

# CITY OF ALBUQUERQUE



October 2, 2019

Zach Binghak  
2019 Menaul Blvd. NE Suite A  
Albuquerque, NM 87108

**Re: Ti and Addition**  
**2409 Prineton Ave NE**  
**Traffic Circulation Layout**  
Engineer's/Architect's Stamp 09-20-2019 (H16D125)

Dear Mr. Bingham,

The TCL submittal received 10-23-2019 is approved for Building Permit. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

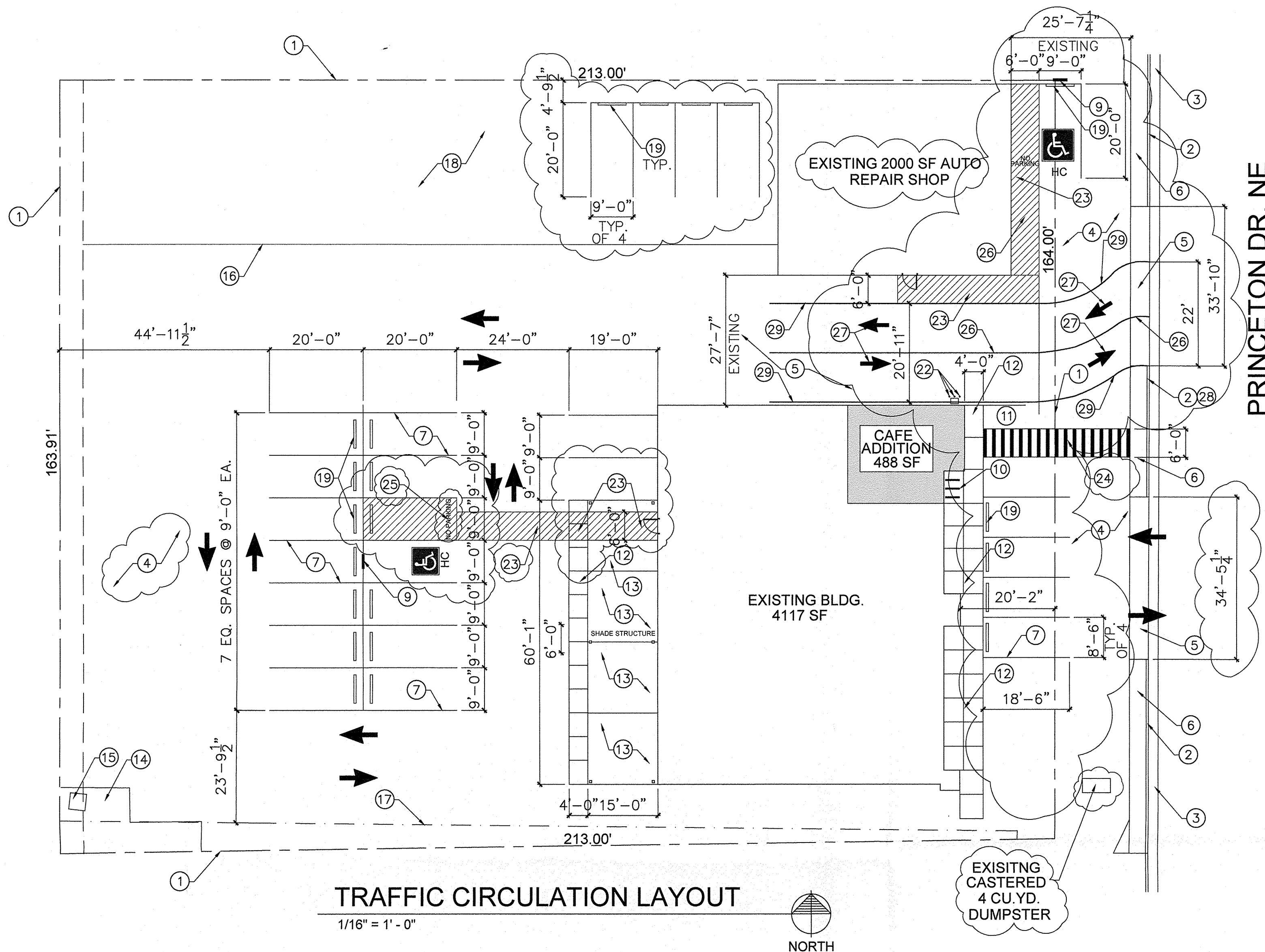
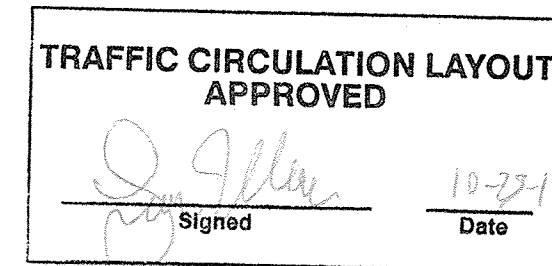
Jeanne Wolfenbarger, P.E.  
Traffic Engineer, Planning Dept.  
Development Review Services

