

CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

August 9, 2021

Freddie Montoya, R.A.
2336 Sunshine Rd SW
Albuquerque, NM 87105

**Re: TI & Addition
2409 Princeton NE
Request for Certificate of Occupancy
Transportation Development Final Inspection**
Engineer's/Architect's Stamp dated 9-20-19 (H16D125)
Certification dated 8-4-21

Dear Mr. Montoya,

Based upon the information provided in your submittal received 8-5-21, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, please contact Ernie Gomez at (505)-924-3981.

Sincerely,

Jeanne Wolfenbarger, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

Ernie Gomez
Plan Checker, Planning Dept.
Development Review Services

EG via: email
C: CO Clerk, File

LEGAL DESCRIPTION

TRACT B-3
MENAUL DEVELOPMENT
SECTION 8 T. 10 N., R. 3 E., N.M.P.M.

KEYED NOTES:

1. PROPERTY LINE.
2. EXISTING CONCRETE CURB.
3. EXISTING GUTTER.
4. EXISTING PAVED PARKING AREA.
5. EXISTING DRIVEWAY.
6. EXISTING SIDEWALK.
7. NEW PARKING STRIPING IN EXISTING PAVED AREA.
8. NOT USED.
9. HC PARKING SIGN, SEE DETAIL 1/TCL.
10. BICYCLE RACKS FOR 3 BICYCLES.
11. MOTORCYCLE PARKING SPACE WITH PARKING SIGN PER DETAIL 4/TCL.
12. 4" THICK X 4' WIDE CONCRETE SIDEWALK.
13. 4" THICK CONCRETE SHADE STRUCTURE SLAB.
14. EXISTING CONCRETE SLAB.
15. EXISTING ELECTRICAL TRANSFORMER.
16. LINE OF EXISTING PAVING.
17. EXISTING FENCE.
18. EXISTING DIRT AREA.
19. 6" X 6' LONG PARKING BUMPERS. TYPICAL AT ALL PARKING SPACES.
20. 3" DIA. GALVANIZED PIPE.
21. 3000 PSI CONCRETE FOOTING.
22. 3" SCH 40 STEEL PIPE BOLLARD, FILL WITH 3000 PSI CONCRETE, PROVIDE 3 BOLLARDS AT GAS METER LOCATION, SEE DETAIL 2/TCL. COORDINATE EXACT LOCATIONS WITH GAS COMPANY.
23. 6' WIDE STRIPPED HC ACCESS AISLE (WHITE).
24. 6' WIDE HC ACCESSIBLE PEDESTRIAN PATHWAY, SIDEWALK TO BLDG. (WHITE).
25. PAINTED 12" H. X 2" WIDE LETTERS STATING "NO PARKING".
26. 2" WIDE PAINTED DRIVE LANE STRIPPING (YELLOW).
27. 60" LONG WITH 10" STEM PAINTED DRIVE LANE ARROWS (YELLOW).
28. PAINTED CURB (YELLOW) WITH "NO PARKING" STENCILED IN BLACK.
29. 2" WIDE PAINTED DRIVE LANE STRIPPING (WHITE).

