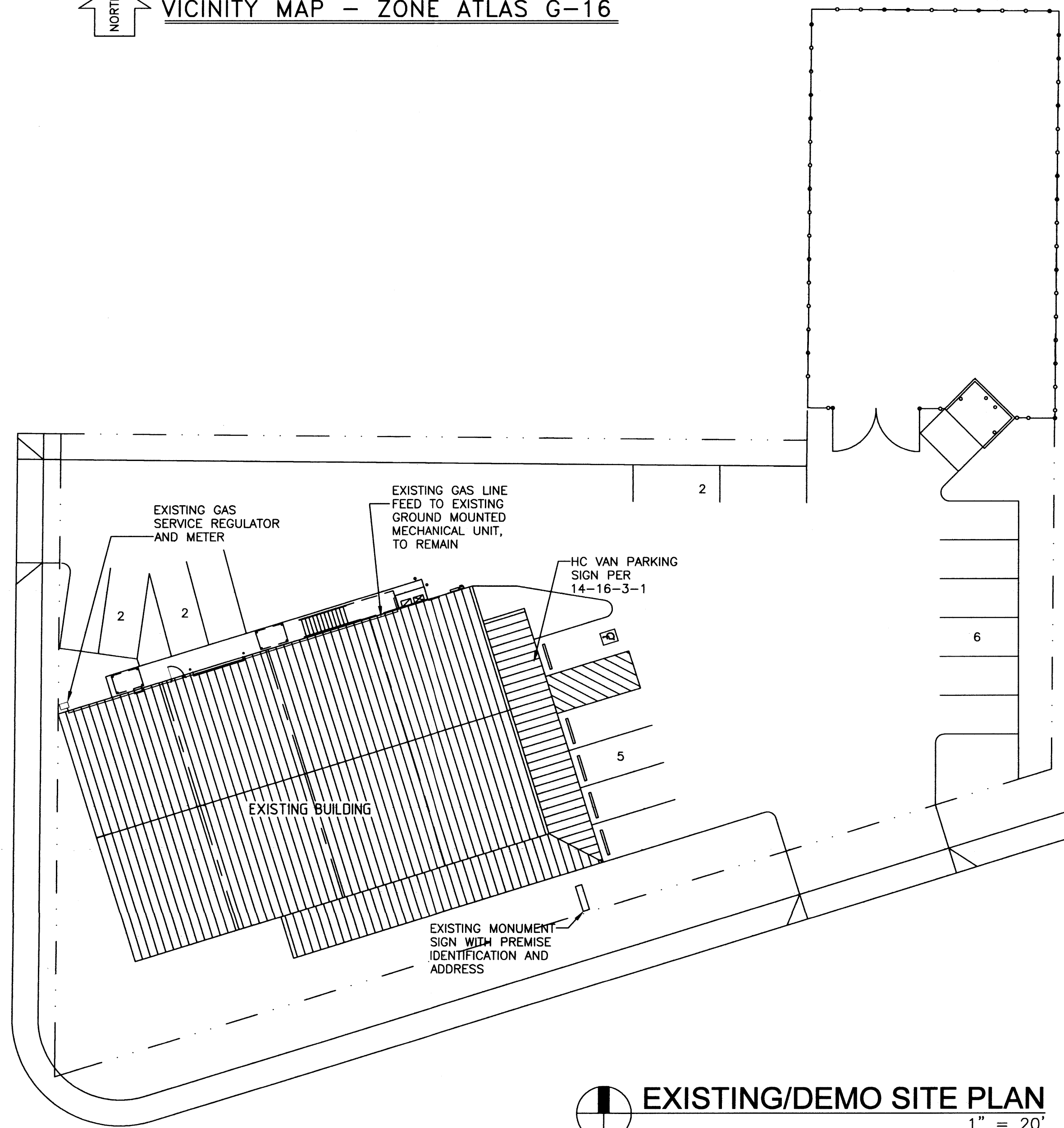




ADDRESS: 2701 CANDELARIA RD NE, NM 87107



VICINITY MAP - ZONE ATLAS G-16



EXISTING/DEMO SITE PLAN

1" = 20'

