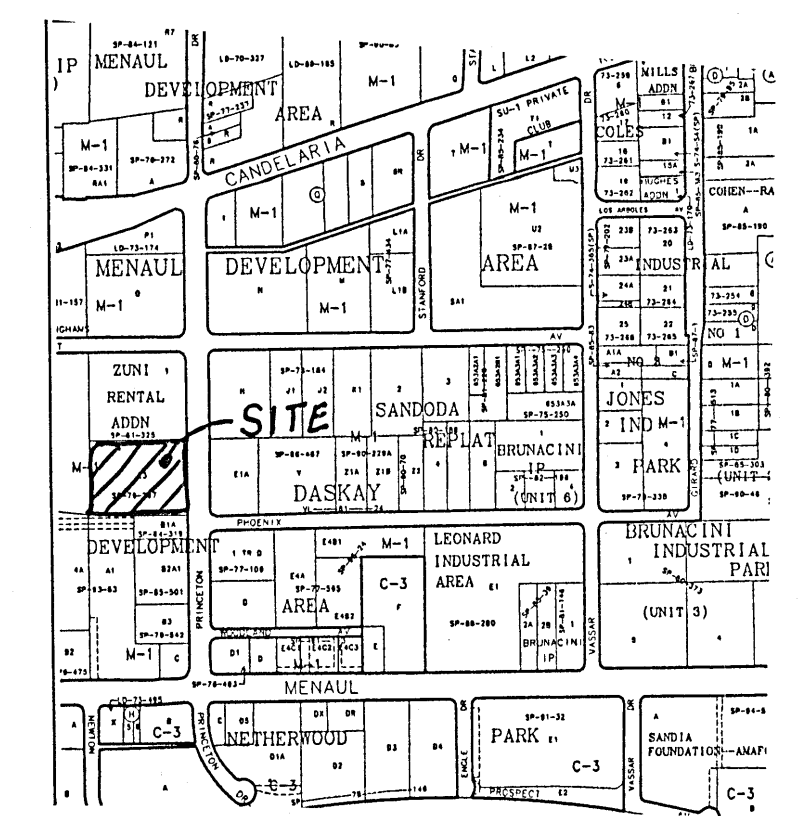


HYDROLOGY SECTION
JUN 14 2000

HYDROLOGY SECTION
JUN 14 2000



VICINITY MAP ZONE MAP: H-16-Z

T B M (TEMPORARY BENCHMARK)

SANITARY SEWER MANHOLE ON PRINCETON DRIVE NE BY SOUTHEAST PROPERTY CORNER
RIM ELEVATION = 53.80

ACS BENCHMARK

STATION 1-40-12 IS LOCATED 2.5 MILES NE OF DOWNTOWN ALBUQUERQUE, IN THE CENTER OF THE MEDIAN OF MENAUL BLVD., AT THE CROSSING OF THE AMAFCA NORTH DIVERSION CHANNEL.

TO REACH THE STATION FROM THE INTERSECTION OF CENTRAL AVE., AND SECOND ST., GO NORTH ON SECOND ST., 1.8 MILES TO MENAUL BLVD., THEN EAST ON MENAUL BLVD., 1.8 MILE TO THE CROSSING OF THE NORTH DIVERSION CHANNEL AND THE STATION ON THE LEFT.

STATION MARK IS A STANDARD NMHC BRASS TABLET, STAMPED "STA. 1-40-12", SET IN TOP OF A CONCRETE POST FLUSH WITH THE GROUND.

X=391,719.93 Y=1,495,174.25 ELEVATION=5114.549'

LEGAL DESCRIPTION

LOT E-3 OF THE MENAUL DEVELOPMENT AREA, AS SHOWN AND DESIGNATED ON THE REPLATE OF PORTION OF TRACT E, MENAUL DEVELOPMENT AREA TO THE CITY OF ALBUQUERQUE, NEW MEXICO.

GENERAL NOTES

- OFF-SITE FLOWS DO NOT ADVERSELY IMPACT THIS SITE.
- THIS SITE DOES NOT LIE WITHIN A 100 YEAR FLOOD ZONE.
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- SIDE WALL HEIGHT ON SOUTH SIDE OF CONCRETE SWALE VARIES FROM 4" ON WEST END TO 6" ON EAST END.

LEGEND

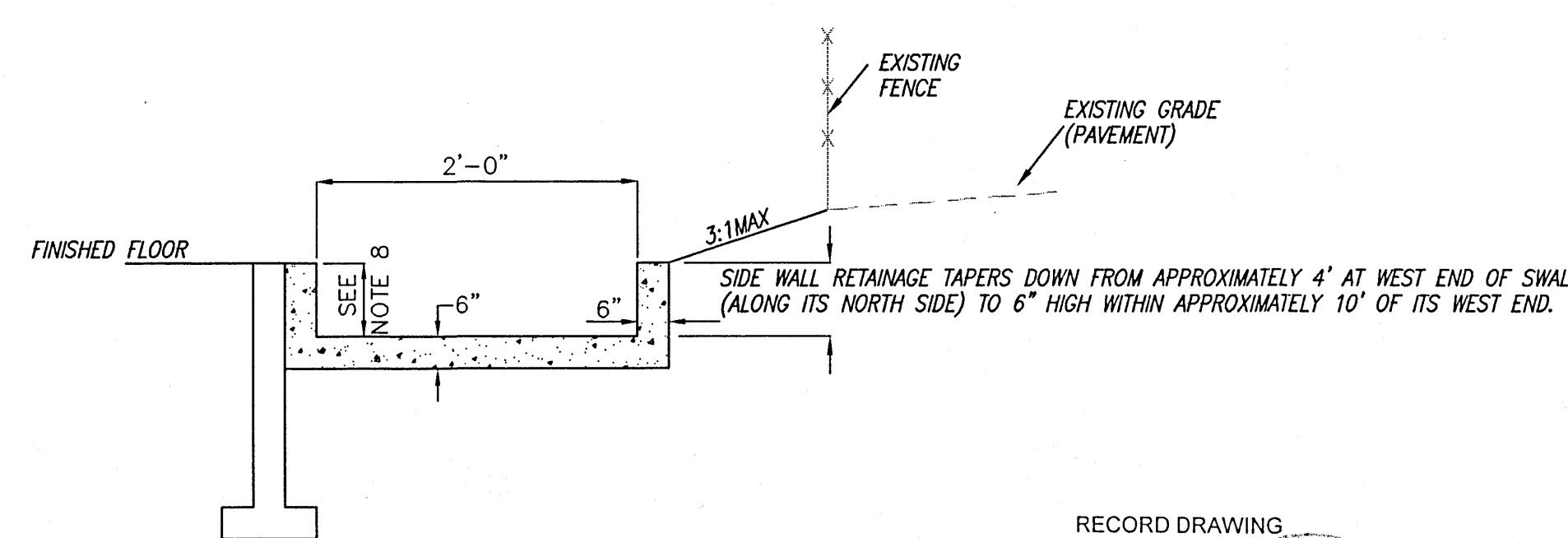
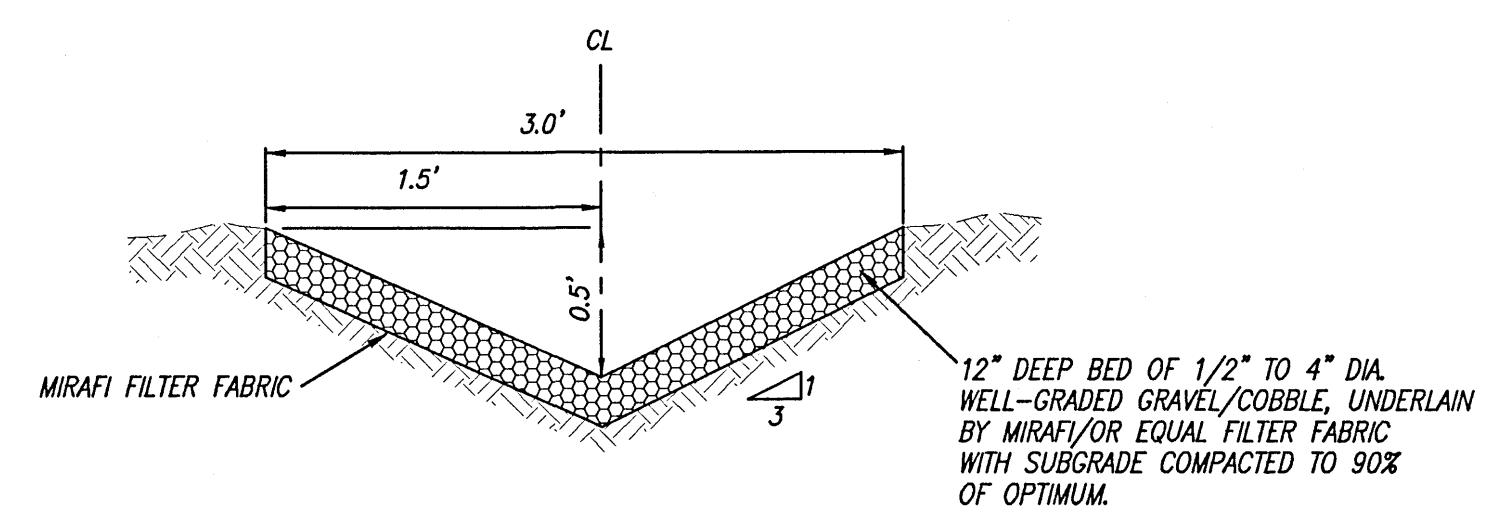
- ROOF FLOW DIRECTION
- FLOW DIRECTION
- TOP OF CURB ELEVATION
- FLOWLINE ELEVATION
- TOP OF WALL ELEVATION
- BOTTOM OF WALL ELEVATION
- HANDICAP PARKING
- NEW CURB (SEE ARCH. PLAN)
- NEW RETAINING WALL (DESIGNED BY OTHERS)
- EXISTING SWALE
- DRAINAGE BASIN BOUNDARY
- EXISTING CONTOURS
- GRAVEL RUNDOWN

JPD WAREHOUSE GRADING AND DRAINAGE PLAN

MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505)828-2200, FAX (505)797-9539

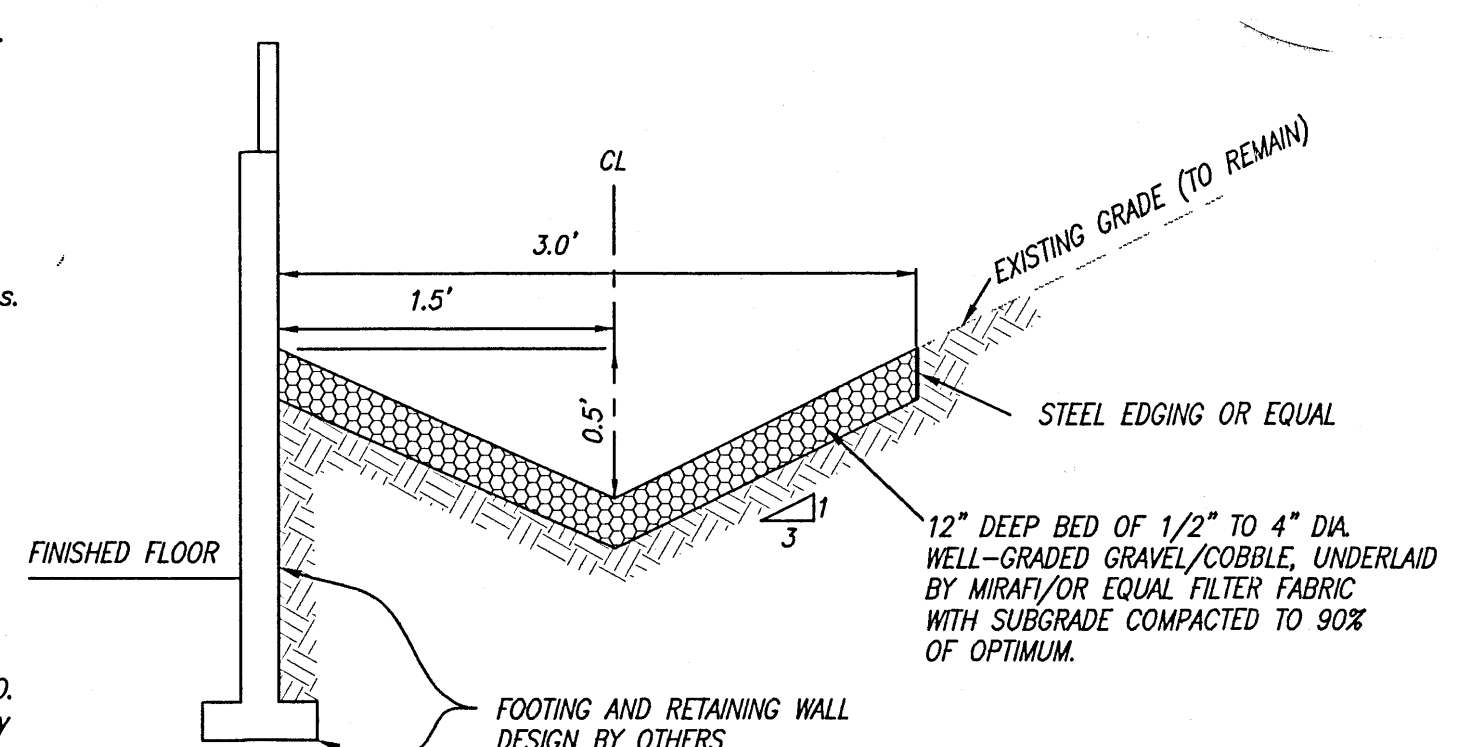
Designed: DMG Drawn: WLW Checked: DMG Sheet 1 of 1
Scale: 1" = 30' Date: 7/99 Job: 99087

- 8" PVC TRUCK DOCK OUTFALL TO DAYLIGHT AT EXISTING SWALE.
- EXISTING COBBLE CATCH BASIN (TO BE MAINTAINED BY OWNER) TO REMAIN.
- EXISTING EARTHEN SWALE TO REMAIN.
- ROOF DRAINS TO DISCHARGE ONTO CONCRETE SPLASH BLOCKS WITH MINIMUM 4" SIDEWALLS. TOP EDGE OF GRAVEL AT SPLASH BLOCKS TO BE SET 1" BELOW SURFACE OF SPLASH BLOCK.



I hereby certify that the information contained on this drawing has been revised in accordance with information furnished by the contractor and the surveyor, - Sadler Southwest, Inc., and reflects the construction as actually accomplished. This plan as constructed is in substantial compliance with the Approved Plan.