PARKING REQUIREMENTS

GYMNASIUM AREA - 4117 SF
4,118/400 = 10 PARKING SPACES REQUIRED

CAFE AREA - 576 SF
576/125 = 5 PARKING SPACES REQUIRED

NEW SHADE STRUCTURE ADDITION AREA 900 SF
100/125 = 7 PARKING SPACES REQUIRED

AUTOMOTIVE REPAIR SHOP - 2000 SF
2,000/1000 = 2 PARKING SPACES REQUIRED

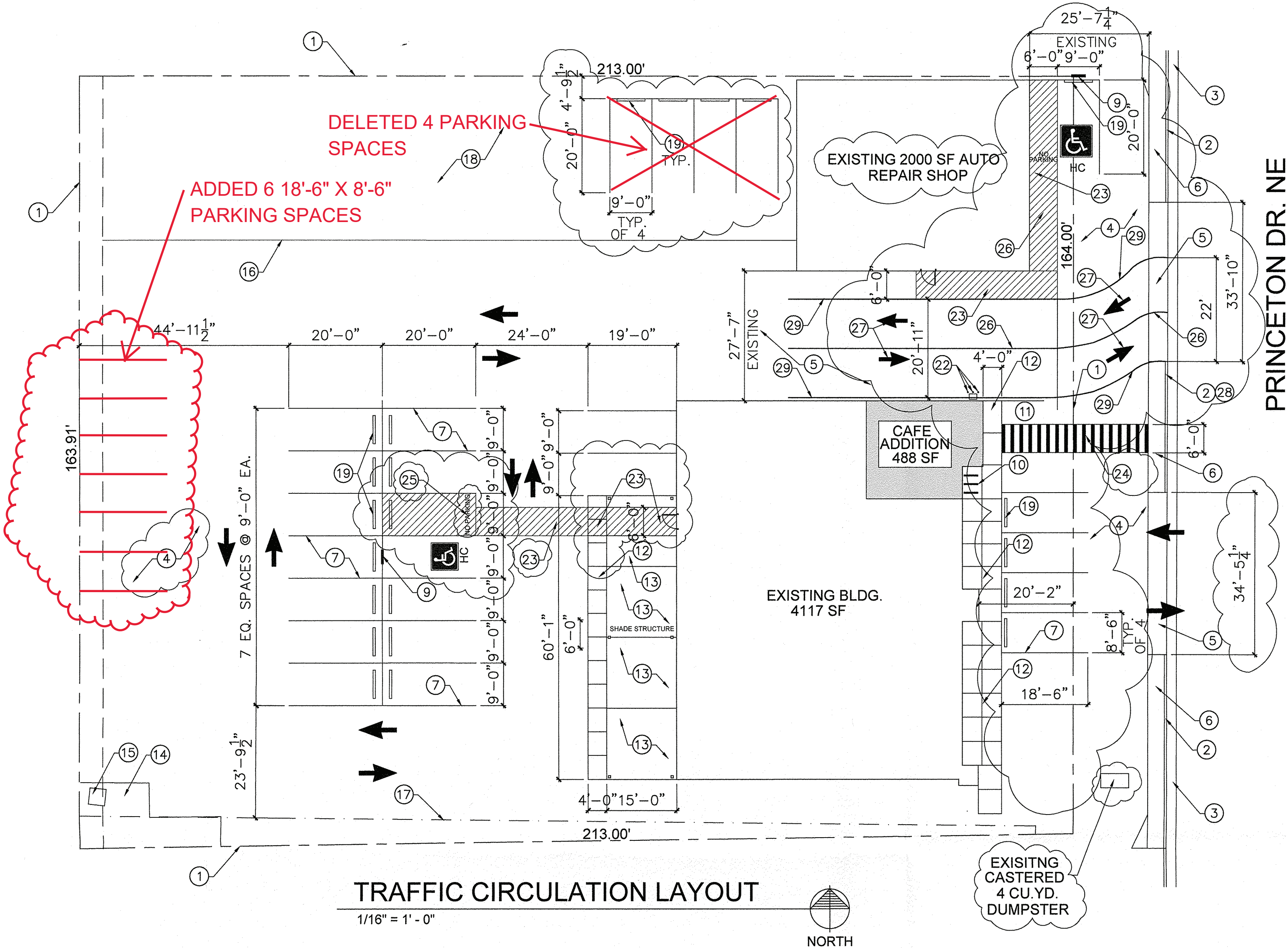
