

RECEIVED
OCT 3 0 2001
HYDROLOGY SECTION

ELECTRIC and GAS SERVICES:
PH 241-8395
4201 EDITH NE
ALBUQUERQUE, NM 87107
ARVAND ALLESANDRORE
TELEPHONE
QUEST COMMUNICATIONS:
PO BOX 100
STATION 100
ALBUQUERQUE, NM 87108-1000
JUDY LENDER
CABLE TV
COMCAST CABLE
4875 ALEXANDER NE
SUITE A
ALBUQUERQUE, NM 87107
PETER BRITAIN
CITY OF ALBUQUERQUE
WATER AND SEWER DESIGN REVIEW
PLAZA DEL SOL
600 2ND ST. NW
ALBUQUERQUE, NM 87102
ROGER GREEN
CITY OF ALBUQUERQUE
PERMIT DESK
600 2ND ST. NW
ALBUQUERQUE, NM 87102
DAVID STEELE, BUILDING OFFICIAL

A CONTACT LIST

Scale
TRUCKING ON OR ABOUT THE SITE WILL BE PERMITTED ONLY WITHIN REASONABLE LIMITS AND THE CONTRACTOR SHALL NOT UNREASONABLY ENCUMBER THE PREMISES WITH HIS EQUIPMENT AND MATERIALS. THE STORAGE SHALL BE CONFINED TO SUCH LIMITS AS MAY BE JOINTLY AGREED BY OWNER AND CONTRACTOR.

THE CONTRACTOR SHALL FURTHER ENFORCE THE ARCHITECT'S INSTRUCTIONS OF SUCH NATURE INCLUDING PARKING USE OF ROADS AND FIRE PREVENTION, WHICH THE OWNER MAY DEEM NECESSARY OR DESIRABLE ON THE OWNERS PROPERTY.

UTILITIES SHOWN ARE TAKEN FROM SURVEY AND PART FROM RECORDS OF RESPECTIVE UTILITY COMPANIES AND DO NOT NECESSARILY REPRESENT ALL UNDERGROUND UTILITIES ADJACENT TO OR UPON PREMISES SHOWN ON PLAN.

ALL FILL ON THE PROPERTY SHALL BE ADEQUATELY COMPACTED BY ROLLING TO PRODUCE A SURFACE SATISFACTORY FOR THE PROPER INSTALLATION OF BASE COURSE AND PAVING BEFORE COMMENCING PAVING WORK. THE PAVING CONTRACTOR MUST MAKE CERTAIN THAT THE SURFACES TO BE COVERED ARE IN PROPER CONDITION. SURFACE NOT ACCEPTABLE SHALL BE REPORTED TO THE OWNER IMMEDIATELY. THE APPLICATION OF PAVING MATERIALS SHALL BE IN ACCORDANCE TO THE SURFACES AND WORKING CONDITIONS OF THE PAVING CONTRACTOR WHO WILL BE HELD RESPONSIBLE FOR THE RESULTS.

THE PLUMBING CONTRACTOR SHALL VERIFY SEWER DEPTH AND BE RESPONSIBLE FOR PROVIDING ADEQUATE SLOPE OF BUILDING SEWER TOWARD THE CITY SEWER IN STRICT ACCORDANCE WITH THE GOVERNING AUTHORITIES PRIOR TO BUILDING CONSTRUCTION. WHERE IT IS NECESSARY TO CUT CITY CURBS, THEY SHALL BE RESTORED AND/OR RECONSTRUCTED IN STRICT ACCORDANCE WITH THE REQUIREMENTS OF THE GOVERNING CITY AUTHORITIES. RECONSTRUCT CITY CURBS AFTER DEMOLITION OF EXISTING APPROACHES.

ALL EXISTING UTILITIES SERVING THE PROPERTY SHALL BE PROPERLY TERMINATED IN COMPLIANCE WITH CITY AND OR COUNTY REGULATIONS.

REMOVE ALL TREES, INCLUDING ROOT STRUCTURES, EXCEPT THOSE SPECIFICALLY NOTED TO REMAIN AND THOSE ON PROPERTY LINES. DO NOT CLEAR SITE PRIOR TO COORDINATING WITH THE OWNER AND THE LANDSCAPE PLAN TO LOCATE ALL TREES TO REMAIN.