John M. Mackenzie NMP 1619



DEVELOPED FORMER ZUNI RENTAL SITE

NOTICE TO CONTRACTOR

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- All work detailed on these plans to be performed, except as otherwise stated or provided hereon, shall be constructed in accordance with "City of Albuquerque Standard Specifications for Public Works Construction" (1986 Edition).
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DRAINAGE FACILITIES WITHIN CITY RIGHT OF WAY

Design Approval	HYDROLOGY SECTION	DATE
Inspection Approval	CONSTRUCTION SECTION	DATE
	CONSTRUCTION/SECTION/PERMITS	DATE

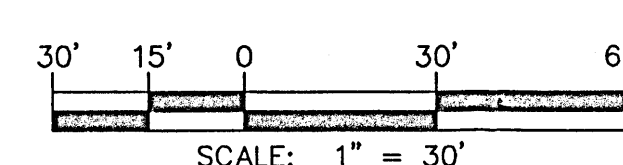
DRAINAGE CALCULATIONS

DRAINAGE BASIN A	DRAINAGE BASIN B
SITE AREA = 1.92 ACRES	SITE AREA = 0.51 ACRES
P(100-6) = 2.30 INCHES	P(100-6) = 2.30 INCHES
LAND TREATMENT B = 15%	LAND TREATMENT B = 15%
LAND TREATMENT D = 85%	LAND TREATMENT D = 85%
Q(100-6) = 8.21 cfs	Q(100-6) = 2.20 cfs
VOL (100-6) = 13,038 cfs	VOL (100-6) = 3,478 cfs

HYDROLOGY SECTION
JUN 14 2000

DRAINAGE MANAGEMENT PLAN

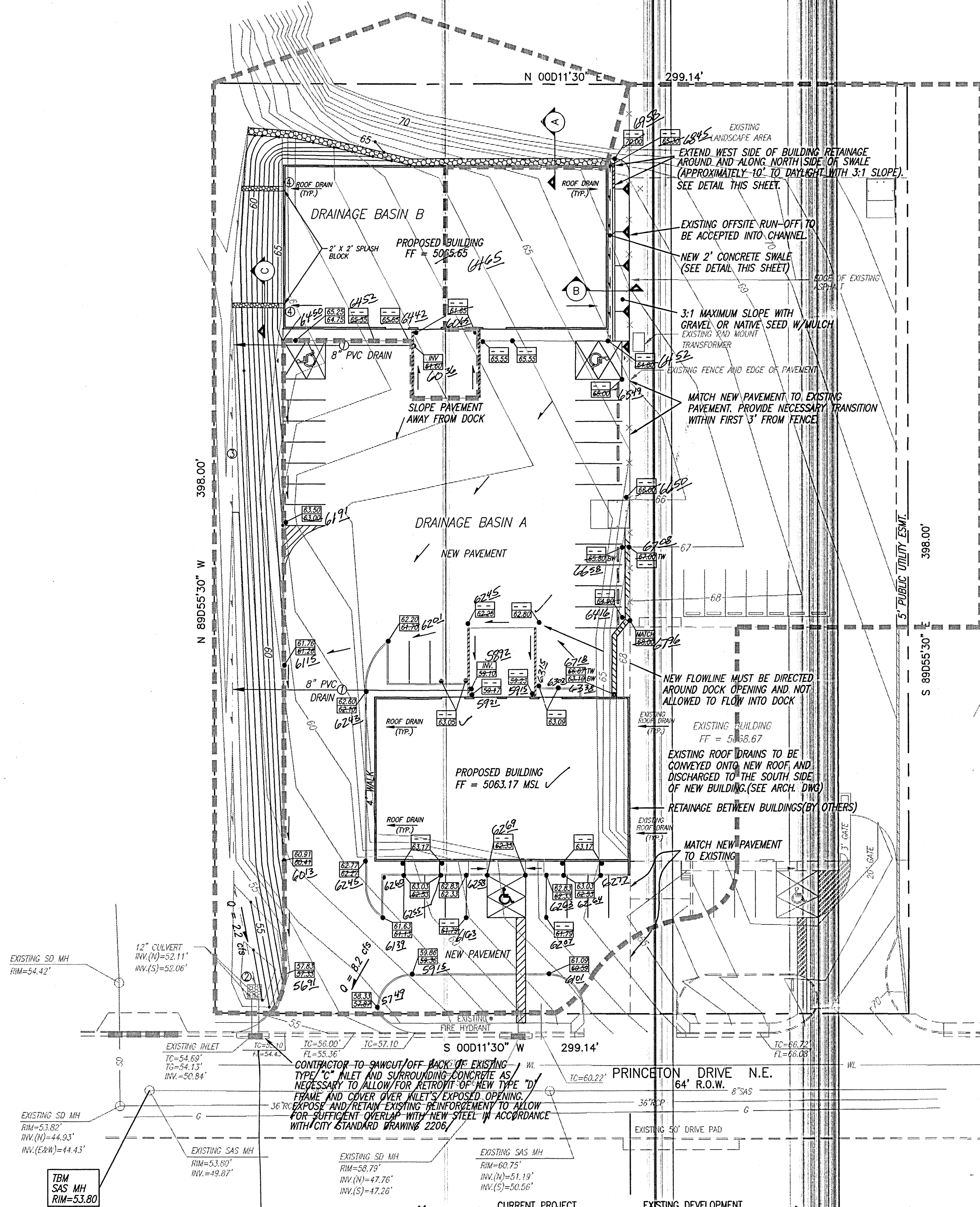
THE SITE IS LOCATED WITHIN A FULLY DEVELOPED PORTION OF THE CITY'S CENTRAL URBAN AREA. IN ACCORDANCE WITH HYDROLOGY DIVISION'S POLICY FOR INFILL SITE WITH ALL NECESSARY DRAINAGE INFRASTRUCTURE ALREADY IN PLACE, THE SITE IS ALLOWED FREE DISCHARGE. PER AHYMO, BASIN A GENERATES 8.21 CFS, WHILE BASIN B GENERATES 2.20 CFS.



9087JPD\9087GD30\08-23-99\WLW MJR

Remove type "C" inlet and replace with new type "D" inlet.

JMM
10-27-99



DEVELOPED FORMER ZUNI RENTAL SITE

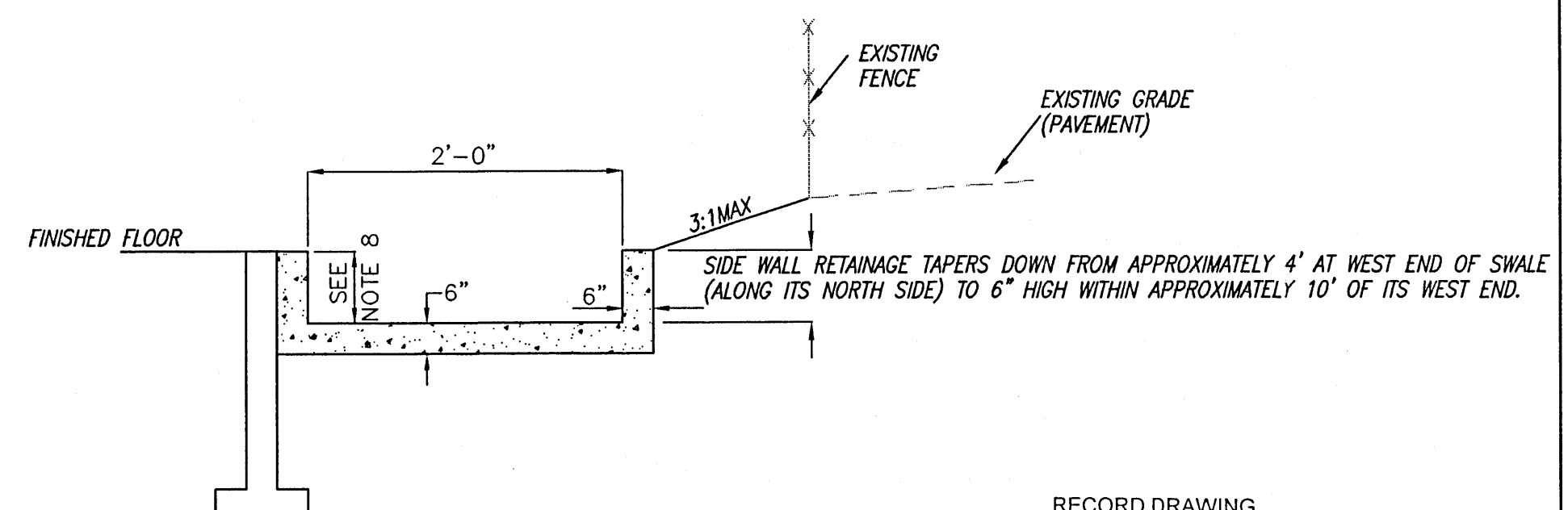
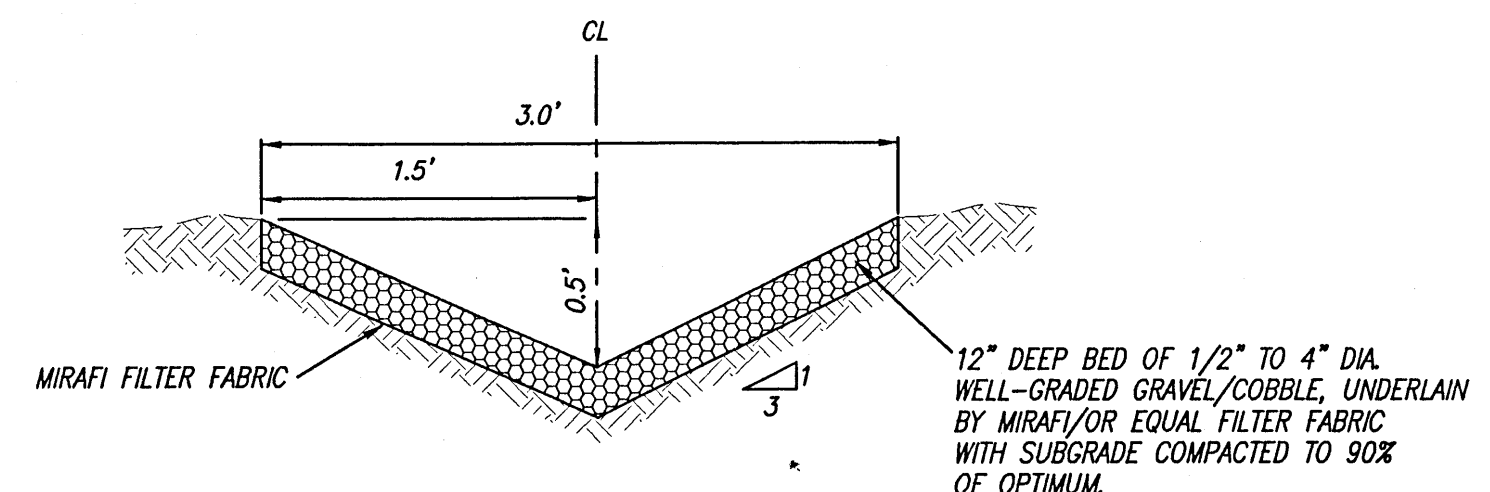
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DRAINAGE FACILITIES WITHIN CITY RIGHT OF WAY

Design Approval	HYDROLOGY SECTION	DATE
Inspection Approval	CONSTRUCTION SECTION	DATE
	CONSTRUCTION/SECTION/PERMITS	DATE

1. 8" PVC TRUCK DOCK OUTFALL TO DAYLIGHT AT EXISTING SWALE.
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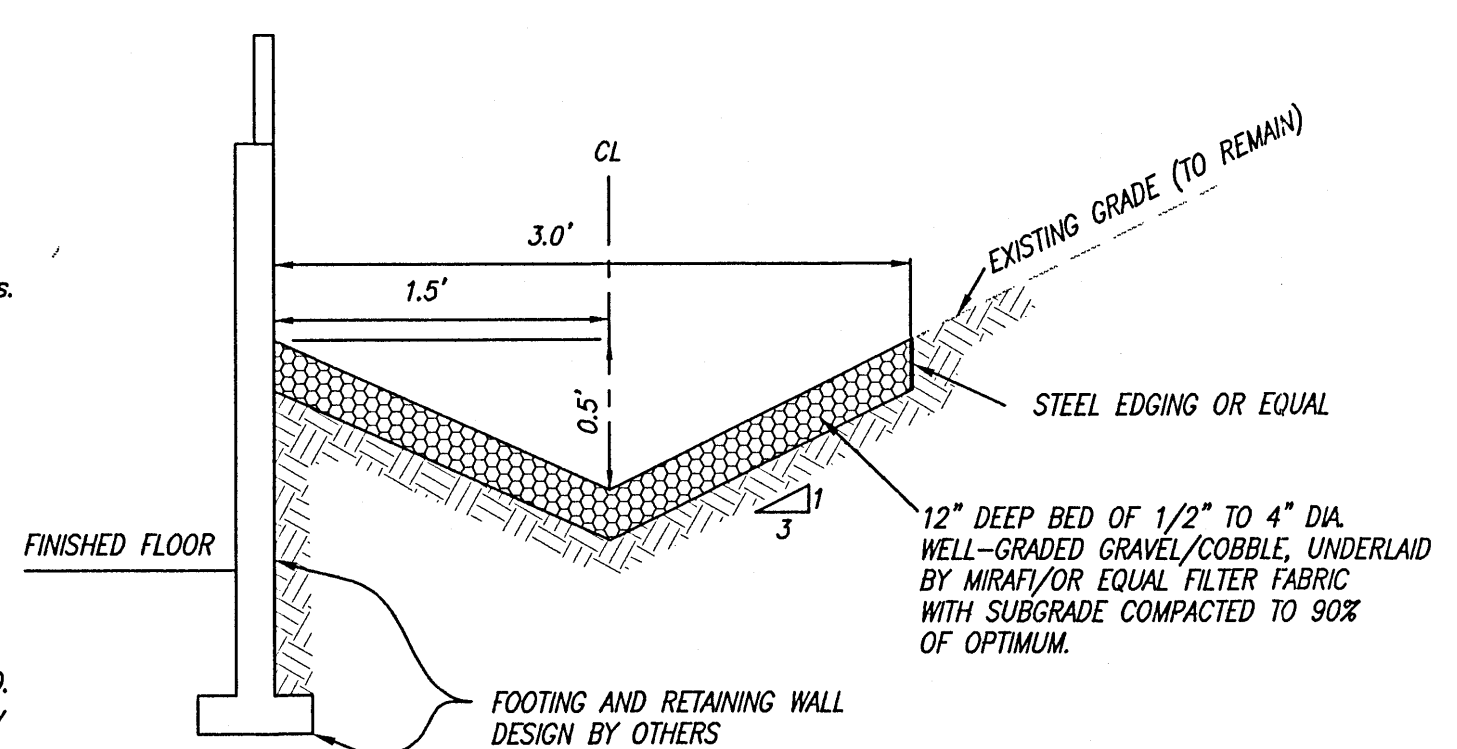


SECTION B - NORTH WALL SECTION

N.T.S.