KEYED NOTES

1. TWO COATS TRAFFIC PAINT. 4-INCH WIDE STRIPING (YELLOW ON CONCRETE, WHITE ON ASPHALT), AS SHOWN THROUGHOUT TRAFFIC/PARKING AREAS.
2. 4'x8' MOTORCYCLE PARKING SPACE WITH MINIMUM 12"x18" SIGN DESIGNATING "MOTORCYCLE PARKING", MOUNT ON SIGN STANDARD WITH BOTTOM OF SIGN NO LESS THAN 48" ABOVE FINISH GRADE.

ZONING DATA

ADDRESS: 2701 CANDELARIA RD NE, NM 87107

LEGAL DESCRIPTION: WESTERLY PORTION OF TRACT "K" AND PARCEL NO. 10, COLE'S INDUSTRIAL SUBDIVISION NO. 2, ALBUQUERQUE

ZONING: M-1

EXISTING ON SITE PARKING: 17 SPACES

REQUIRED REMODEL PARKING

(INCLUDES 1 HC (VAN) SPACE): 25 SPACES

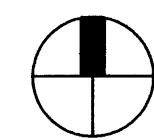
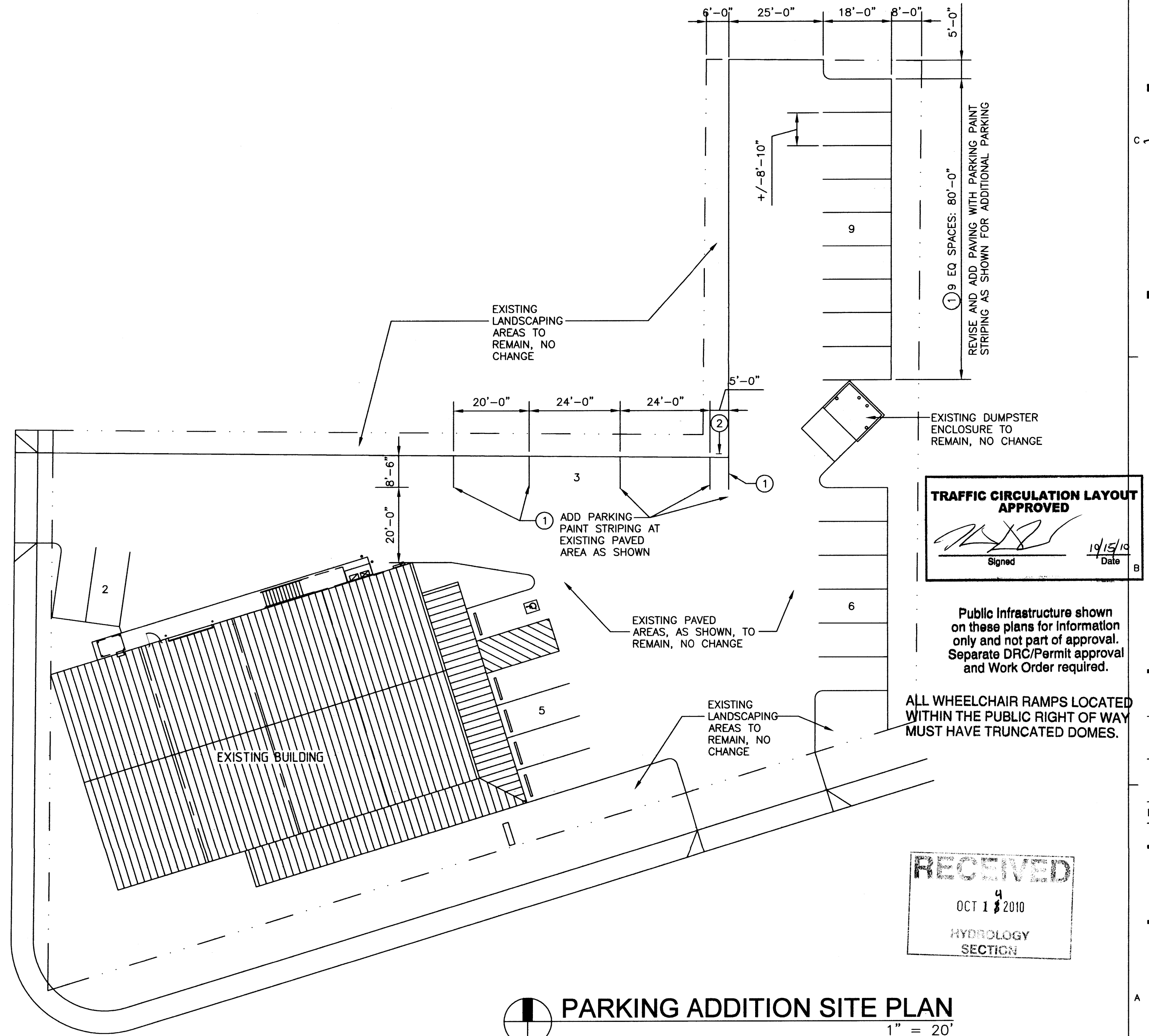
FIRST FLOOR OFFICE: 2510 SF / 200 = 13