ALL EXTERIOR ILLUMINATED SIGNS ARE PROVIDED AND INSTALLED UNDER A SEPARATE CONTRACT. ELECTRICAL CONTRACTOR SHALL PROVIDE CONDUIT AND WIRE TO SIGN. FINAL CONNECTIONS TO BE MADE BY ELECTRICAL CONTRACTOR.

REMOVE EXISTING TOP SOIL FROM AREAS TO BE PAVED AND REPLACE WITH A SUITABLE COMPACTED FILL. STOCKPILE FOR FUTURE USE IF MATERIAL IS DEEMED USABLE FOR LANDSCAPE BERRMS OR TOPSOIL.

GENERAL CONTRACTOR SHALL PROVIDE GROUND POISONING FOR TERMITES AND OTHER INSECTS PRIOR TO FINAL CONCRETE FLOOR INSTALLATION. GENERAL CONTRACTOR SHALL SUBMIT TO OWNER WRITTEN GUARANTEE FROM REPUTABLE LOCAL EXTERMINATING CO.

DEMOLISH AND REMOVE ALL EXISTING STRUCTURES, TREES, FENCES, SLABS, DRIVEWAYS, AND SIDEWALKS. VISIT SITE TO DETERMINE EXTENT OF DEMOLITION WORK WHICH MAY OR MAY NOT BE SHOWN ON PLANS.

VERIFY EXACT LOCATION OF UNDERGROUND UTILITIES PRIOR TO BEGINNING CONSTRUCTION. REPORT ANY DISCREPANCIES TO OWNER AND CIVIL ENGINEER.

BACKFILL ALL TRENCHES UNDER SLABS, WALKS, AND PAVED AREAS WITH BANK RUN GRAVEL. ALL EXCAVATING AND BACKFILLING IS BY INDIVIDUAL CONTRACTS.

GENERAL CONTRACTOR IS TO REPAIR ALL DISTURBED AREAS OUTSIDE PROPERTY.

INSTALL 8" PULVERIZED TOPSOIL IN ALL LANDSCAPING AREAS (2" BELOW WALK ELEVATION CLOSE TO BUILDING AND 2" TOPSOIL IN AREAS INDICATED AS SOD. ALL MOUND AREAS TO RECEIVE 8" OF TOPSOIL.

FOLLOW WRITTEN DIMENSIONS ALWAYS. DO NOT SCALE. ALL SITE WORK AND PAVING MUST BE IN ACCORDANCE WITH OR SURPASS RECOMMENDATIONS OF SOILS REPORT. CONFLICTS WITH GRADINGS AND SPECIFICATIONS, THE MORE PROMINENT OF THE TWO SHALL TAKE PRECEDENCE AND BE CONSIDERED TO BE THE INTENT OF THE BID DOCUMENTS. IN ALL CASES, STRICTLY ADHERE TO DRAWINGS AND SPECIFICATIONS UNLESS SOILS REPORT RECOMMENDATION EXCEEDS THE DRAWINGS AND SPECIFICATIONS.