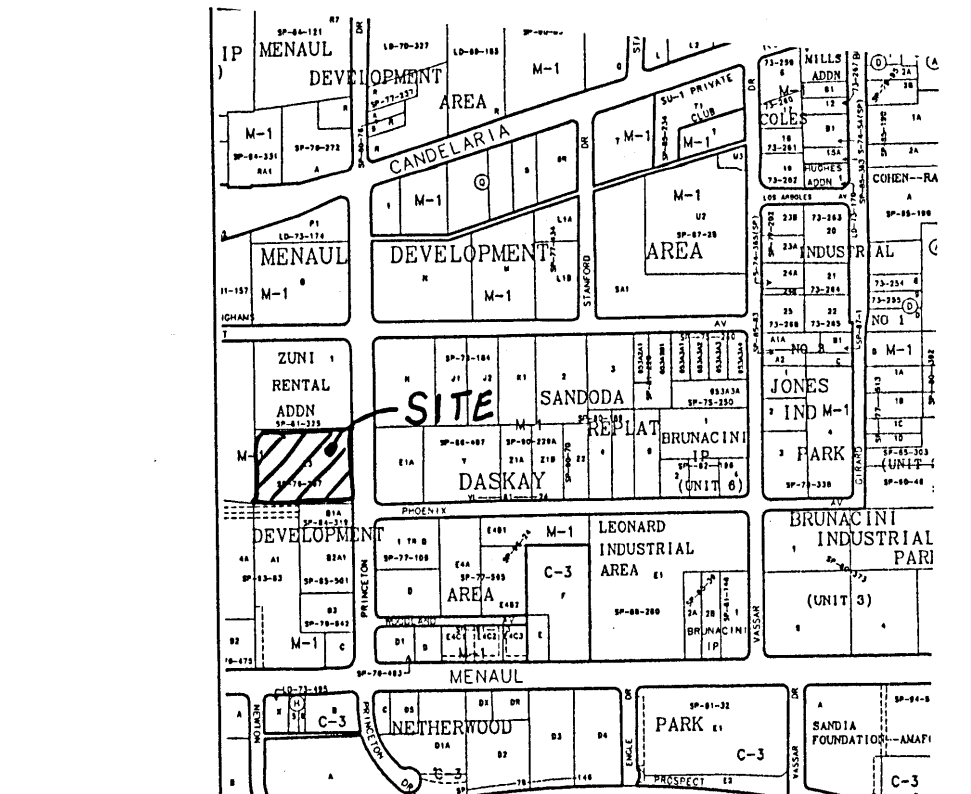
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John M. Mackenzie 10-14-99
John M. Mackenzie NMP#1619



SECTION A - WEST WALL SECTION

NTS



VICINITY MAP

T B M (TEMPORARY BENCHMARK)

SANITARY SEWER MANHOLE ON PRINCETON DRIVE NE BY SOUTHEAST PROPERTY CORNER RIM ELEVATION = 53.80

ACS BENCHMARK

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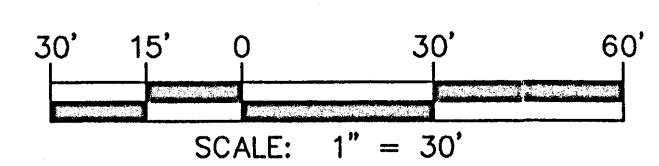
LEGEND

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- FLOW DIRECTION
- TOP OF CURB ELEVATION
- FLOWLINE ELEVATION
- TOP OF WALL ELEVATION
- BOTTOM OF WALL ELEVATION
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- NEW CURB (SEE ARCH. PLAN)
- NEW RETAINING WALL (DESIGNED BY OTHERS)
- EXISTING SWALE
- DRAINAGE BASIN BOUNDARY
- EXISTING CONTOURS
- GRAVEL RUNDOWN

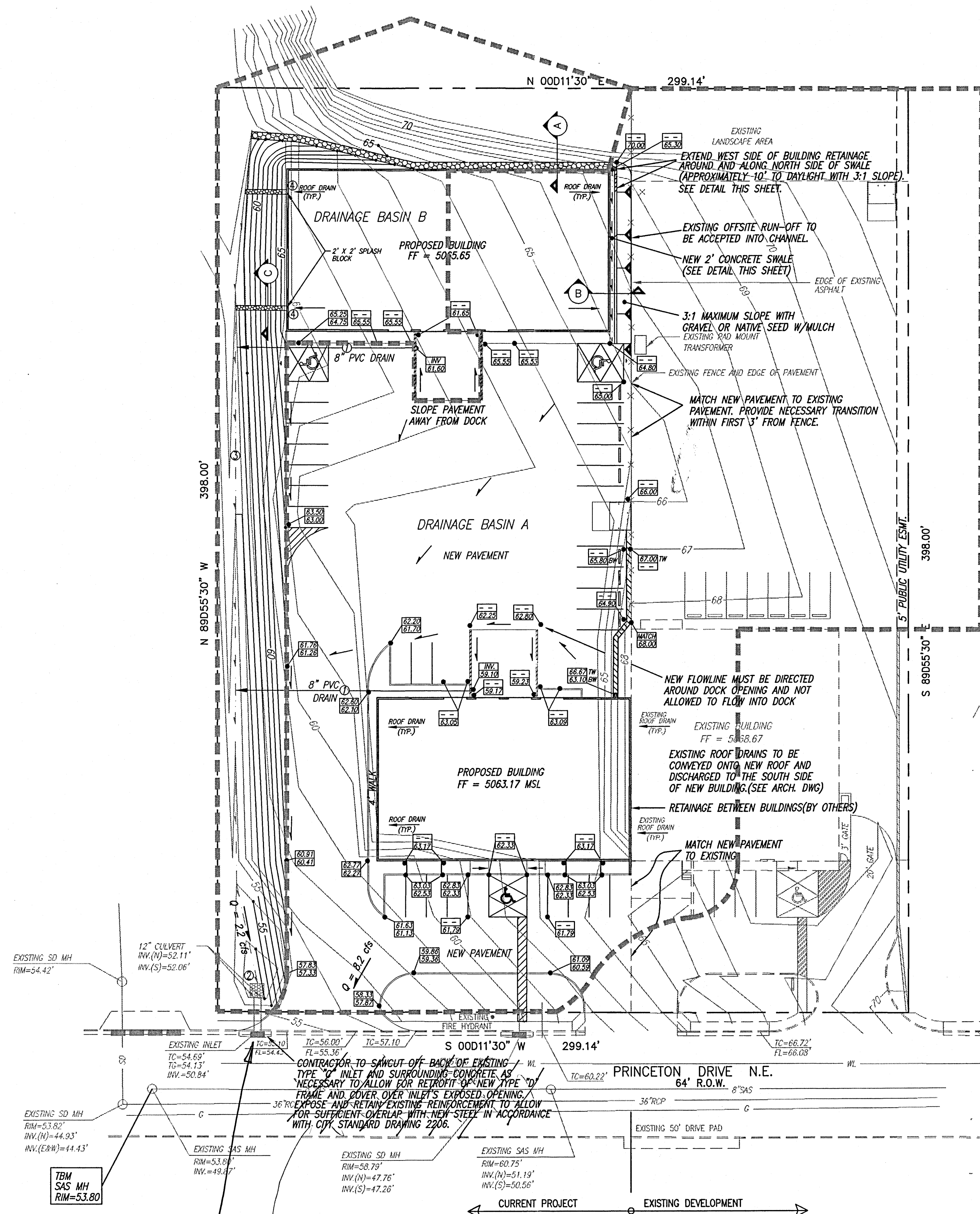
JPD WAREHOUSE GRADING AND DRAINAGE PLAN

dmg MARK GOODWILL & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505)828-2200, FAX (505)797-9539

Designed: DMG	Drawn: WLV	Checked: DMG	Sheet 1 of 1
Scale: 1" = 30'	Date: 7/99	Job: 99087	



9087\JPD\9087GD30\08-23-99\WLV MJR



Remove existing
Type "C" inlet and
replace with new
Type "D" inlet.
JMM
10-27-99

REPLACE TYPE "C" WITH
TYPE "D" INLET

DRAINAGE CALCULATIONS

DRAINAGE BASIN A	DRAINAGE BASIN B
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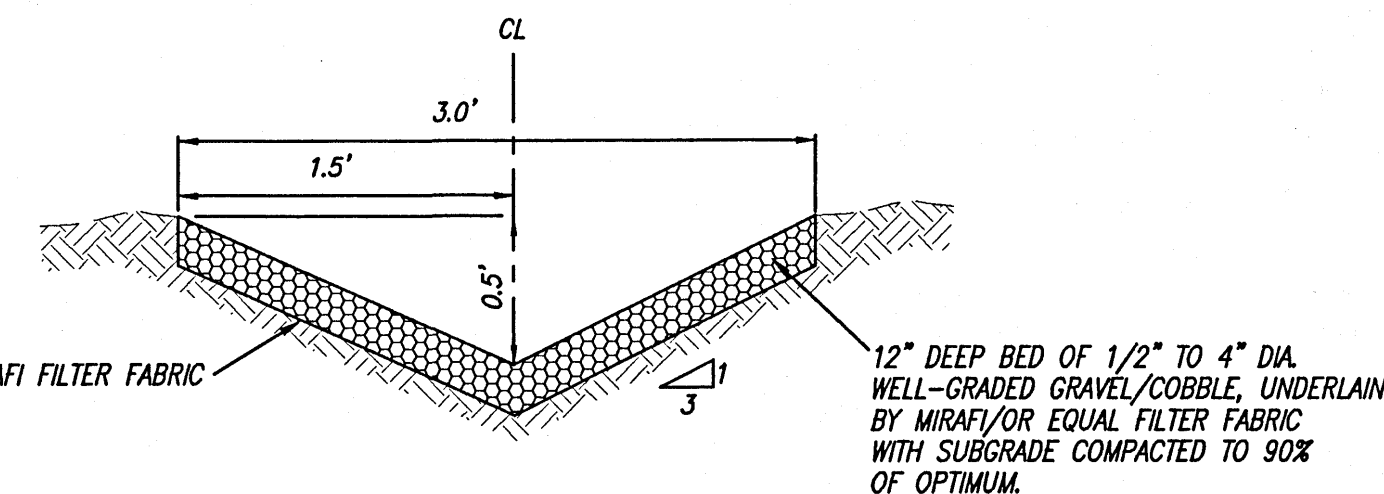
DRAINAGE FACILITIES WITHIN CITY RIGHT OF WAY

Design Approval	<i>Bradley L. Bingham</i>	10/13/99
	HYDROLOGY SECTION	DATE
Inspection Approval		
	CONSTRUCTION SECTION	DATE
	CONSTRUCTION/SECTION/PERMITS	DATE