SECOND FLOOR OFFICE: 2978 SF / 300 = 10

WAREHOUSE: 2663 SF / 2000 = 2

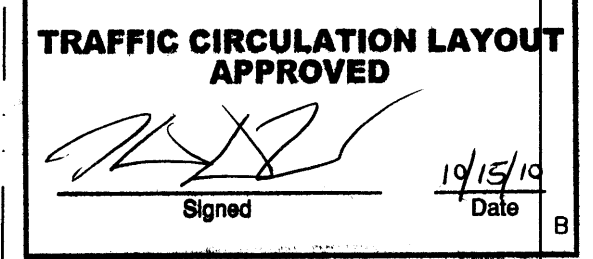
REMODEL PARKING PROVIDED: 25 SPACES

ONE 4'x8' MOTORCYCLE PARKING SPACE PROVIDED



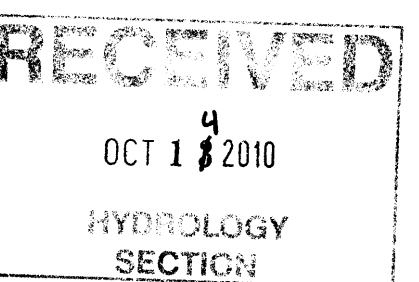
PARKING ADDITION SITE PLAN

1" = 20'



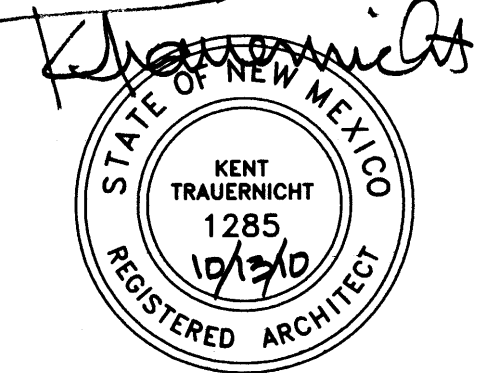
Public Infrastructure shown on these plans for information only and not part of approval. Separate DRC/Permit approval and Work Order required.

ALL WHEELCHAIR RAMPS LOCATED WITHIN THE PUBLIC RIGHT OF WAY MUST HAVE TRUNCATED DOMES.



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aktarch@earthlink.net

CONSULTANT



PROJECT

BREWER OIL CO.
OFFICE
REMODEL

2701 CANDELARIA NE
ALBUQUERQUE

MARK DATE DESCRIPTION
ISSUE DATE:

PROJECT NO: 0635
COPYRIGHT AKT ARCHITECTS, LLC
SHEET TITLE

EXISTING/DEMO
AND PARKING
ADDITION SITE
PLANS

AS-001