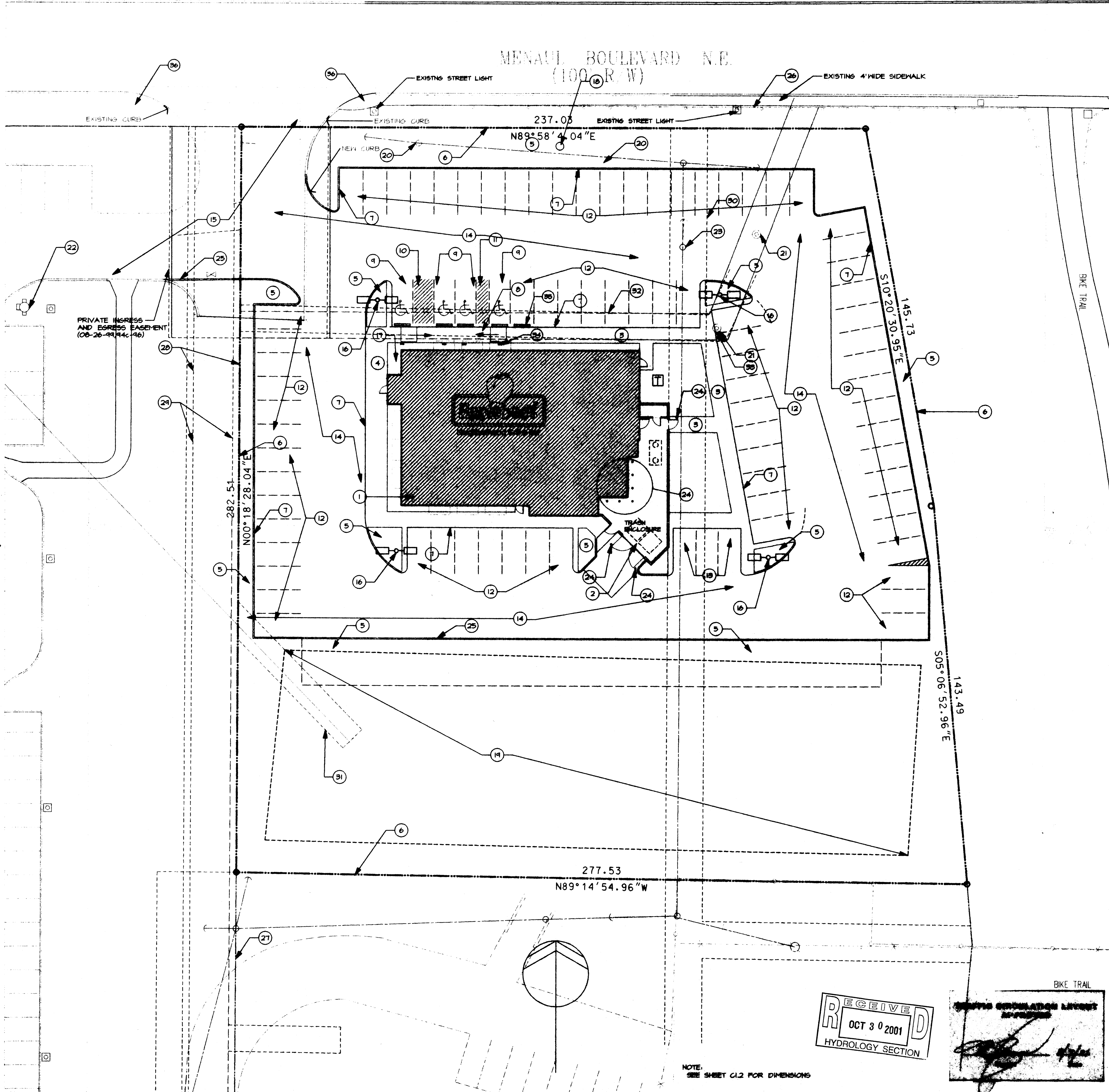
CONTRACTOR IS TO ADJUST ANY UTILITY ELEMENT MEANT TO BE FLUSH WITH GRADE (CLEAN OUT MANHOLES, CATCH BASINS, INLETS, ETC.) THAT IS AFFECTED BY SITE WORK OR GRADE CHANGES WHETHER SPECIFICALLY NOTED ON PLANS OR NOT.

PLOT PLAN DATA HAS BEEN FURNISHED TO THE ARCHITECT BY THE OWNER. THE SURVEY WAS PREPARED BY SOUTHWEST SURVEYING CO. AND ALDRICH LAND SURVEYING.

THE SOILS REPORT WAS PREPARED BY VINEYARD & ASSOCIATES.