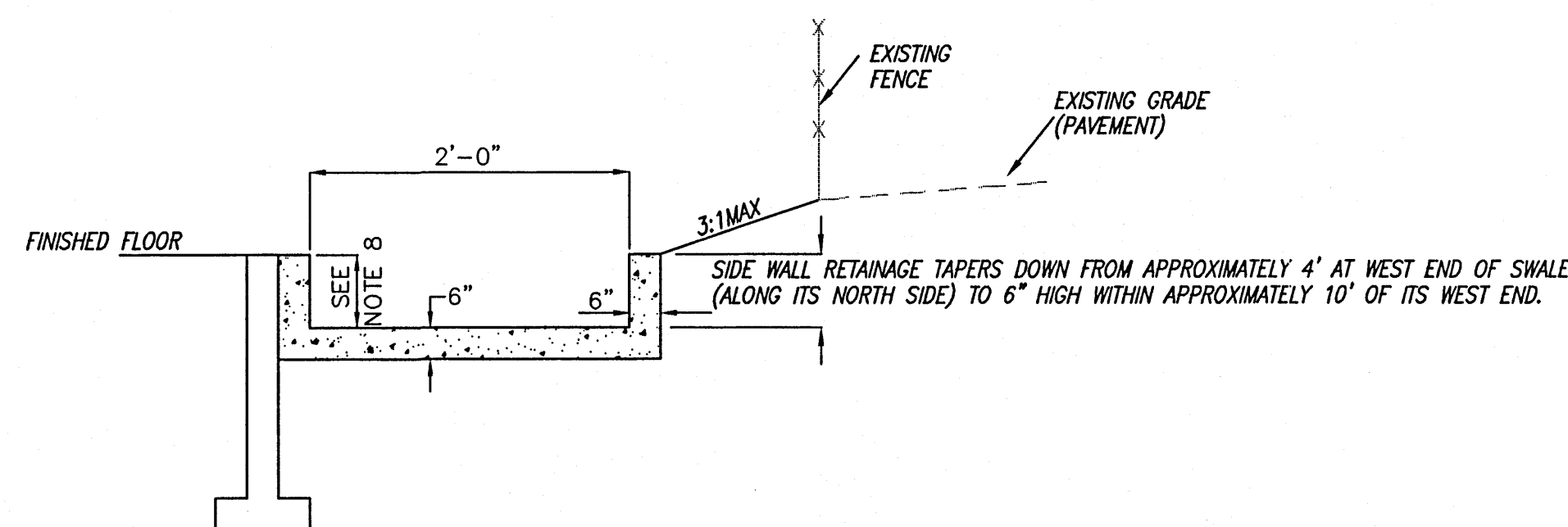
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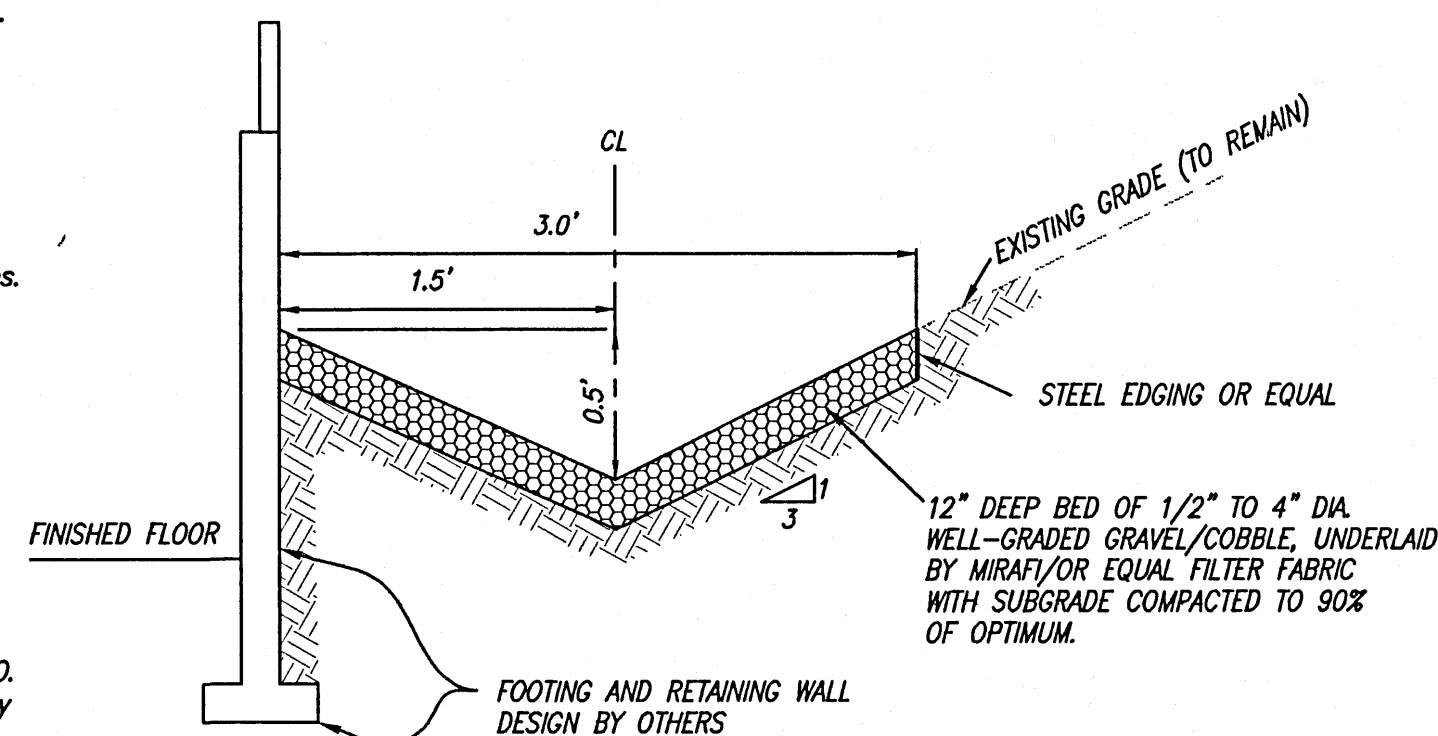
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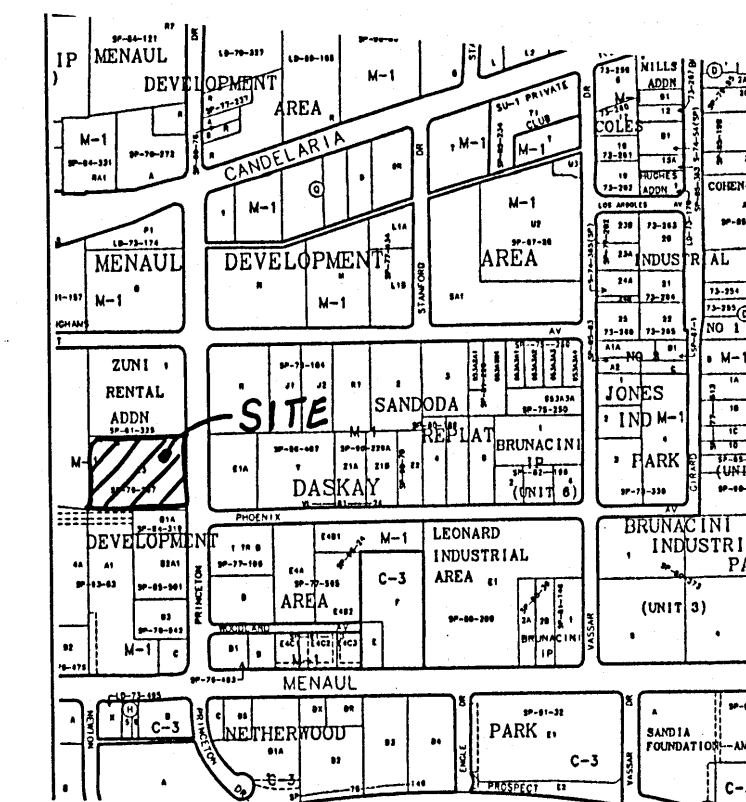
SECTION C - 3' RUNDOWN W/ RIPRAP
NTS



SECTION B - NORTH WALL SECTION
N.T.S.



SECTION A - WEST WALL SECTION
NTS



VICINITY MAP ZONE MAP: H-16-Z

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SANITARY SEWER MANHOLE ON PRINCETON DRIVE NE BY SOUTHEAST PROPERTY CORNER
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- FLOW DIRECTION
- TOP OF CURB ELEVATION
FLOWLINE ELEVATION
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JPD WAREHOUSE

GRADING AND DRAINAGE PLAN

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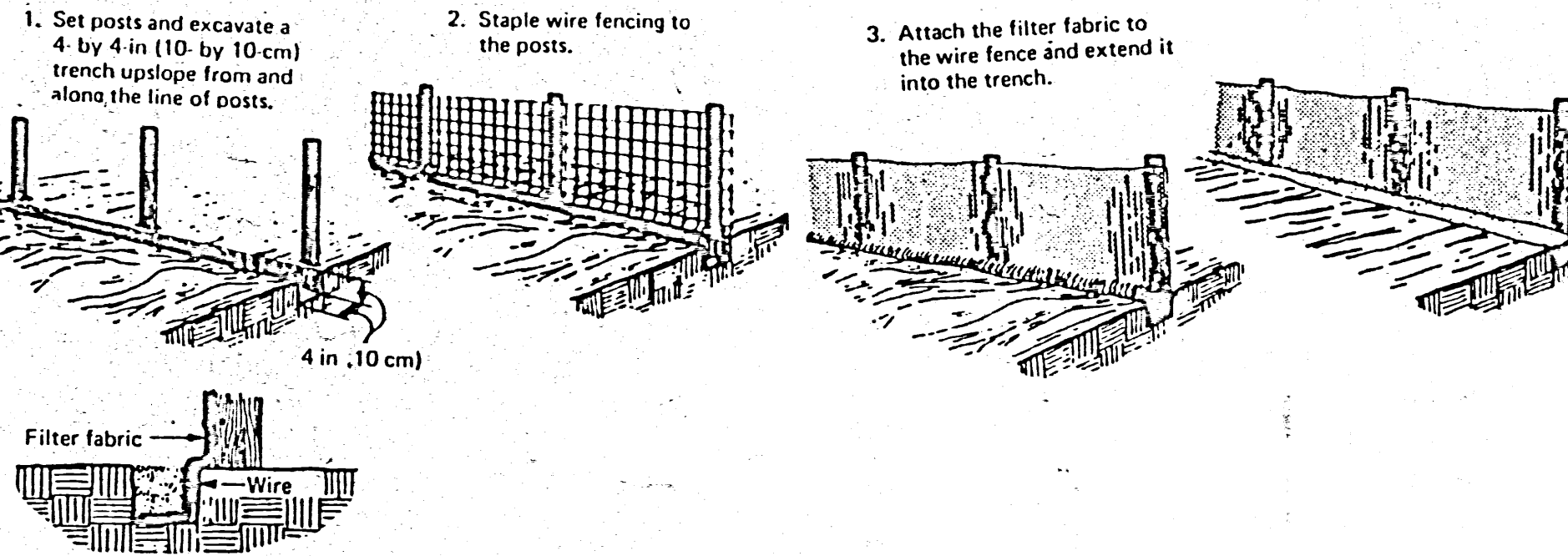
Designed: DMG	Drawn: WLW	Checked: DMG	Sheet 1 of 1
Scale: 1" = 30'	Date: 7/99	Job: 99087	

SPOT ELEVATION NOTE:

ALL PROPOSED SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATIONS, UNLESS OTHERWISE NOTED WITH "TW," "BW," "TC," "FF," "TG," "RIM" OR "INV."

SPOT ELEVATION KEY:

FL FLOWLINE ELEVATION
TC TOP OF CURB ELEVATION
BW GROUND ELEVATION AT BOTTOM OF WALL
TW GROUND ELEVATION AT TOP OF WALL
FF FINISH FLOOR ELEVATION
INV INVERT ELEVATION OF PIPE, INLET OR MANHOLE
RIM MANHOLE RIM ELEVATION
TG TOP OF GRATE ELEVATION
PI POINT OF INTERSECTING FLOWLINES
TP TOP OF PAVEMENT

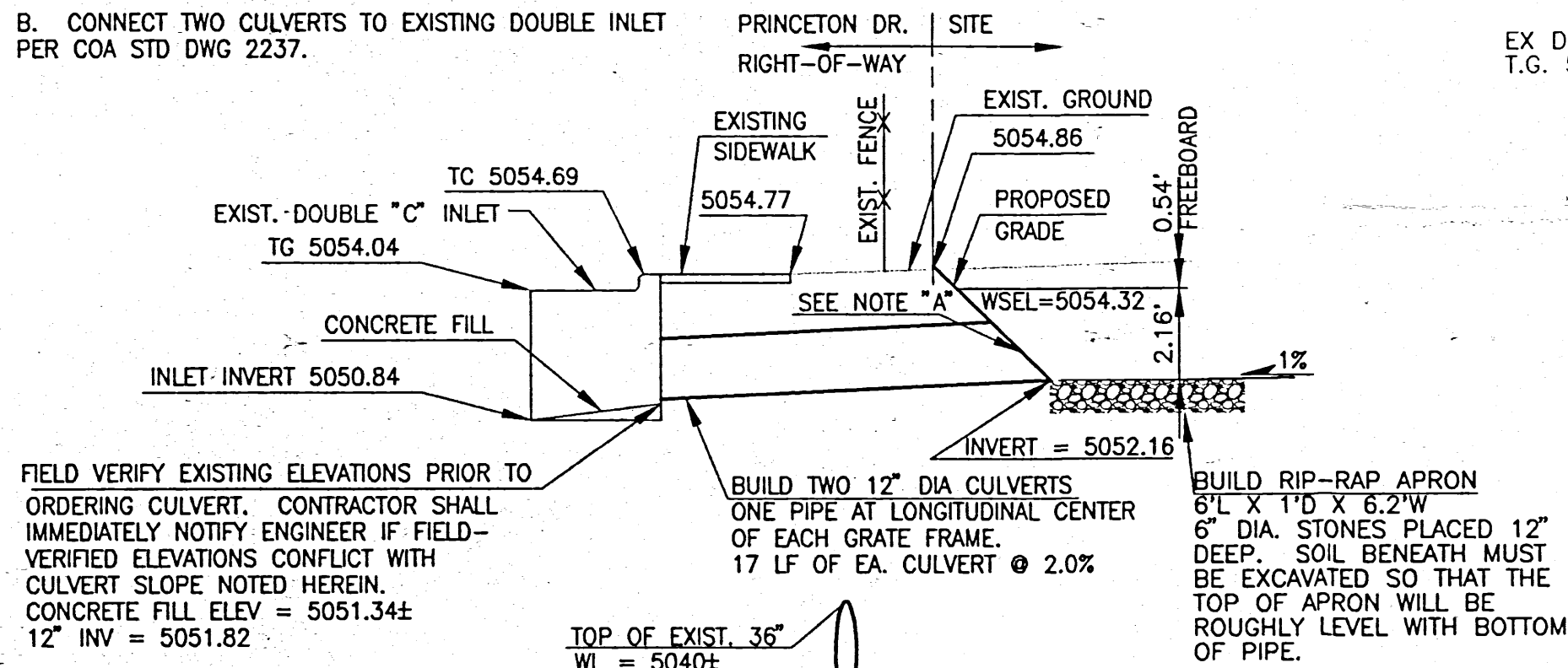


SILT FENCE SEDIMENT BARRIER DETAIL

N.T.S.

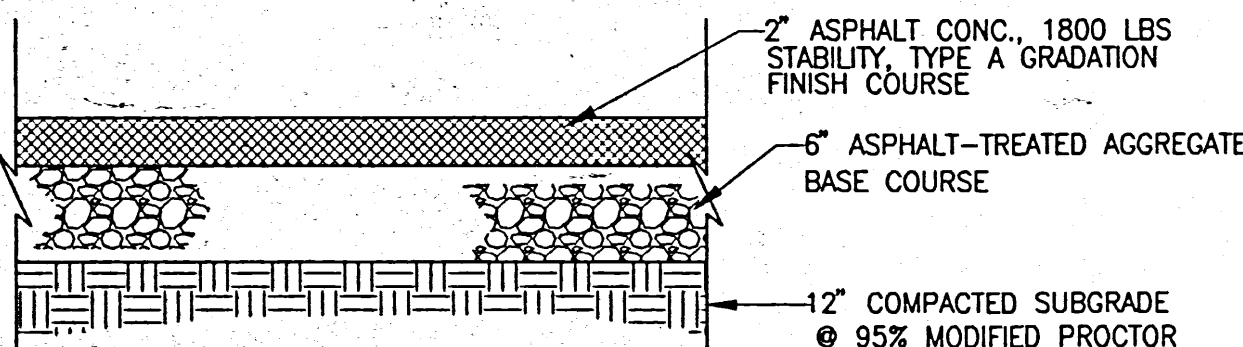
CULVERT CONNECTION CONSTRUCTION NOTES:

- A. BUILD CONCRETE BLANKET WITH SAFETY GRATES PER NMSHTD SERIAL DRAWING #BBG-001 (NORMAL INSTALLATIONS).
- B. CONNECT TWO CULVERTS TO EXISTING DOUBLE INLET PER COA STD DWG 2237.