Mojgan Maadandar, E.I.  
Associate Engineer, Planning Dept.  
Development Review Services

WMM via: email  
C: CO Clerk, File



ALL WHEELCHAIR RAMPS LOCATED  
WITHIN THE PUBLIC RIGHT OF WAY  
MUST HAVE TRUNCATED DOMES.



TRAFFIC CIRCULATION LAYOUT

1/16" = 1' - 0"



THERE IS NO SITE WORK IN THIS PROJECT  
ALL NEW SITE CONCRETE REPLACES  
EXISTING PAVING W/ SAME ELEVATIONS  
EXISTING PAVING IS BEING RE-STRIPPED

MOTORCYCLE  
PARKING SIGN

NOT TO SCALE

CLEAR SITE TRIANGLE @ INTERSECTIONS

NOT TO SCALE

NOTE: LANDSCAPING AND SIGNAGE WILL NOT INTERFERE  
WITH THE CLEAR SITE REQUIREMENTS. THEREFORE, SIGNS,  
WALLS, TREES AND SHUBBERY BETWEEN 3 AND 8 FEET TALL  
(AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTED.

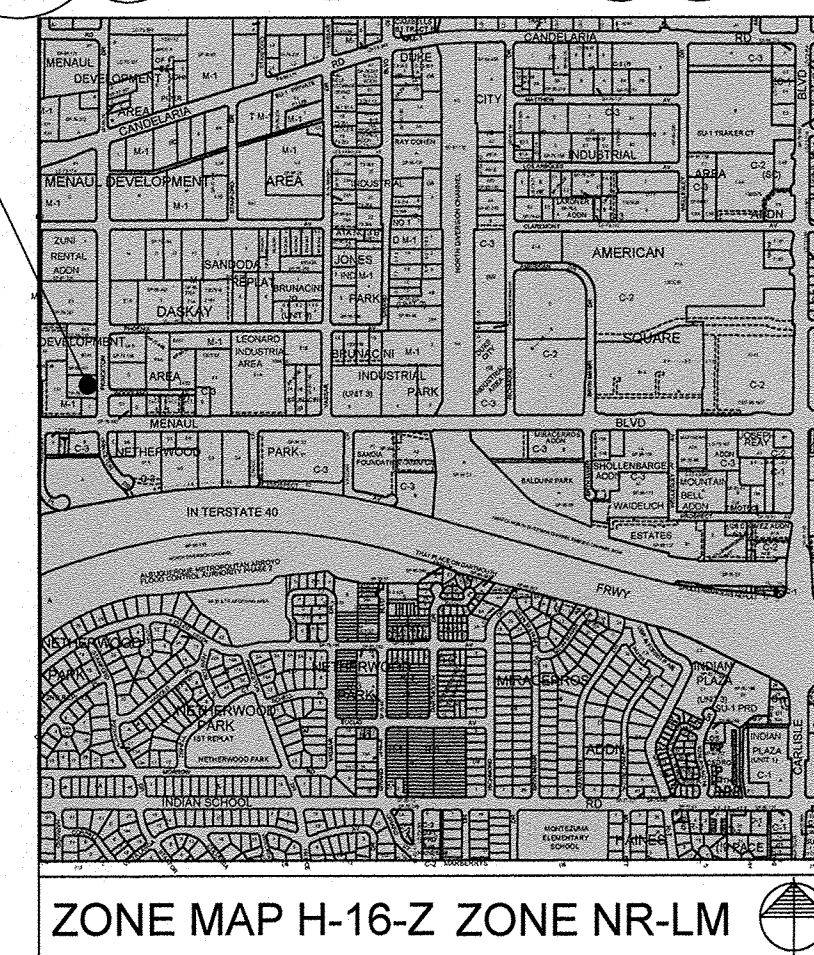
BOLLARD DETAIL

NOT TO SCALE

H.C. PARKING SIGN

NOT TO SCALE

PROJECT LOCATION



ZONE MAP H-16-Z ZONE NR-LM

LEGAL DESCRIPTION

TRACT B-3  
MENAUL DEVELOPMENT  
SECTION 8 T. 10 N., R. 3 E., N.M.P.M.