B SITE PLAN

Scale

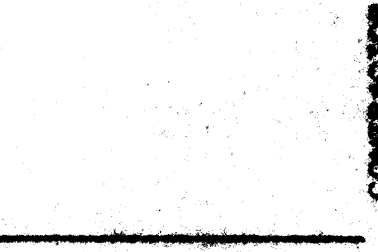
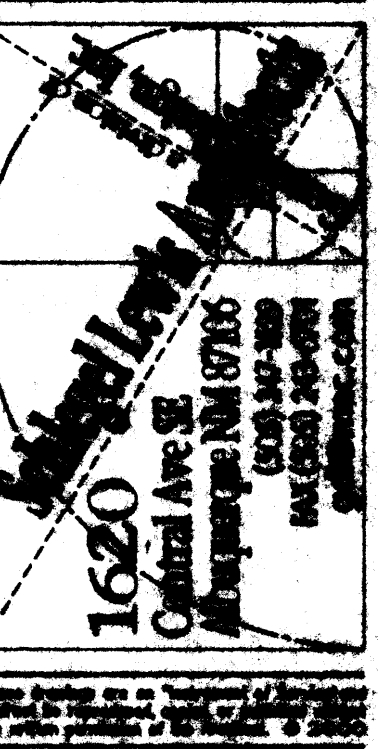
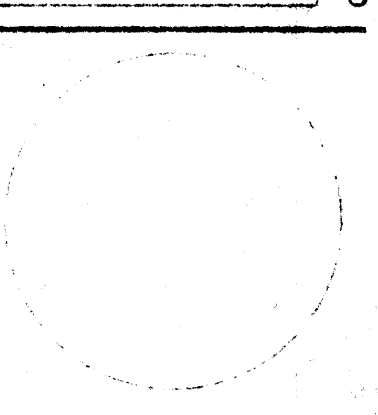
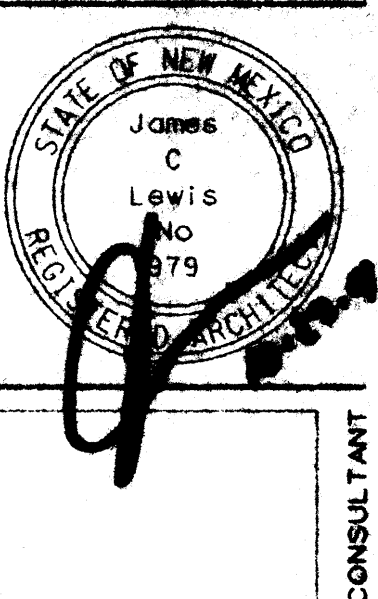


LEGAL
2600 MENAUL BLVD. NE
BERNALILLO COUNTY, NEW MEXICO
TRACT A-2
SANDIA FOUNDATION-AMF.C.A. SUBDIVISION
SECTION 10
TOWNSHIP 10 NORTH, RANGE 3 EAST, N.M.P.M.
CITY OF ALBUQUERQUE
ZONING
ZONED C-3
PROPOSED USE: RESTAURANT
PARKING
REQUIRED KITCHEN = 1400 SF • 1:200 = 1
BATHROOMS = 440 SF • 1:100 = 4
DINING = 2625 SF • 1:15 = 175
WAITING = 140 SF • 1:17 = 21
TOTAL PERSONS = 207
TOTAL REQUIRED = 1 SPACE, 3 PERSONS = 64 SPACES
PROVIDED = 76 STANDARD SPACES + 3
HANDICAPPED SPACES + 1 VAN SPACE
BICYCLE SPACES = 1 SPACE, 20 CAR SPACES
80 SPACES, 20 = 4.2 REQUIRED BICYCLE SPACES
PROVIDED = 5 SPACES

AREAS
LOT = 14,081 SF
BUILDING = 5,365 SF
BUILDING TYPE = VN SPRINKLED
© DETAIL NOT USED

1. PROPOSED RESTAURANT
2. PROPOSED TRASH ENCLOSURE 14' 0" THICK CONC. APRON 18' 0" SEE DETAIL I SHEET C31
3. PROPOSED 6" WIDE CONCRETE SIDEWALK SEE DETAIL F SHEET C31
4. PROPOSED 8" 4" WIDE CONCRETE SIDEWALK SEE DETAIL F SHEET C31
5. PROPOSED LANDSCAPE AREA
6. EXISTING PROPERTY LINE
7. PROPOSED CURB AND GUTTER SEE DETAILS G7 SHEET C31 (6" TALL)
8. PROPOSED HC RAMP SEE DETAIL C SHEET C31
9. PROPOSED 8' 0" 8' 0" PARKING SPACES (4" WHT. STRIPING)
10. PROPOSED 8' 0" 8' 0" ACCESS AISLE (4" WHT. STRIPING)
11. PROPOSED 8' 0" 8' 0" ACCESS AISLE (4" WHT. STRIPING)
12. PROPOSED 4' 0" 8' 0" PARKING SPACES (4" WHT. STRIPING)
13. PROPOSED 8' 0" 8' 0" PARKING SPACES (SMALL CAR SPACE) (4" WHT. STRIPING)
14. NEW ASPHALT PAVING SEE DETAIL E SHEET C31
15. EXISTING ASPHALT PAVING
16. PROPOSED SITE POLE LIGHTING SEE DETAIL B SHEET C41
17. PROPOSED BIKE RACK LOCATION SEE DETAIL N SHEET C31 FOR DETAIL
18. PROPOSED POLE SIGN
19. EXISTING DRAINAGE POND SEE GRADING PLAN
20. EXISTING UTILITY POLE
21. EXISTING MAN HOLE, REBUILD TO MATCH NEW FINISH GRADE, SEE DETAIL L SHEET C31
22. EXISTING FIRE HYDRANT
23. RELOCATE POLE AND EQUIPMENT PER PHM REQUIREMENTS
24. CONCRETE METAL BOLLARD SEE DETAIL J SHEET C31
25. 6" (TEMPORARY) FORMED ASPHALT CURB
26. EXISTING METAL GUARD RAIL
27. EXISTING 30" JOINT USE PRIVATE ACCESS AND UTILITY EASEMENT (08-25-14, 94C-18)
28. 20" SANITARY SEWER EASEMENT (08-25-14, 94C-18)
29. 15" WATER LINE EASEMENT (08-27-10, 010-18)
30. 14" PHM EASEMENT
31. 10" PRIVATE UNDERGROUND STORM SEWER EASEMENT
32. 10" PRIVATE UNDERGROUND SANITARY SEWER EASEMENT
33. CUT CURB AROUND MANHOLE AS NEEDED.
34. POLE MOUNTED N.C. SIGN SEE DETAIL C SHEET C31 TYP.
35. CONCRETE WHEEL STOP TYP.
36. EXISTING CURB RAMP.