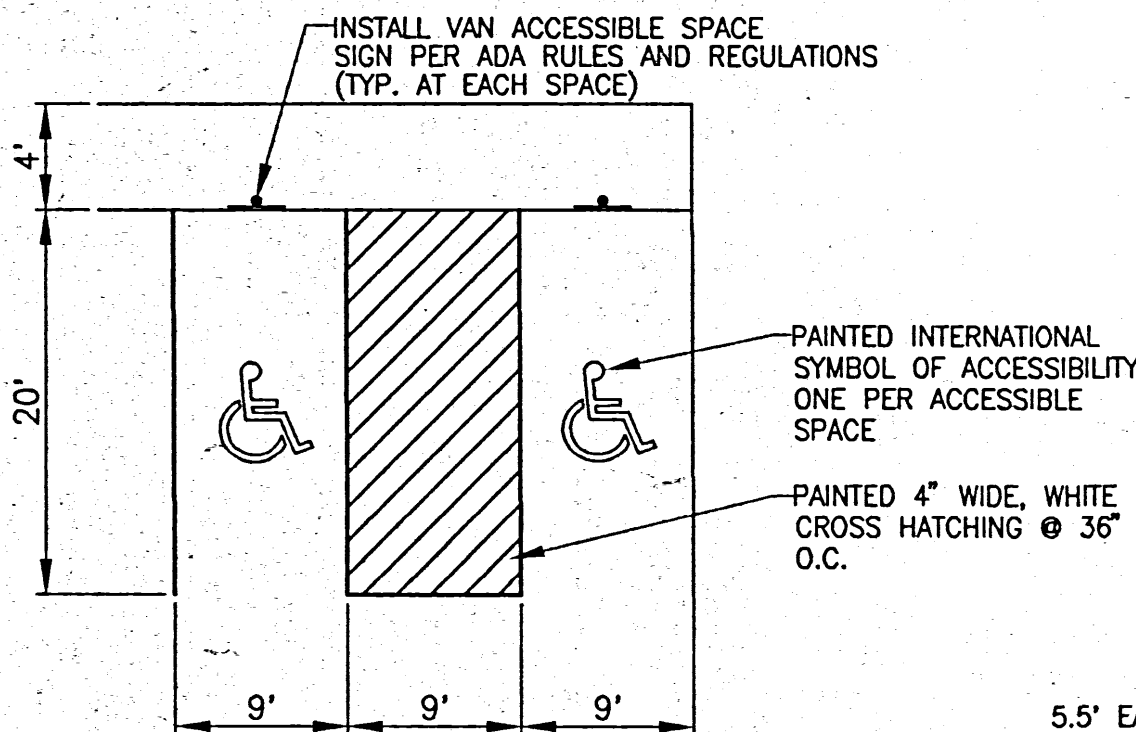
CULVERT DETAIL

HORIZ. SCALE: 1" = 5'
VERT. SCALE: N.T.S.



FLEXIBLE PAVEMENT SECTION

N.T.S.



ACCESSIBLE PARKING SPACE DETAIL

SCALE: 1" = 10'

SECTION A-A

N.T.S.

SECTION B-B

N.T.S.

LEGEND

NEW
TW=69.02
65
EXISTING
70.74 TC
70.09 FL
65
ELEVATION
CONTOUR
UTILITY
CURB
FLOW ARROW
5.5' WIDE DRAINAGE SWALE
FENCE
CULVERT
DRAINAGE BASIN BOUNDARY
PROPERTY BOUNDARY
(ALSO ACTS AS DRAINAGE BASIN BOUNDARY)
ASBUILT ELEV.

GENERAL NOTES

1. THE CONTRACTOR SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS.
2. ALL ELECTRICAL, TELEPHONE, CABLE TV, GAS AND OTHER UTILITY LINES, CABLES, AND APPURTENANCES ENCOUNTERED DURING CONSTRUCTION THAT REQUIRE RELOCATION, SHALL BE COORDINATED WITH THAT UTILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL NECESSARY UTILITY ADJUSTMENTS. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR DELAYS OR INCONVENIENCES CAUSED BY UTILITY COMPANY WORK CREWS. THE CONTRACTOR MAY BE REQUIRED TO RESCHEDULE HIS ACTIVITIES TO ALLOW UTILITY CREWS TO PERFORM THEIR REQUIRED WORK.
3. THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING THE EXISTING UTILITY LINES WITHIN THE CONSTRUCTION AREA. ANY DAMAGE TO EXISTING FACILITIES CAUSED BY CONSTRUCTION ACTIVITY SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE AND APPROVED BY THE CONSTRUCTION OBSERVER.
4. ANY DAMAGE TO ADJACENT PROPERTIES RESULTING FROM THE CONSTRUCTION PROCESS IS THE RESPONSIBILITY OF THE CONTRACTOR. ANY COSTS INCURRED FOR REPAIRS SHALL BE THE COST OF THE CONTRACTOR.
5. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL WITHIN THE PUBLIC RIGHT-OF-WAY OR ON ADJACENT PROPERTIES.
6. THE CONTRACTOR SHALL OBTAIN ALL THE NECESSARY PERMITS FOR THE PROJECT PRIOR TO COMMENCING CONSTRUCTION (I.E. BARRICADING, TOP SOIL DISTURBANCE AND EXCAVATION PERMITS, ETC.)
7. THE CONTRACTOR SHALL BE RESPONSIBLE TO REPLACE AT HIS EXPENSE ANY AND ALL PROPERTY CORNERS DESTROYED DURING CONSTRUCTION. ALL PROPERTY CORNERS MUST BE RESET BY A REGISTERED LAND SURVEYOR.
8. THE CONTRACTOR SHALL PREPARE A CONSTRUCTION TRAFFIC CONTROL AND SIGNING PLAN AND OBTAIN APPROVAL OF SUCH PLAN FROM THE CITY OF ALBUQUERQUE, TRAFFIC ENGINEERING DEPARTMENT, PRIOR TO BEGINNING ANY CONSTRUCTION WORK ON OR ADJACENT TO EXISTING STREETS.
9. ALL BARRICADES AND CONSTRUCTION SIGNING SHALL CONFORM TO APPLICABLE SECTIONS OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), U.S. DEPARTMENT OF TRANSPORTATION, LATEST EDITION.
10. THE CONTRACTOR SHALL MAINTAIN ALL CONSTRUCTION BARRICADES AND SIGNING AT ALL TIMES. THE CONTRACTOR SHALL VERIFY THE PROPER LOCATION OF ALL BARRICADING AT THE END AND BEGINNING OF EACH DAY.

KEYED NOTES

1. BUILD 25' WIDE DRIVEPAD PER COA STD DWG 2425.
2. BUILD 40' WIDE DRIVEPAD PER COA STD DWG 2425.
- 3 & 4. DELETED.
5. BUILD EXTRUDED CURB PER COA STD. DWG. 2415, "PINNED CURB TYPE III MEDIAN PCC PAVEMENT." IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS, CURB SHALL EITHER BE BONDED OR PINNED TO ASPHALT TO ASSURE A STRONG MOISTURE PROOF BOND. (FOR EXAMPLE: BOND WITH EPOXY RESIN OR PIN WITH #3 PIN AT 3' O.C. W/ STD. HOOK.)
6. BUILD FLEXIBLE PAVEMENT PER SECTION DETAIL THIS SHEET.
7. BUILD 4' WIDE 4" PCC SIDEWALK, PER COA STD DWG 2430 AT GRADE WITH ADJACENT ASPHALT PAVEMENT.
8. BUILD PCC WHEEL STOPS.
9. GRADE AREA TO PROPOSED SPOT ELEVATIONS, CONTOURS AND SLOPES SHOWN. DO NOT PAVE.
10. PROPOSED EDGE OF PAVEMENT.
11. APPROXIMATE LOCATION OF PROPOSED ROOF DRAINS. SEE ARCHITECTURAL PLANS FOR EXACT LOCATION.
12. FUTURE EDGE OF PAVEMENT OR CURB.
13. INSTALL 18" H X 125" L SILT FENCE SEDIMENT BARRIER PER DETAIL THIS SHEET. EQUIVALENT OPENING SIZE SHALL BE 0.0083" (NO LARGER THAN 0.0083" AND NO SMALLER THAN 0.0059")

PAVING NOTES

1. WHEN ABUTTING NEW CURB AND GUTTER TO EXISTING PAVEMENT, A 1' WIDE SECTION OF EXISTING PAVEMENT ADJACENT TO THE CURB AND GUTTER SHALL BE SAW CUT, REMOVED, AND REPLACED PER THE STANDARD SPECIFICATIONS. ALL SAW CUT PAVEMENT SHALL HAVE A UNIFORM EDGE AND BE SPRAYED WITH TACK.
2. PAVING AND ROADWAY GRADES SHALL BE ±0.05 FOOT FROM PLAN ELEVATIONS SHOWN.

NOTICE TO CONTRACTOR

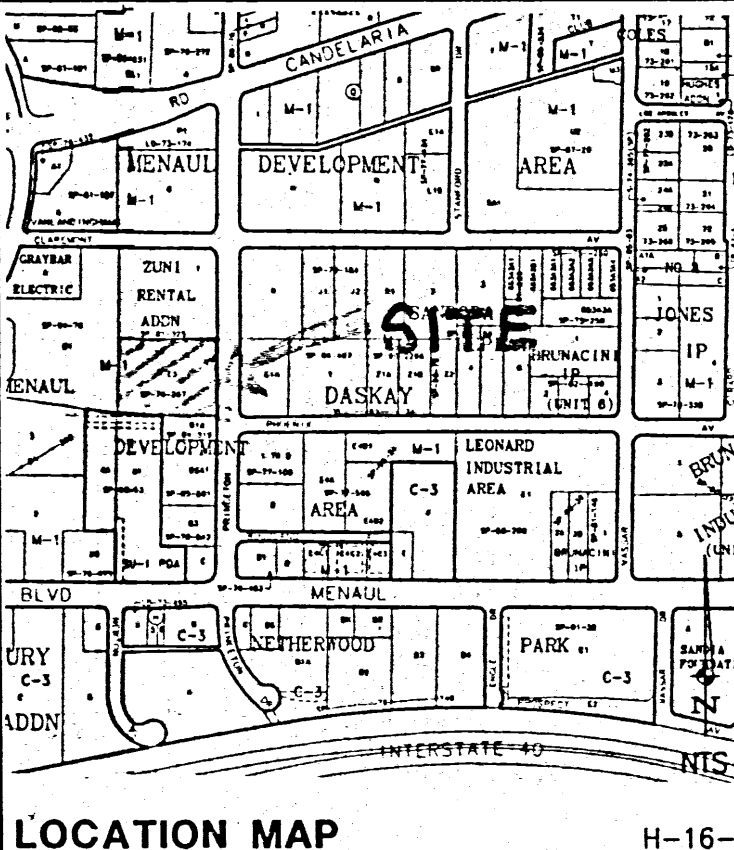
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LEGAL DESCRIPTION

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BENCHMARKS

ACS bench mark 13-H16, an aluminum cap in top of curb, located in NE quadrant of Princeton Dr. N.E., and Menaul Blvd. Elevation 5055.50



US Grainer
5971 JEFFERSON BLVD. NE
SUITE 101
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SADLER SOUTHWEST LTD.
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GRADING,
DRAINAGE &
PAVING PLAN

SHEET
C1

11/24/97 REVISED CONTOURS NEAR BUILDING.

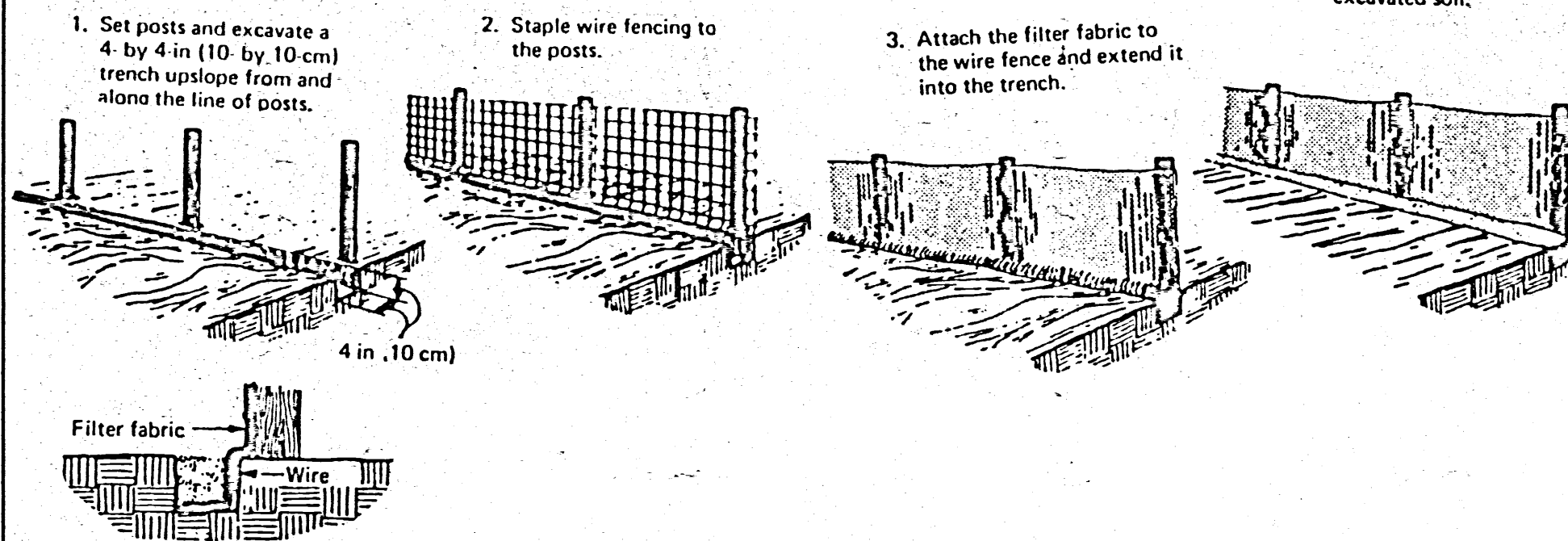
APPROVALS	NAME	DATE
HYDROLOGY		
INSPECTOR		
A.C.E./FIELD		

SPOT ELEVATION NOTE:

ALL PROPOSED SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATIONS, UNLESS OTHERWISE NOTED WITH "TW," "BW," "TC," "FF," "TG," "RIM" OR "INV."