PARKING SPACES REQUIRED - 24
PARKING SPACES PROVIDED - 26 INCLUDING 2 HC

MOTORCYCLE SPACES REQUIRED - 1
MOTORCYCLE PARKING SPACES PROVIDED - 1

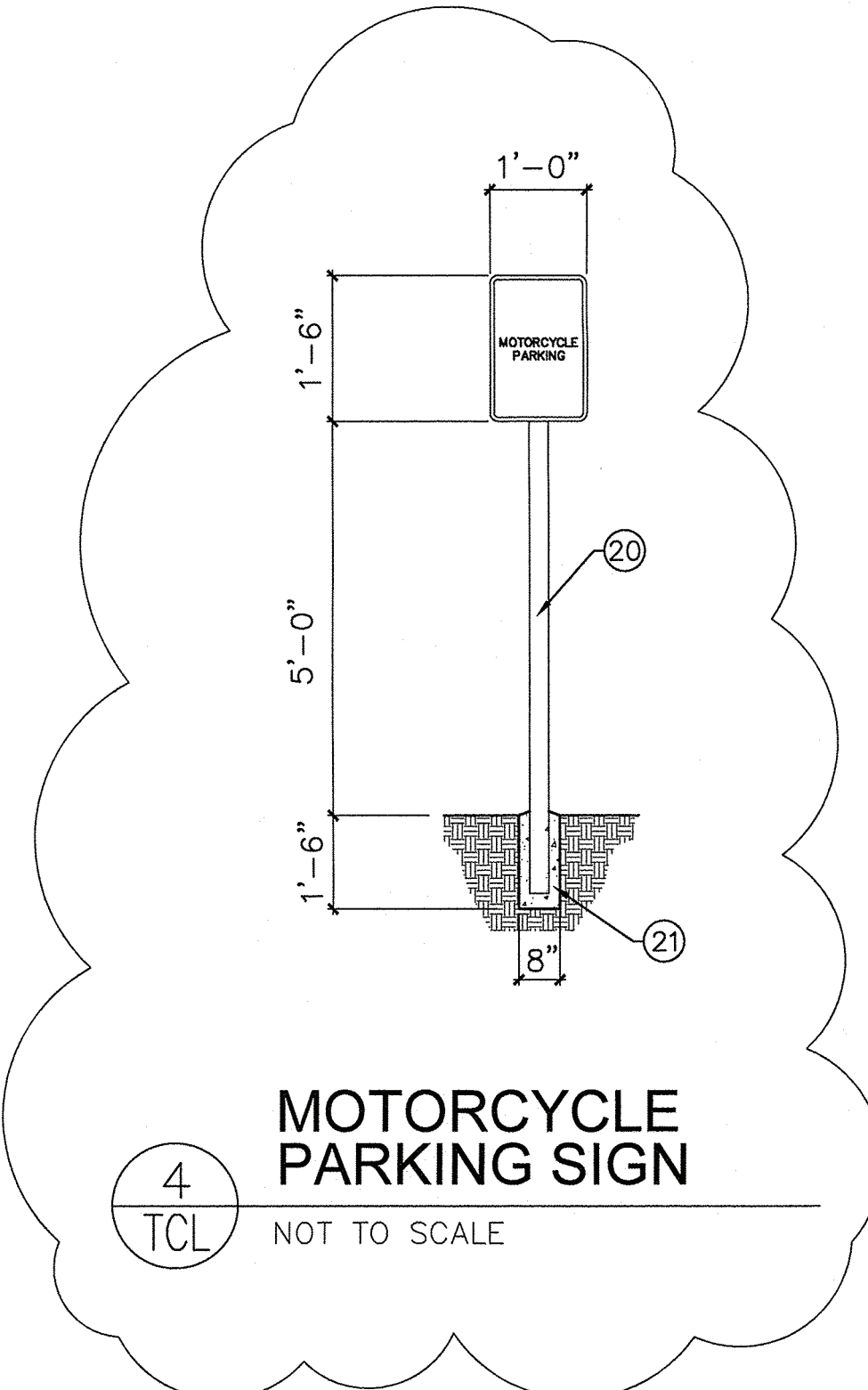
BICYCLE SPACES REQUIRED - 3
BICYCLE PARKING SPACES PROVIDED - 3

ALL WHEELCHAIR RAMPS LOCATED
WITHIN THE PUBLIC RIGHT OF WAY
MUST HAVE TRUNCATED DOMES.