KEYED NOTES

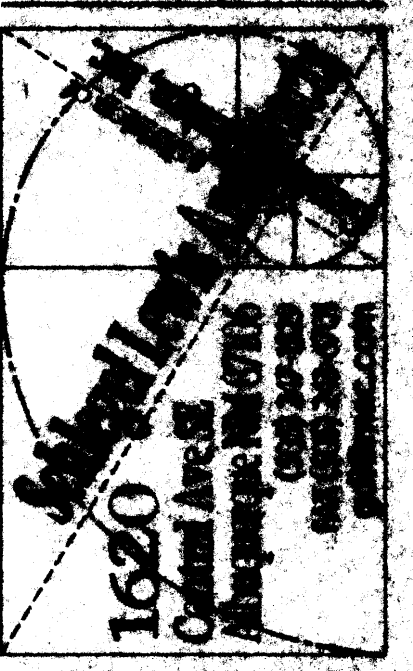
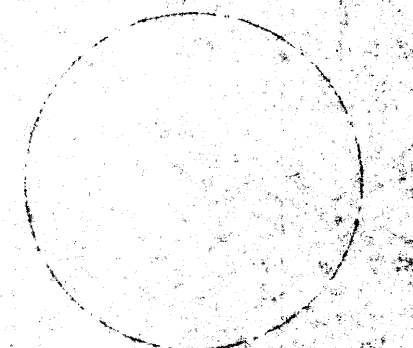
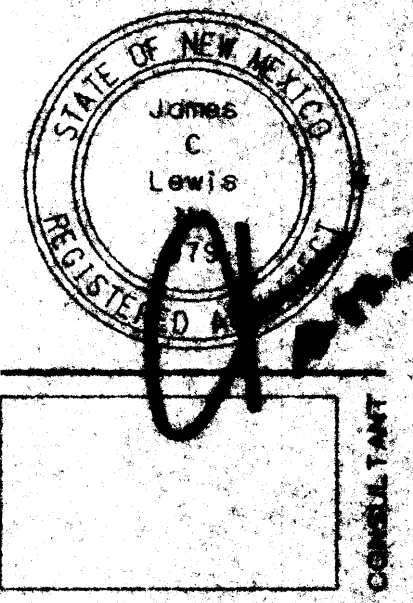


Applebee's
2600 MENAUL BLVD. NE
Albuquerque, New Mexico 87110

ISSUE DATE:
04 MAY 01
REVISIONS:

SITE PLAN
SHEET
C1.1

RECEIVED
OCT 30 2001
HYDROLOGY SECTION



CONTRACT NO. 10000

CONTRACT NO. 10000

Applebee's
2800 MENAUL BLVD. NE
ALBUQUERQUE, NEW MEXICO 87110

ISSUE DATE:
04 MAY 01
REVISIONS:

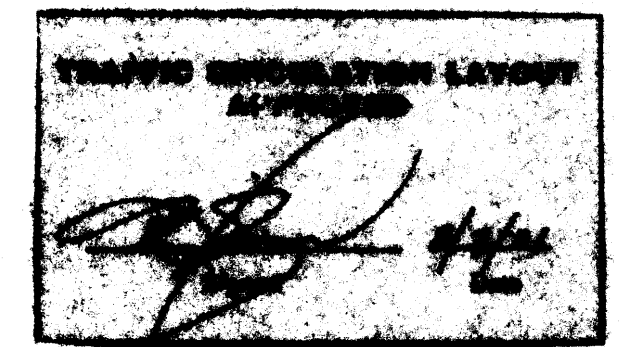
**HORIZONTAL
CONTROL PLAN**
PROJECT
17
C1.2

MAP KEY

AN AS-BUILT COPY OF THE APPROVED TRAFFIC CIRCULATION LAY-OUT MUST BE SUBMITTED BY THE DESIGNER-OF-RECORD, AS REQUIRED BY TRANSPORTATION DEVELOPMENT, INCLUDING A LETTER OF CERTIFICATION THAT THE SITE HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE T.C.L. RANDOM VERIFICATIONS OF THE SITE WILL BE MADE BEFORE A FINAL CERTIFICATE OF OCCUPANCY IS ISSUED. EXISTING STREET SIDEWALK AND C&G AFFECTING SAFE VEHICULAR OR PEDESTRIAN TRAVEL WILL BE REMOVED AND REPLACED.

INSPECTION OF CONSTRUCTION FOR C&G FOR TRANSPORTATION WILL BE DONE FROM THIS SHEET.