SPOT ELEVATION KEY:

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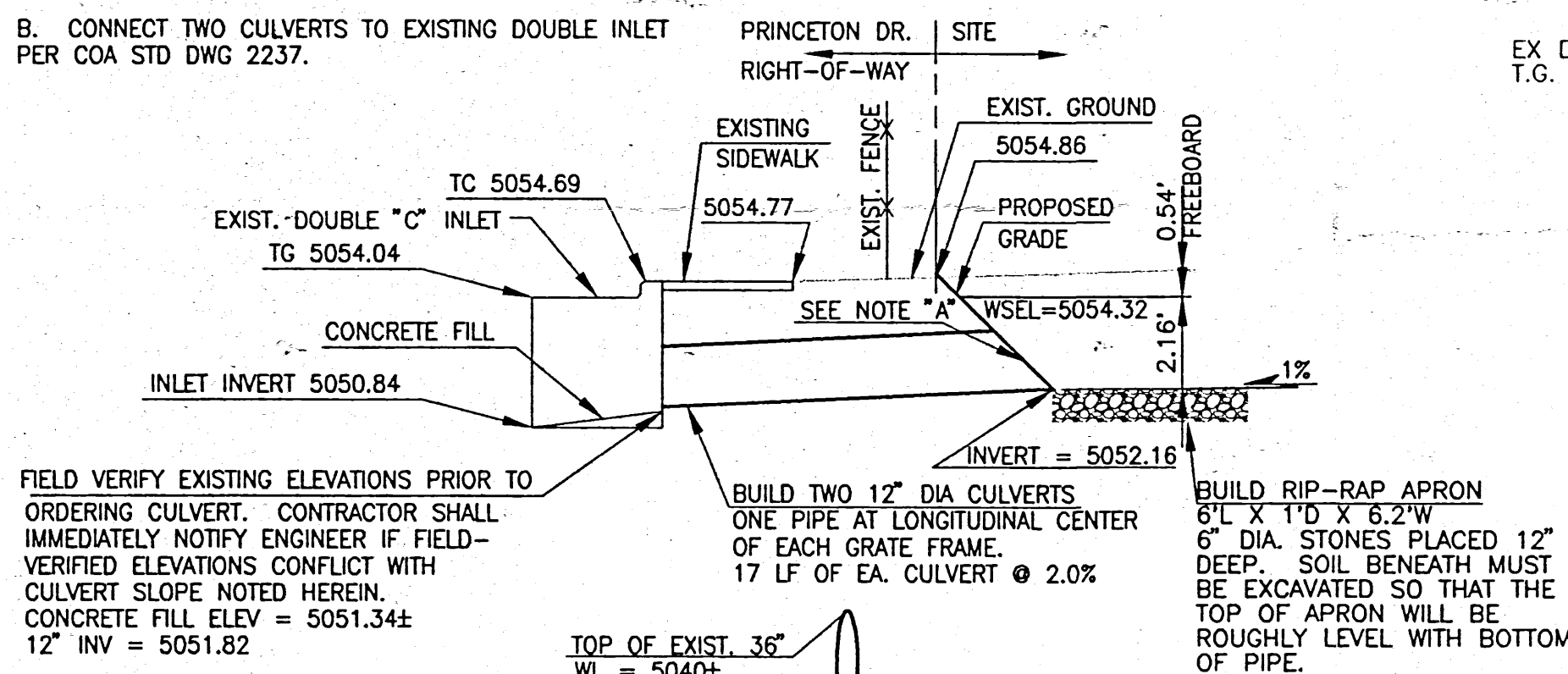


SILT FENCE SEDIMENT BARRIER DETAIL

N.T.S.

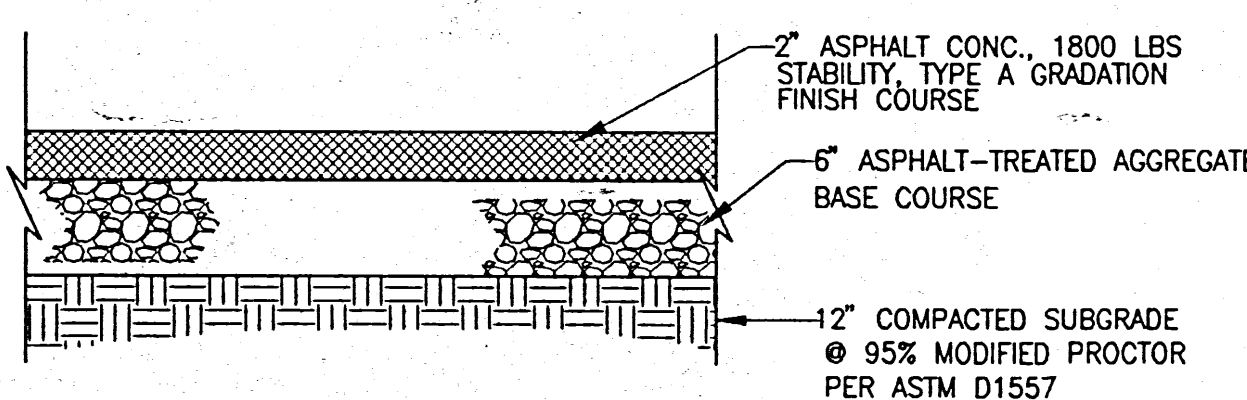
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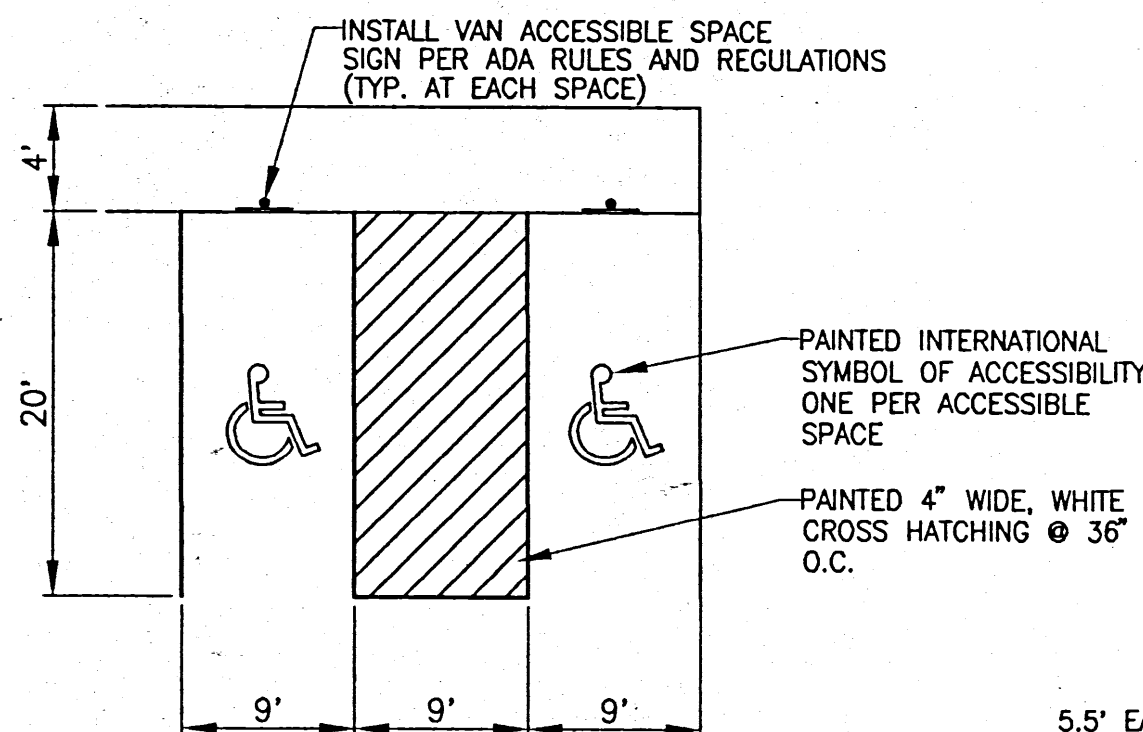
CULVERT DETAIL

HORIZ. SCALE: 1" = 5'
VERT. SCALE: NTS



FLEXIBLE PAVEMENT SECTION

NTS



ACCESSIBLE PARKING SPACE DETAIL

SCALE: 1" = 10'

SECTION A-A

NTS

SECTION B-B

NTS

LEGEND

NEW
TW=69.02
65
70.74 TC
70.09 FL
65
ELEVATION
CONTOUR
UTILITY
CURB
FLOW ARROW
5.5' WIDE DRAINAGE SWALE
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DRAINAGE CERTIFICATION

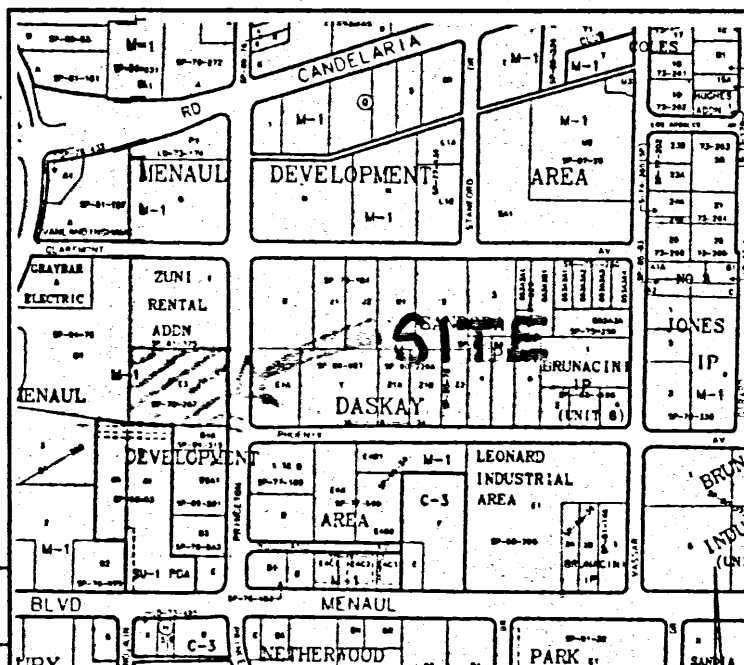
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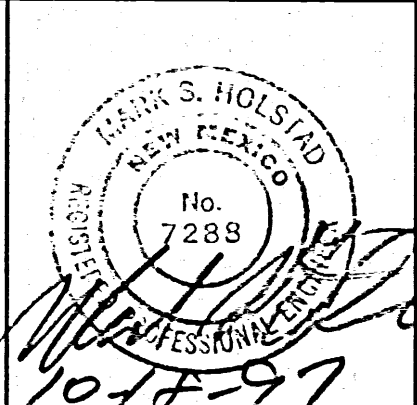
BENCHMARKS

ACS bench mark 13-H16, an aluminum cap in top of curb, located in NE quadrant of Princeton Dr. N.E., and Menaul Blvd. Elevation 5055.50



LOCATION MAP

H-16-Z



URS Greiner
5971 JEFFERSON BLVD. NE
SUITE 101
ALBUQUERQUE, NM 87109
(505) 345-3999

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GRADING,
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SHEET
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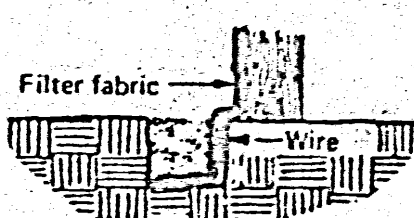
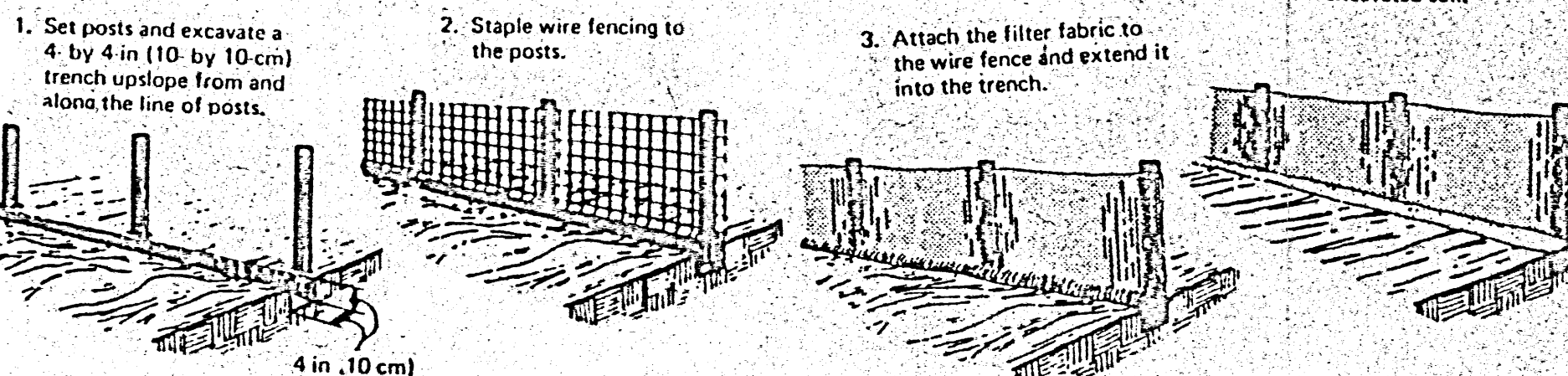
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Project: # E3019500

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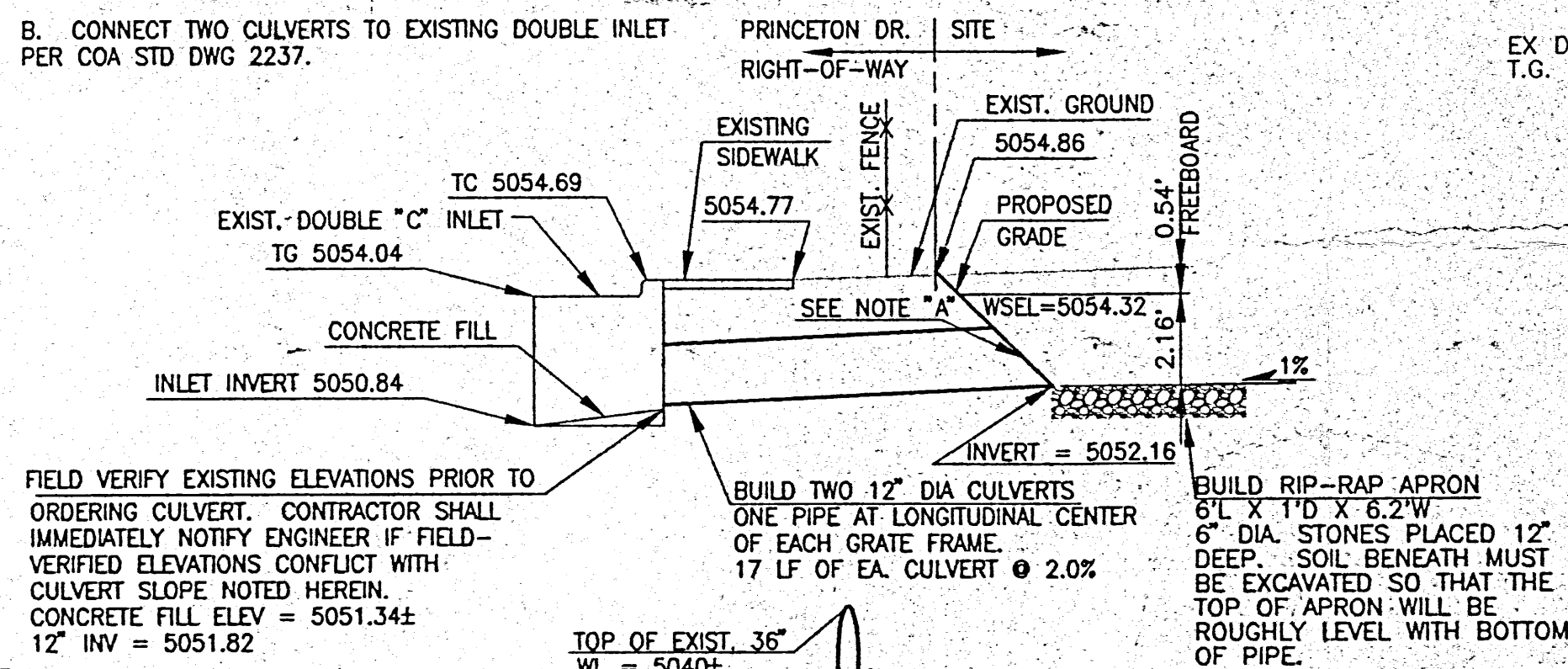


SILT FENCE SEDIMENT BARRIER DETAIL

N.T.S.