TRAFFIC CIRCULATION LAYOUT
APPROVED
Signed _____ Date 10-27-19

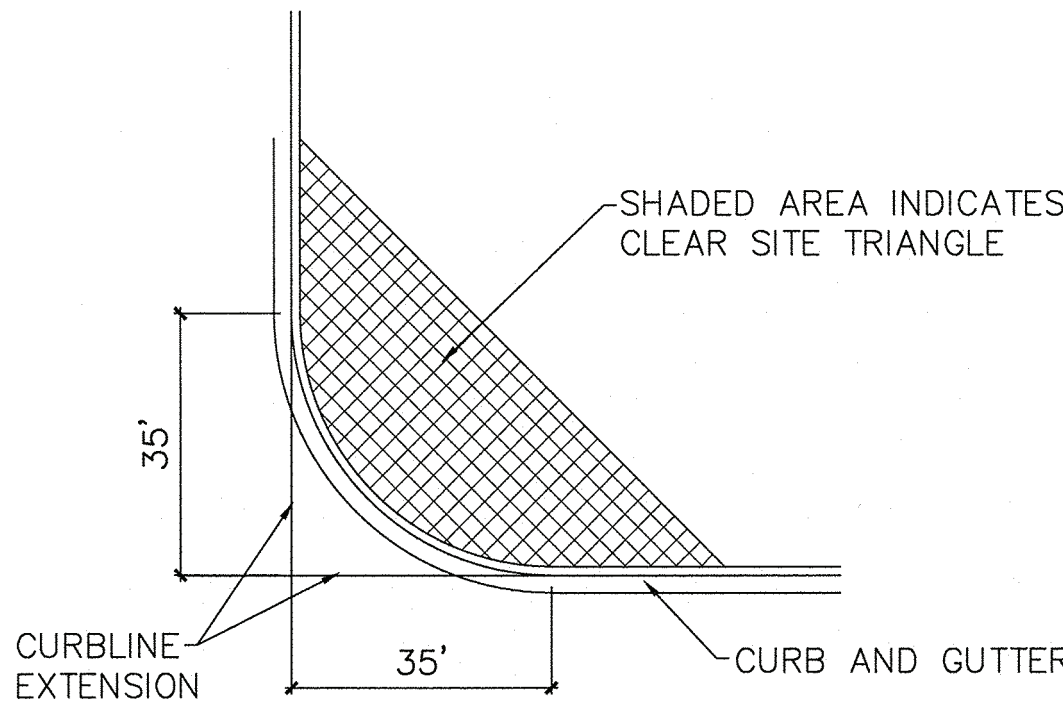


THERE IS NO SITE WORK IN THIS PROJECT
ALL NEW SITE CONCRETE REPLACES
EXISTING PAVING W/ SAME ELEVATIONS
EXISTING PAVING IS BEING RE-STRIPPED