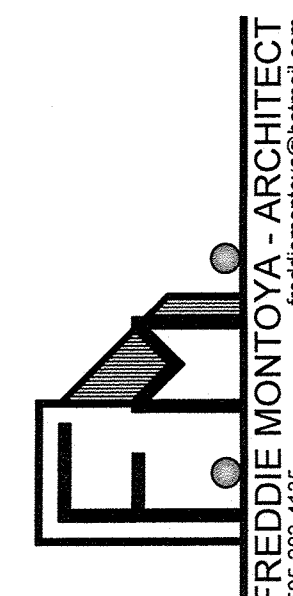
KEYED NOTES:

1. PROPERTY LINE.
2. EXISTING CONCRETE CURB.
3. EXISTING GUTTER.
4. EXISTING PAVED PARKING AREA.
5. EXISTING DRIVEWAY.
6. EXISTING SIDEWALK.
7. NEW PARKING STRIPING IN EXISTING PAVED AREA.
8. NOT USED.
9. HC PARKING SIGN. SEE DETAIL 1/TCL.
10. BICYCLE RACKS FOR 3 BICYCLES.
11. MOTORCYCLE PARKING SPACE WITH PARKING SIGN PER DETAIL 4/TCL.
12. 4" THICK X 4" WIDE CONCRETE SIDEWALK.
13. 4" THICK CONCRETE SHADE STRUCTURE SLAB.
14. EXISTING CONCRETE SLAB.
15. EXISTING ELECTRICAL TRANSFORMER.
16. LINE OF EXISTING PAVING.
17. EXISTING FENCE.
18. EXISTING DIRT AREA.
19. 6" X 6" LONG PARKING BUMPERS. TYPICAL AT ALL PARKING SPACES.
20. 3" DIA. GALVANIZED PIPE.
21. 3000 PSI CONCRETE FOOTING.
22. 3" SCH 40 STEEL PIPE BOLLARD, FILL WITH 3000 PSI CONCRETE. PROVIDE 3 BOLLARDS AT GAS METER LOCATION. SEE DETAIL 2/TCL. COORDINATE EXACT LOCATIONS WITH GAS COMPANY.
23. 6' WIDE STRIPPED HC ACCESS AISLE (WHITE).
24. 6' WIDE HC ACCESSIBLE PEDESTRIAN PATHWAY. SIDEWALK TO BLDG. (WHITE).
25. PAINTED 12" H. X 2" WIDE LETTERS STATING "NO PARKING".
26. 2" WIDE PAINTED DRIVE LANE STRIPPING (YELLOW).
27. 60" LONG WITH 10" STEM PAINTED DRIVE LANE ARROWS (YELLOW).
28. PAINTED CURB (YELLOW) WITH "NO PARKING" STENCILED IN BLACK.
29. 2" WIDE PAINTED DRIVE LANE STRIPPING (WHITE).

PARKING REQUIREMENTS

- GYMNASIUM AREA - 4117 SF  
4,118/400 = 10 PARKING SPACES REQUIRED
- CAFE AREA - 576 SF  
576/125 = 5 PARKING SPACES REQUIRED
- NEW SHADE STRUCTURE ADDITION AREA 900 SF  
100/125 = 7 PARKING SPACES REQUIRED
- AUTOMOTIVE REPAIR SHOP - 2000 SF  
2,000/1000 = 2 PARKING SPACES REQUIRED
- PARKING SPACES REQUIRED - 24  
PARKING SPACES PROVIDED - 24 INCLUDING 2 HC
- MOTORCYCLE SPACES REQUIRED - 1  
MOTORCYCLE PARKING SPACES PROVIDED - 1
- BICYCLE SPACES REQUIRED - 3  
BICYCLE PARKING SPACES PROVIDED - 3

A FACADE RENOVATION, BLDG. ADDITION & TENANT IMPROVEMENT  
2409 PRINCETON AVE. NE ALBUQUERQUE, NEW MEXICO



SEPTEMBER, 2019

TCL