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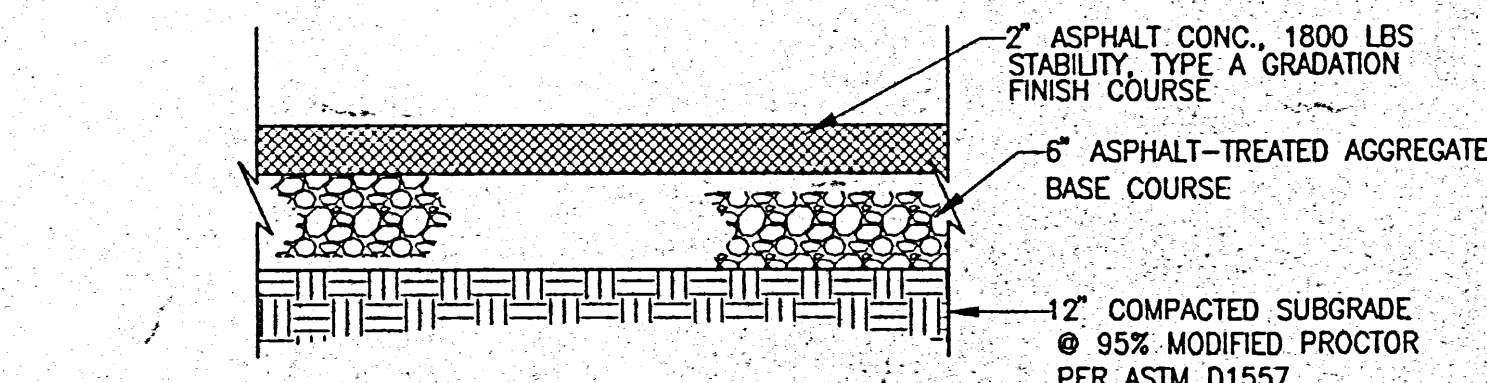
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FIELD VERIFY EXISTING ELEVATIONS PRIOR TO ORDERING CULVERT. CONTRACTOR SHALL IMMEDIATELY NOTIFY ENGINEER IF FIELD-VERIFIED ELEVATIONS CONFLICT WITH CULVERT SLOPE NOTED HEREIN. CONCRETE FILL ELEV = 5051.34; 12" INV = 5051.82

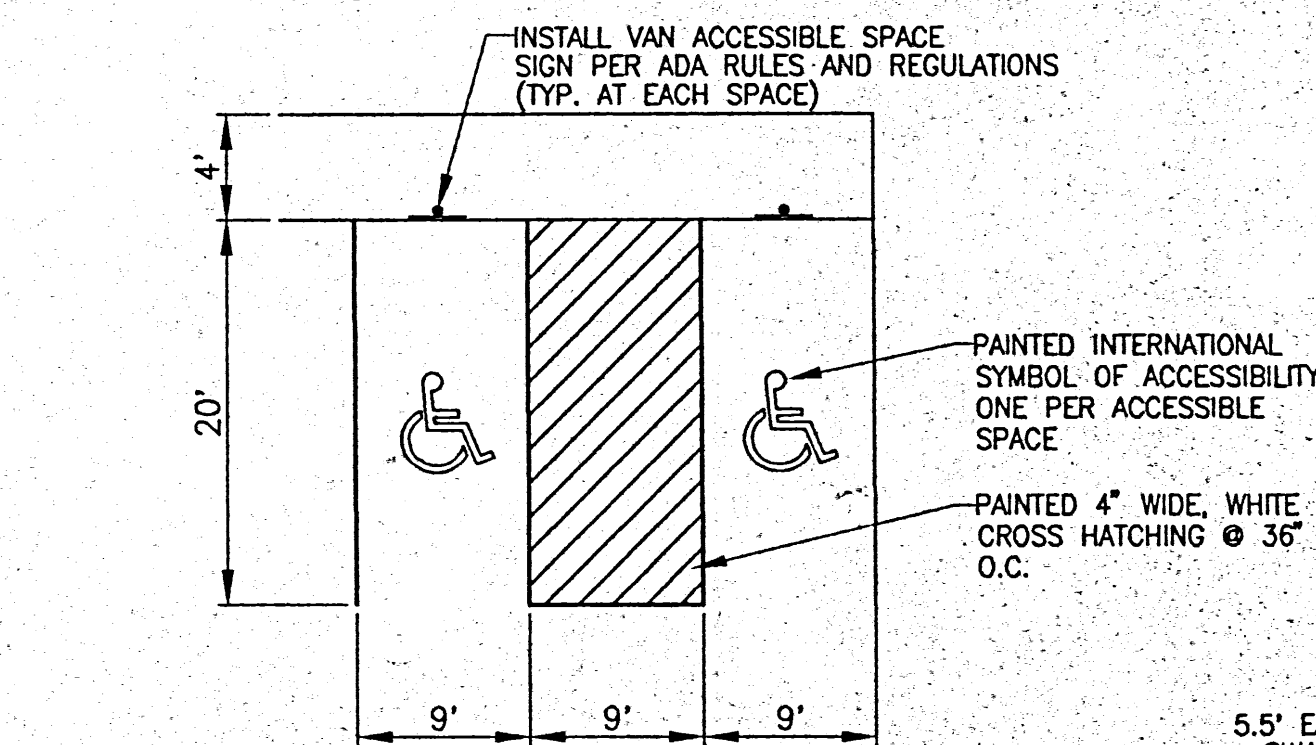
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FLEXIBLE PAVEMENT SECTION

N.T.S.



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N.T.S.

SECTION B-B

N.T.S.

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- THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY.
- A DISPOSAL SITE FOR ALL EXCESS EXCAVATION MATERIAL AND UNSUITABLE MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE CONSTRUCTION OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL SITE AND HAUL THERE TO SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
- EARTH SLOPES SHALL NOT EXCEED 3:1 HORIZONTAL TO 1 VERTICAL, UNLESS SHOWN OTHERWISE.
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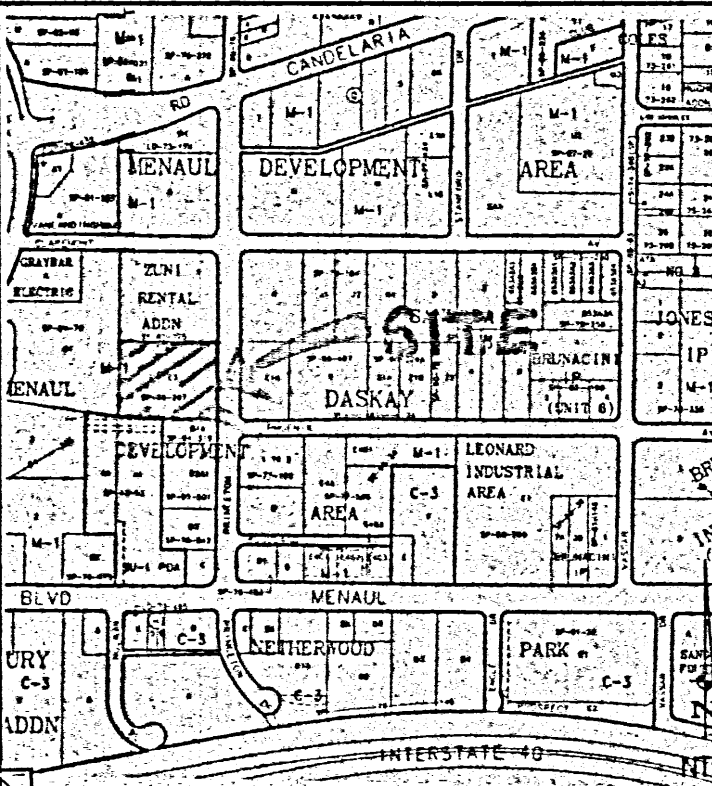
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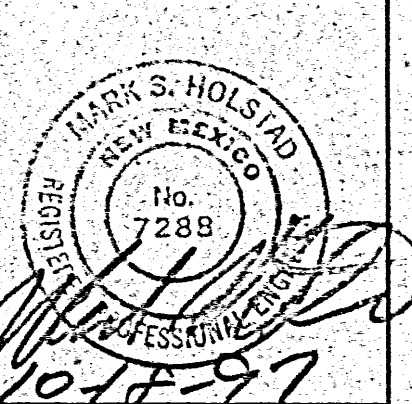
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11/24/97 REVISED CONTOURS NEAR BUILDING

APPROVALS	NAME	DATE
HYDROLOGY		
INSPECTOR		
A.C.E./FIELD		

RECEIVED
NOV-25-1997
HYDROLOGY SECTION



URS Grotzer
5971 JEFFERSON BLVD. NE
SUITE 101
ALBUQUERQUE, NM 87109
(505) 345-3999

A NEW FACILITY FOR
PREFERRED PUMP CO.
PRINCETON N.E.
ALBUQUERQUE, NEW MEXICO

SADLER SOUTHWEST LTD.
Real Estate, Development, Construction
Albuquerque, NM (505) 856-7939

GRADING, DRAINAGE & PAVING PLAN

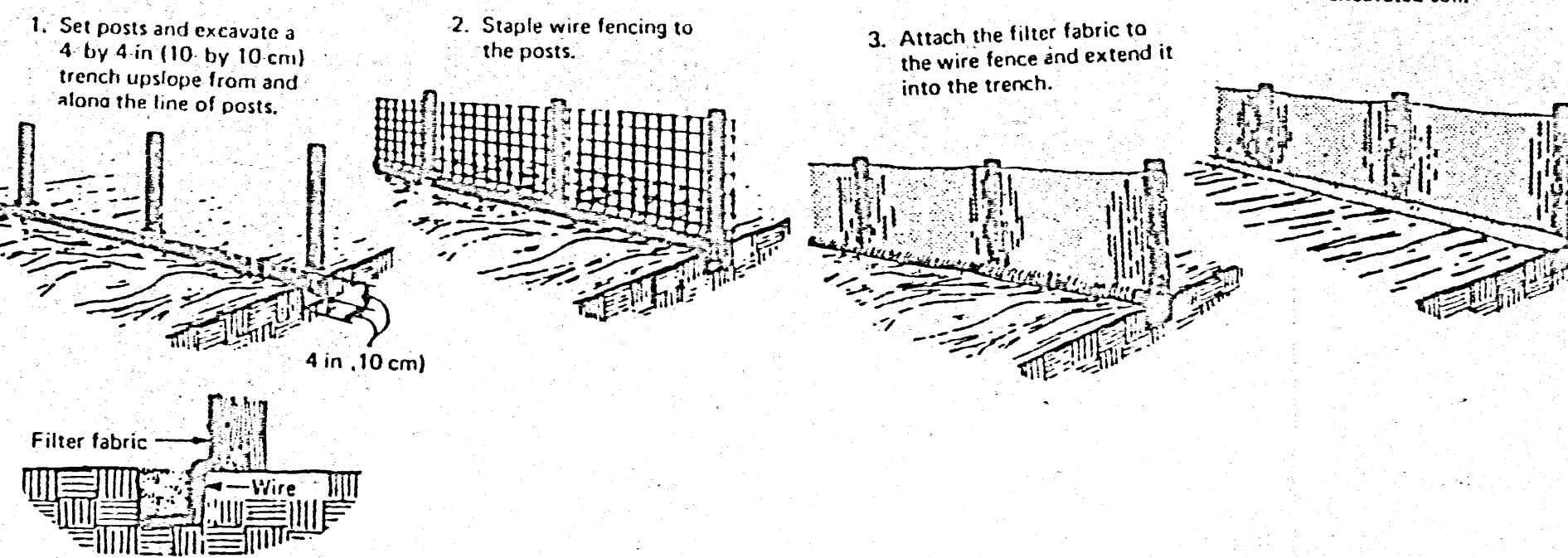
SHEET
C1

SPOT ELEVATION NOTE:

ALL PROPOSED SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATIONS, UNLESS OTHERWISE NOTED WITH "TW," "BW," "TC," "FF," "TG," "RM" OR "INV."

SPOT ELEVATION KEY:

FL FLOWLINE ELEVATION
TC TOP OF CURB ELEVATION
BW GROUND ELEVATION AT BOTTOM OF WALL
TW GROUND ELEVATION AT TOP OF WALL
FF FINISH FLOOR ELEVATION
INV INVERT ELEVATION OF PIPE, INLET OR MANHOLE
RM MANHOLE RIM ELEVATION
TG TOP OF GRATE ELEVATION
PI POINT OF INTERSECTING FLOWLINES

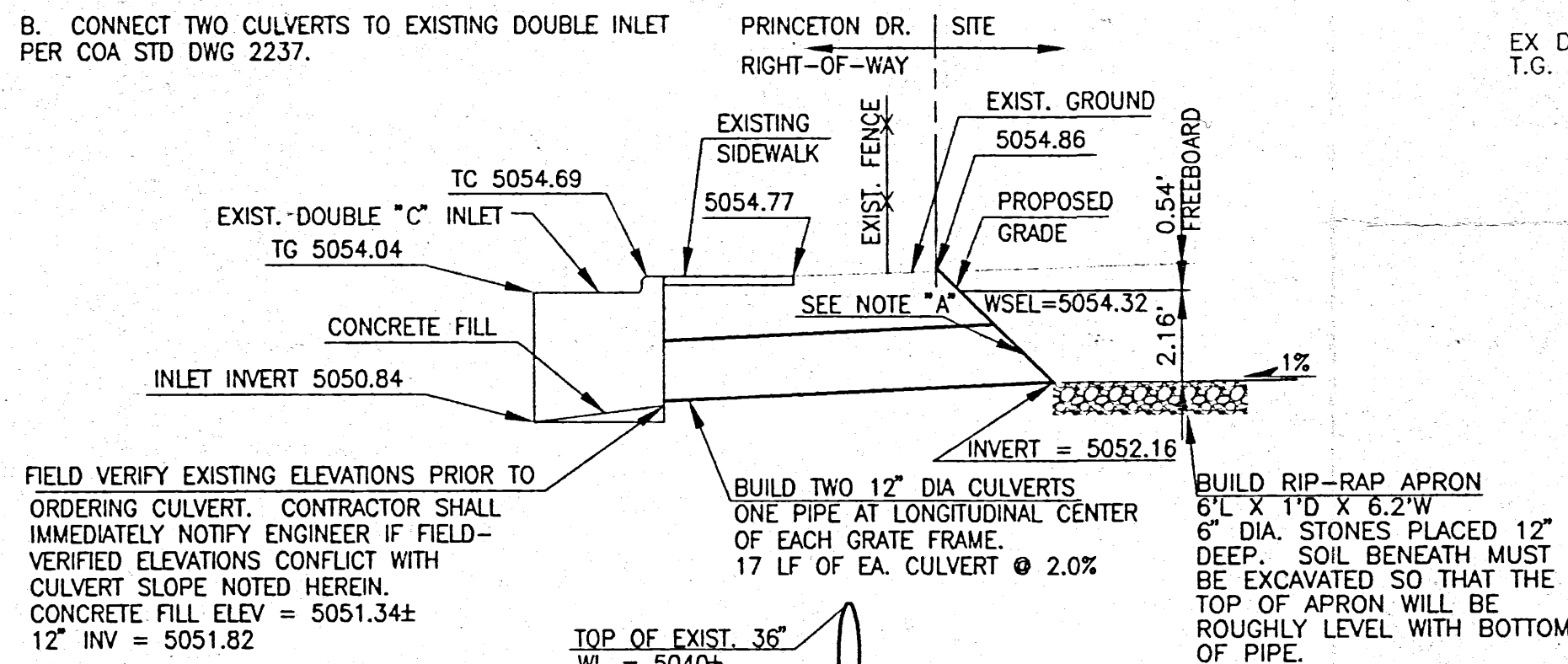


SILT FENCE SEDIMENT BARRIER DETAIL

N.T.S.