NOTES



NOTES

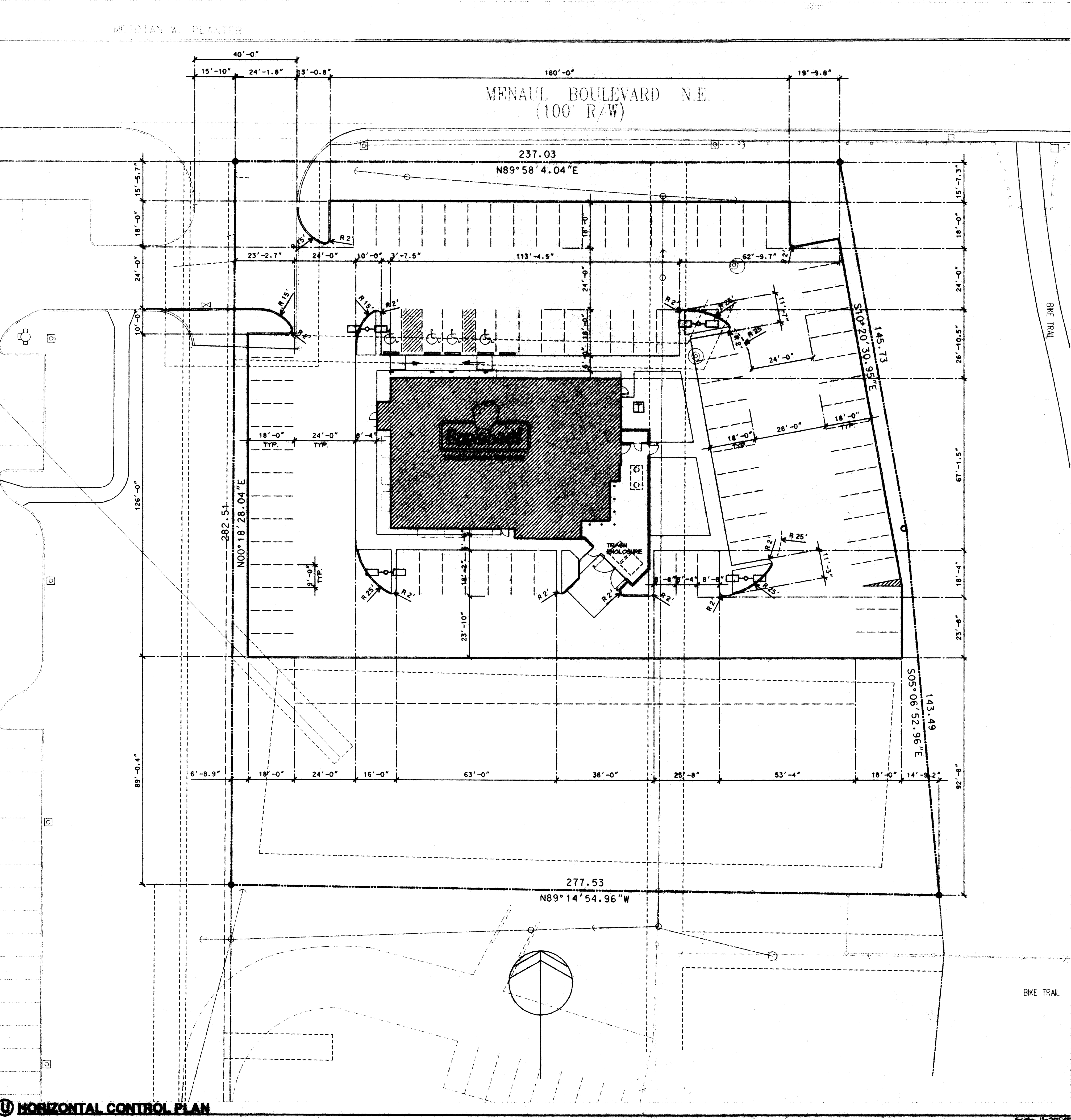
Ⓐ DETAIL NOT USED

Ⓑ DETAIL NOT USED

Ⓒ DETAIL NOT USED

Ⓓ DETAIL NOT USED

Ⓔ HORIZONTAL CONTROL PLAN



Scale: 1"=20'-0"

- ① 30' JOINT USE PRIVATE ACCESS AND UTILITY EASEMENT TO BENEFIT TRACTS A & B (03-23-94, 94C-96)
- ② 20' SANITARY SEWER LINE EASEMENT (03-23-94, 94C-96)
- ③ 15' WATER LINE EASEMENT (08-27-75, C10-151)
- ④ ADDITIONAL 2.5' PUBLIC WATER LINE EASEMENT (03-23-94, 94C-96)
- ⑤ 14' PNM EASEMENT (08-27-75, C10-151)
- ⑥ 10' PNM AND US WEST UNDERGROUND EASEMENT (11-21-95, BK. 95-28, PGS. 3846-3847)
- ⑦ DRAINAGE COVENANT (08-18-95, BK. 95-19, PGS. 8318-8322)
- ⑧ REALIGNED SLOPE EASEMENT AND PUBLIC UTILITY EASEMENT (03-23-94, 94C-96)
- ⑨ PNM AND US WEST EASEMENT (11-21-95, BK. 95-28, PGS. 3848-3849)
- ⑩ 30' PUBLIC UNDERGROUND SANITARY SEWER EASEMENT (08-26-99, 99C-247)
- ⑪ PRIVATE INGRESS AND EGRESS EASEMENT FOR TRACT A-1 AND A-2 (08-26-99, 99C-247)
- ⑫ 10' PRIVATE UNDERGROUND STORM SEWER EASEMENT BENEFIT OF TRACT A-1 (08-26-99, 99C-247)
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- ⑭ PRIVATE RETENTION POND EASEMENT (08-26-99, 99C-247)

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      *****
      ARHYMO SUMMARY TABLE (ARHYMO194) - AMAFCA Hydrologic Model - January, 1994
      INPUT FILE = APPLE.DAT

      COMMAND      HYDROGRAPH IDENTIFICATION      FROM ID NO.      TO ID NO.      AREA (SQ MI)      PEAK DISCHARGE (CFS)      R V (CFS)