MOTORCYCLE
PARKING SIGN

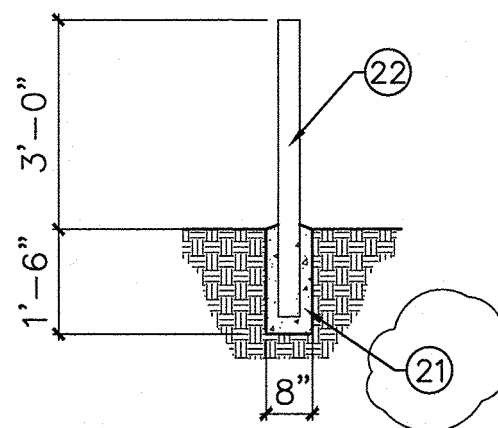
4
TCL NOT TO SCALE



CLEAR SITE TRIANGLE @ INTERSECTIONS

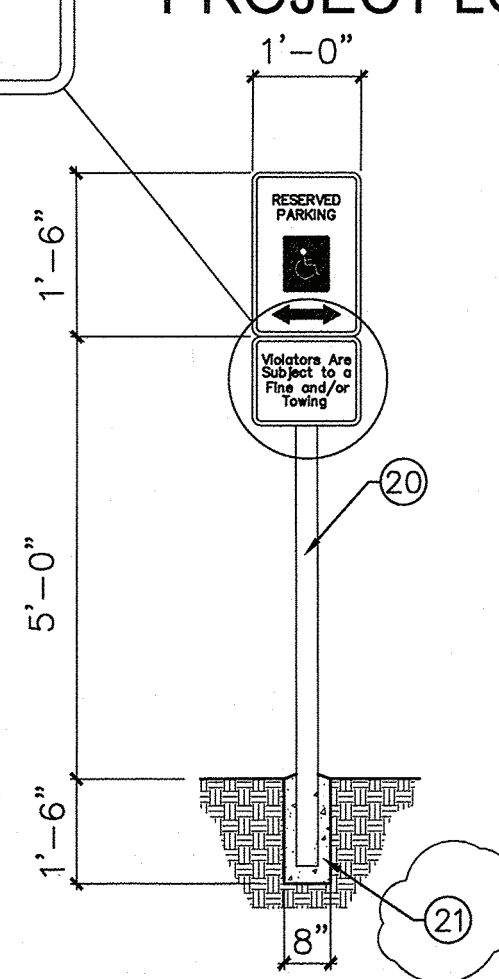
3
TCL NOT TO SCALE

NOTE: LANDSCAPING AND SIGNAGE WILL NOT INTERFERE
WITH THE CLEAR SITE REQUIREMENTS. THEREFORE, SIGNS,
WALLS, TREES AND SHUBBERY BETWEEN 3 AND 8 FEET TALL
(AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTED.



BOLLARD DETAIL

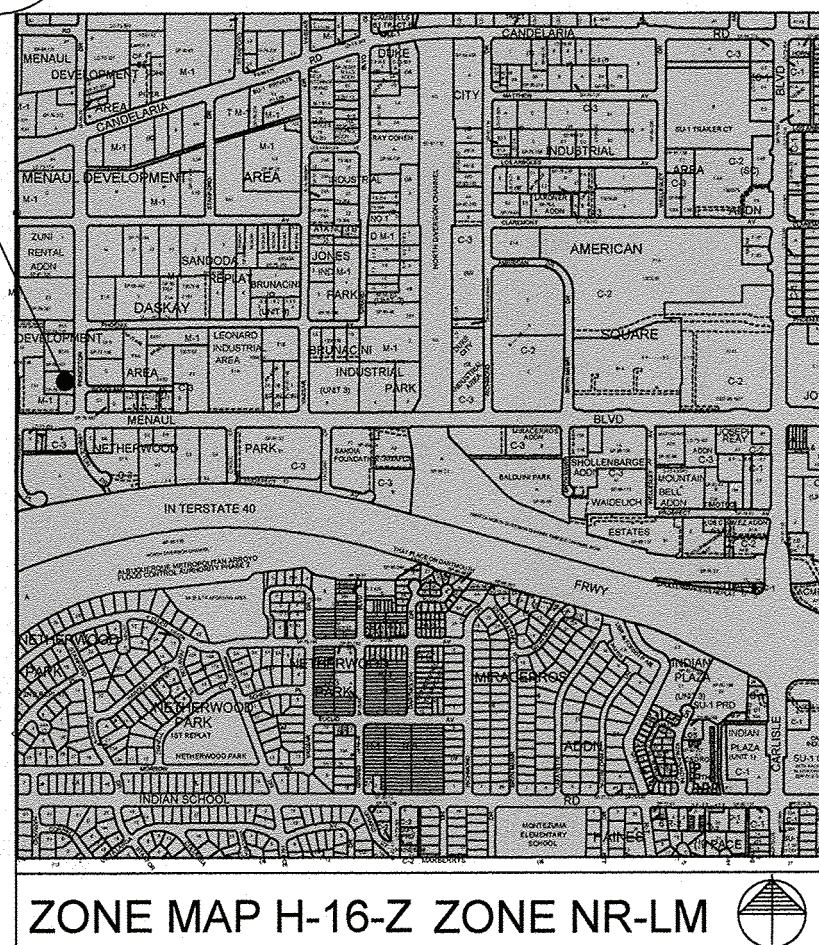
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TCL NOT TO SCALE