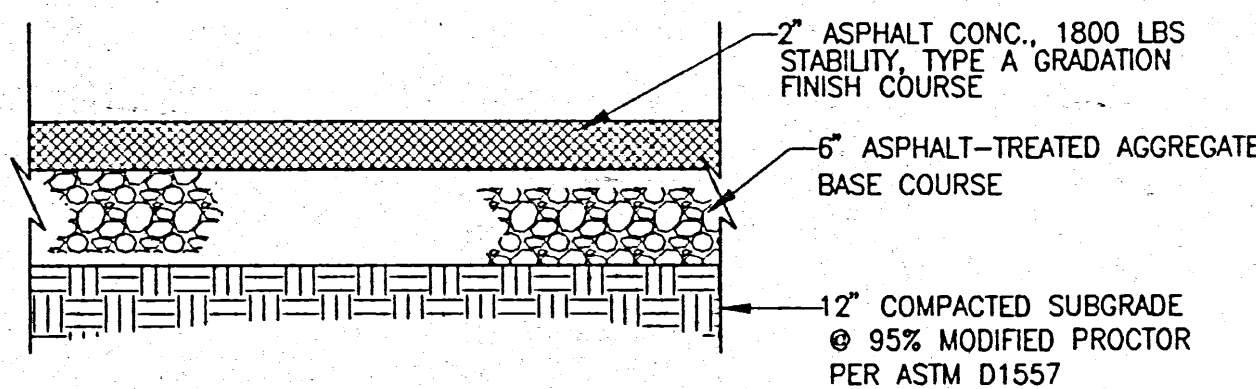
CULVERT CONNECTION CONSTRUCTION NOTES:

- BUILD CONCRETE BLANKET WITH SAFETY GRATES PER NMSHTD SERIAL DRAWING #BBG-001 (NORMAL INSTALLATIONS).
- CONNECT TWO CULVERTS TO EXISTING DOUBLE INLET PER COA STD DWG 2237.



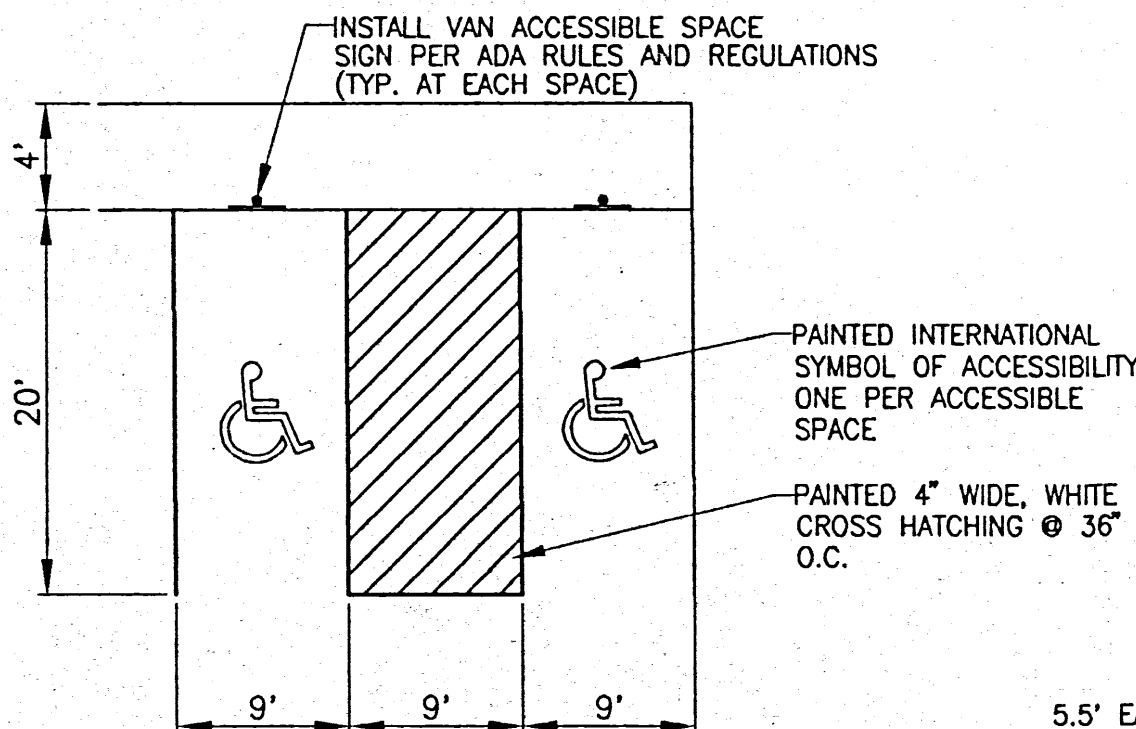
CULVERT DETAIL

HORIZ. SCALE: 1" = 5'
VERT. SCALE: NTS



FLEXIBLE PAVEMENT SECTION

NTS



ACCESSIBLE PARKING SPACE DETAIL

SCALE: 1" = 10'

SECTION A-A

NTS

SECTION B-B

NTS

LEGEND

NEW	EXISTING	ELEVATION
TW=69.02	70.74 TC	CONTOUR
65	70.09 FL	UTILITY
	65	CURB
		FLOW ARROW
		5.5' WIDE DRAINAGE SWALE
		FENCE
		CULVERT
		DRAINAGE BASIN BOUNDARY
		PROPERTY BOUNDARY
		(ALSO ACTS AS DRAINAGE BASIN BOUNDARY)

GENERAL NOTES

- THE CONTRACTOR SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS.
- ALL ELECTRICAL, TELEPHONE, CABLE TV, GAS AND OTHER UTILITY LINES, CABLES, AND APPURTENANCES ENCOUNTERED DURING CONSTRUCTION THAT REQUIRE RELOCATION, SHALL BE COORDINATED WITH THAT UTILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL NECESSARY UTILITY ADJUSTMENTS. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR DELAYS OR INCONVENIENCES CAUSED BY UTILITY COMPANY WORK CREWS. THE CONTRACTOR MAY BE REQUIRED TO RESCHEDULE HIS ACTIVITIES TO ALLOW UTILITY CREWS TO PERFORM THEIR REQUIRED WORK.
- THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING THE EXISTING UTILITY LINES WITHIN THE CONSTRUCTION AREA. ANY DAMAGE TO EXISTING FACILITIES CAUSED BY CONSTRUCTION ACTIVITY SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE AND APPROVED BY THE CONSTRUCTION OBSERVER.
- ANY DAMAGE TO ADJACENT PROPERTIES RESULTING FROM THE CONSTRUCTION PROCESS IS THE RESPONSIBILITY OF THE CONTRACTOR. ANY COSTS INCURRED FOR REPAIRS SHALL BE THE COST OF THE CONTRACTOR.
- THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL WITHIN THE PUBLIC RIGHT-OF-WAY OR ON ADJACENT PROPERTIES.
- THE CONTRACTOR SHALL OBTAIN ALL THE NECESSARY PERMITS FOR THE PROJECT PRIOR TO COMMENCING CONSTRUCTION (I.E., BARRICADING, TOP SOIL DISTURBANCE AND EXCAVATION PERMITS, ETC.).
- THE CONTRACTOR SHALL BE RESPONSIBLE TO REPLACE AT HIS EXPENSE ANY AND ALL PROPERTY CORNERS DESTROYED DURING CONSTRUCTION. ALL PROPERTY CORNERS MUST BE RESET BY A REGISTERED LAND SURVEYOR.
- THE CONTRACTOR SHALL PREPARE A CONSTRUCTION TRAFFIC CONTROL AND SIGNING PLAN AND OBTAIN APPROVAL OF SUCH PLAN FROM THE CITY OF ALBUQUERQUE, TRAFFIC ENGINEERING DEPARTMENT, PRIOR TO BEGINNING ANY CONSTRUCTION WORK ON OR ADJACENT TO EXISTING STREETS.
- ALL BARRICADES AND CONSTRUCTION SIGNING SHALL CONFORM TO APPLICABLE SECTIONS OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), U.S. DEPARTMENT OF TRANSPORTATION, LATEST EDITION.
- THE CONTRACTOR SHALL MAINTAIN ALL CONSTRUCTION BARRICADES AND SIGNING AT ALL TIMES. THE CONTRACTOR SHALL VERIFY THE PROPER LOCATION OF ALL BARRICADING AT THE END AND BEGINNING OF EACH DAY.

KEYED NOTES

- BUILD 25' WIDE DRIVEPAD PER COA STD DWG 2425.
- BUILD 40' WIDE DRIVEPAD PER COA STD DWG 2425.
- & 4 DELETED.
- BUILD EXTRUDED CURB PER COA STD. DWG. 2415, "PINNED CURB TYPE III MEDIAN PCC PAVEMENT." IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS, CURB SHALL EITHER BE BONDED OR PINNED TO ASPHALT, TO ASSURE A STRONG MOISTURE PROOF BOND. (FOR EXAMPLE, BOND WITH EPOXY RESIN OR PIN WITH #3 PIN AT 3' O.C. W/ STD. HOOK.)
- BUILD FLEXIBLE PAVEMENT PER SECTION DETAIL THIS SHEET.
- BUILD 4' WIDE 4" PCC SIDEWALK, PER COA STD DWG 2430 AT GRADE WITH ADJACENT ASPHALT PAVEMENT.
- BUILD PCC WHEEL STOPS.
- GRADE AREA TO PROPOSED SPOT ELEVATIONS, CONTOURS AND SLOPES SHOWN. DO NOT PAVE.
- APPROXIMATE LOCATION OF PROPOSED ROOF DRAINS. SEE ARCHITECTURAL PLANS FOR EXACT LOCATION.
- FUTURE EDGE OF PAVEMENT OR CURB.
- INSTALL 18" H X 125" L SILT FENCE SEDIMENT BARRIER PER DETAIL THIS SHEET. EQUIVALENT OPENING SIZE SHALL BE 0.0083" (NO LARGER THAN 0.0083" AND NO SMALLER THAN 0.0059")

PAVING NOTES

- WHEN ABUTTING NEW CURB AND GUTTER TO EXISTING PAVEMENT, A 1" WIDE SECTION OF EXISTING PAVEMENT ADJACENT TO THE CURB AND GUTTER SHALL BE SAW CUT, REMOVED, AND REPLACED PER THE STANDARD SPECIFICATIONS. ALL SAW CUT PAVEMENT SHALL HAVE A UNIFORM EDGE AND BE SPRAYED WITH TACK.
- PAVING AND ROADWAY GRADES SHALL BE ±0.05 FOOT FROM PLAN ELEVATIONS SHOWN.

NOTICE TO CONTRACTOR

- AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, LATEST EDITION.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- BACKFILL COMPACTION SHALL BE ACCORDING TO PRINCETON DRIVE STREET USE.
- MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.

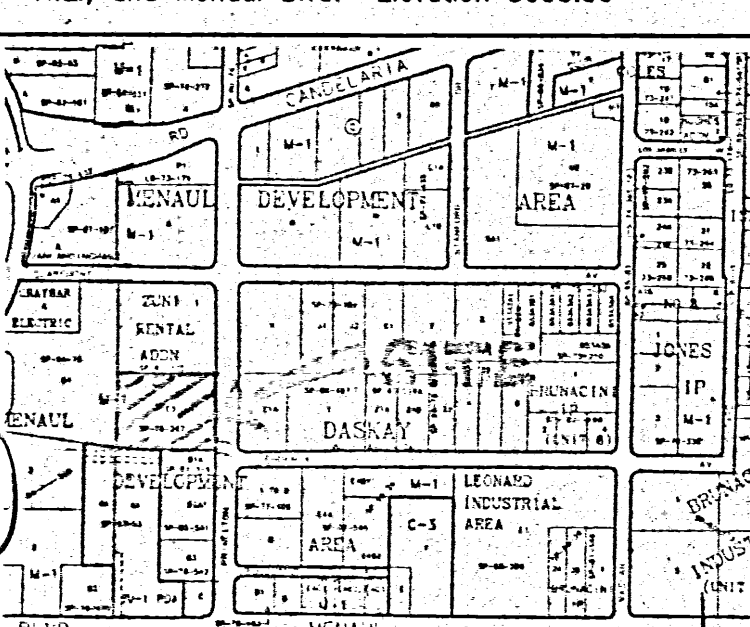
MARK S. HOLSTAD DATE

LEGAL DESCRIPTION

Lot E-3 of the Menaul Development Area, as shown and designated on the "REPLAT OF PORTION OF TRACT E, MENAUL DEVELOPMENT AREA TO THE CITY OF ALBUQUERQUE, NEW MEXICO," filed in the office of the County Clerk of Bernalillo County, New Mexico, on July 7, 1976, Volume B11, Folio 136.

BENCHMARKS

ACS bench mark 13-H16, an aluminum cap in top of curb, located in NE quadrant of Princeton Dr. N.E., and Menaul Blvd. Elevation 5055.50



LOCATION MAP

H-16-Z

APPROVALS	NAME	DATE
HYDROLOGY	Benny M... 1/13/97	
INSPECTOR		
A.C.E./FIELD		

US Greiner
5971 JEFFERSON BLVD. NE
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