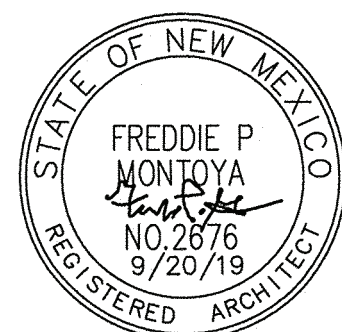
H.C. PARKING SIGN

1
TCL NOT TO SCALE

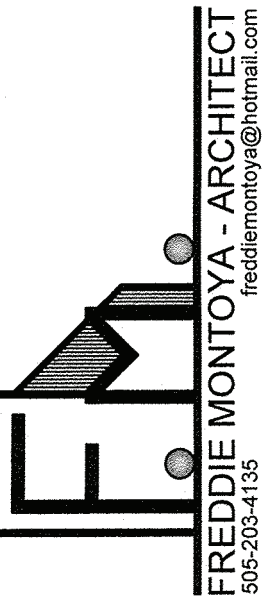
PROJECT LOCATION



RECEIVED
OCT 23 2019
LAND DEVELOPMENT SECTION



A FACADE RENOVATION, BLDG. ADDITION & TENANT IMPROVEMENT
2409 PRINCETON AVE. NE ALBUQUERQUE, NEW MEXICO



SEPTEMBER, 2019

TCL



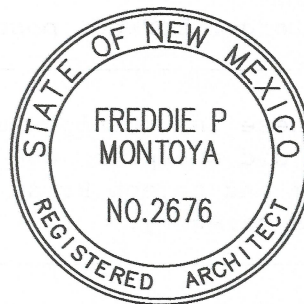
TRAFFIC CERTIFICATION

I, Freddie Montoya, NMRA 2676, OF THE FIRM FREDDIE MONTOYA - ARCHITECT, HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 10/30/19. THE SITE CONSTRUCTION IS BUILT PER THE ORIGINAL APPROVED TCL. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 8/4/21 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR A CERTIFICATE OF OCCUPANCY.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

Signature of Engineer or Architect

ENGINEER'S OR ARCHITECT'S STAMP





City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: TI AND ADDITION 2409 PRINCETON AVE NE Building Permit #: BP-2019-36884 Hydrology File #: _____
DRB#: _____ EPC#: _____ Work Order#: _____
Legal Description: TRACT B-3, MENAUL DEVELOPMENT SECTION 8T. 10N., R. 3E., N.M.P.M.
City Address: 2409 PRINCETON AVE. NE

Applicant: ZACK BINGHAM Contact: OWNER
Address: 2019 MENAUL BLV. NE SUITE A, 87107
Phone#: 505-400-1991 Fax#: _____ E-mail: zbingham@gmail.com

Other Contact: FREDDIE MONTOYA Contact: ARCHITECT
Address: 2336 SUNSHINE RD SW ALBUQUERQUE
Phone#: 505-203-4135 Fax#: _____ E-mail: freddiemontoya@hotmail.com

TYPE OF DEVELOPMENT: _____ PLAT (# of lots) _____ RESIDENCE _____ DRB SITE _____ ADMIN SITE

IS THIS A RESUBMITTAL? _____ Yes ☒ No

DEPARTMENT ☒ TRANSPORTATION _____ HYDROLOGY/DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ARCHITECT CERTIFICATION
- ☐ PAD CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE MASTER PLAN
- ☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- ☐ ELEVATION CERTIFICATE
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ TRAFFIC IMPACT STUDY (TIS)
- ☐ STREET LIGHT LAYOUT
- ☐ OTHER (SPECIFY) _____
- ☐ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ SITE PLAN FOR SUB'D APPROVAL
- ☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ GRADING/ PAD CERTIFICATION
- ☐ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ FLOODPLAIN DEVELOPMENT PERMIT
- ☐ OTHER (SPECIFY) _____

DATE SUBMITTED: 8/4/21 By: FREDDIE MONTOYA - ARCHITECT

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____