      START
      RAINFALL TYPE= 1
      COMPUTE NM HYD      100.00      -      1      .00266      6.72
      COMPUTE NM HYD      200.00      -      2      .00086      .84
  
```

TRACT A-1
SANDIA FOUNDATION - A.M.A.F.C.A. SUBDIVISION
(08-26-99 99C-247)

APPROVAL	NAME	DATE
SUPERVISOR		

[Handwritten signature]

The map shows a section of Albuquerque, NM, with Menaul Blvd running horizontally. North Division Channel is located to the north of Menaul Blvd. I-40 is visible at the bottom of the map. A shaded area, labeled 'SITE', is located at the intersection of Menaul Blvd and North Division Channel. A north arrow is located in the upper right corner of the map.

RECEIVED
OCT 27 2004
HYDROLOGY SECTION

Designed: <i>DMG</i>	Drawn: <i>DER</i>	Checked: <i>DMG</i>	Sheet <i>I</i> of <i>I</i>
Scale: <i>1" = 30'</i>	Date: <i>09-30-04</i>	Job: <i>A04084</i>	

MENAU BOULEVARD AVENUE N.E. (100' R/W)

EASEMENTS

- 30' JOINT USE PRIVATE ACCESS AND UTILITY EASEMENT TO BENEFIT TRACTS A & B (03-23-94, 94C-96)
- 20' SANITARY SEWER LINE EASEMENT (03-23-94, 94C-96)
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- PRIVATE RETENTION POND EASEMENT (08-26-99, 99C-247)

KEYED NOTES

- 6" CURB & GUTTER PER ARCHITECTURAL DETAIL
- INLET - SEE ARCHITECTURAL DETAILS
- TYPE D INLET PER COA DETAIL # 2206
- 12 INCH RCP PIPE
- BOLLARDS PER ARCHITECTURAL DETAIL
- 1 FT WIDE CONC. CHANNEL PER DETAIL THIS SHEET
- 2 FT WIDE CONC. CHANNEL PER DETAIL THIS SHEET
- ADJUST RIM ACCORDINGLY

FUTURE KEYED NOTES

THIS WORK TO BE COMPLETED ONCE DRAINAGE EASEMENT IS ACQUIRED.

- 10.8 FT WIDE CURB OPENING
- 7.5 FT WIDE CONCRETE CHANNEL PER DETAIL THIS SHEET

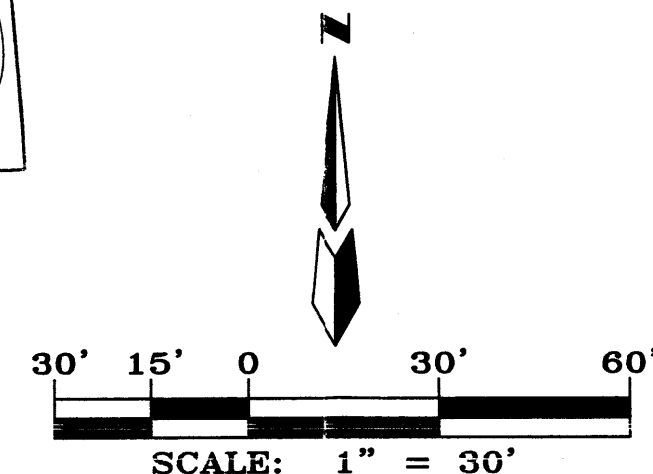
PROSPECT AVENUE
(50' R/W)

TRACT A-1
SANDIA FOUNDATION - A.M.A.F.C.A. SUBDIVISION
(08-26-99, 99C-247)

TRACT B
SANDIA FOUNDATION - A.M.A.F.C.A. SUBDIVISION
(03-23-94, 94C-96)

CONCRETE CHANNEL SECTION
N.T.S.

RECEIVED
JUL 09 2001
HYDROLOGY SECTION



VICINITY MAP ZONE MAP: H-16-Z

ACS BENCHMARK

STATION MARK IS A STANDARD NMHC/ASC BRASS CAP STAMPED "7-40-12". SET IN TOP OF A CONCRETE POST, FLUSH W/GROUND, ELEV. = 5114.626.

LEGAL DESCRIPTION

TRACT A-2, SANDIA FOUNDATION - A.M.A.F.C.A. SUBDIVISION, SITUATED WITHIN SECTION 10, TOWNSHIP 10 NORTH, RANGE 3 EAST, NMPM, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.

LEGEND

- 5095- CONTOUR (MAJOR)
- 5096- CONTOUR (MINOR)
- TC= TOP CURB
- FL= FLOWLINE
- X 0.00 SPOT ELEVATION
- CONCRETE CURB
- CONCRETE/SIDEWALK
- BOLLARD
- SIGN
- CHAIN LINK FENCE
- SANITARY SEWER MANHOLE
- LOT LIGHT/STREET LIGHT
- 02.88 TOP OF CURB
- 02.38 FLOWLINE
- NEW SPOT ELEVATION
- 00.64 NEW SPOT ELEVATION
- DRAINAGE AREA BOUNDARY

APPLEBEE'S - MENAU & VASSAR
GRADING & DRAINAGE PLAN

MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505)828-2200, FAX (505)797-9539

Designed: DMG Drawn: DER Checked: DMG Sheet 1 of 1
Scale: 1" = 30' Date: 04-12-01 Job: A00112

A0112APB/NEWSURVEY/A0112qd30/07-06-01/DER RDQ ACH

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(50' R/W)

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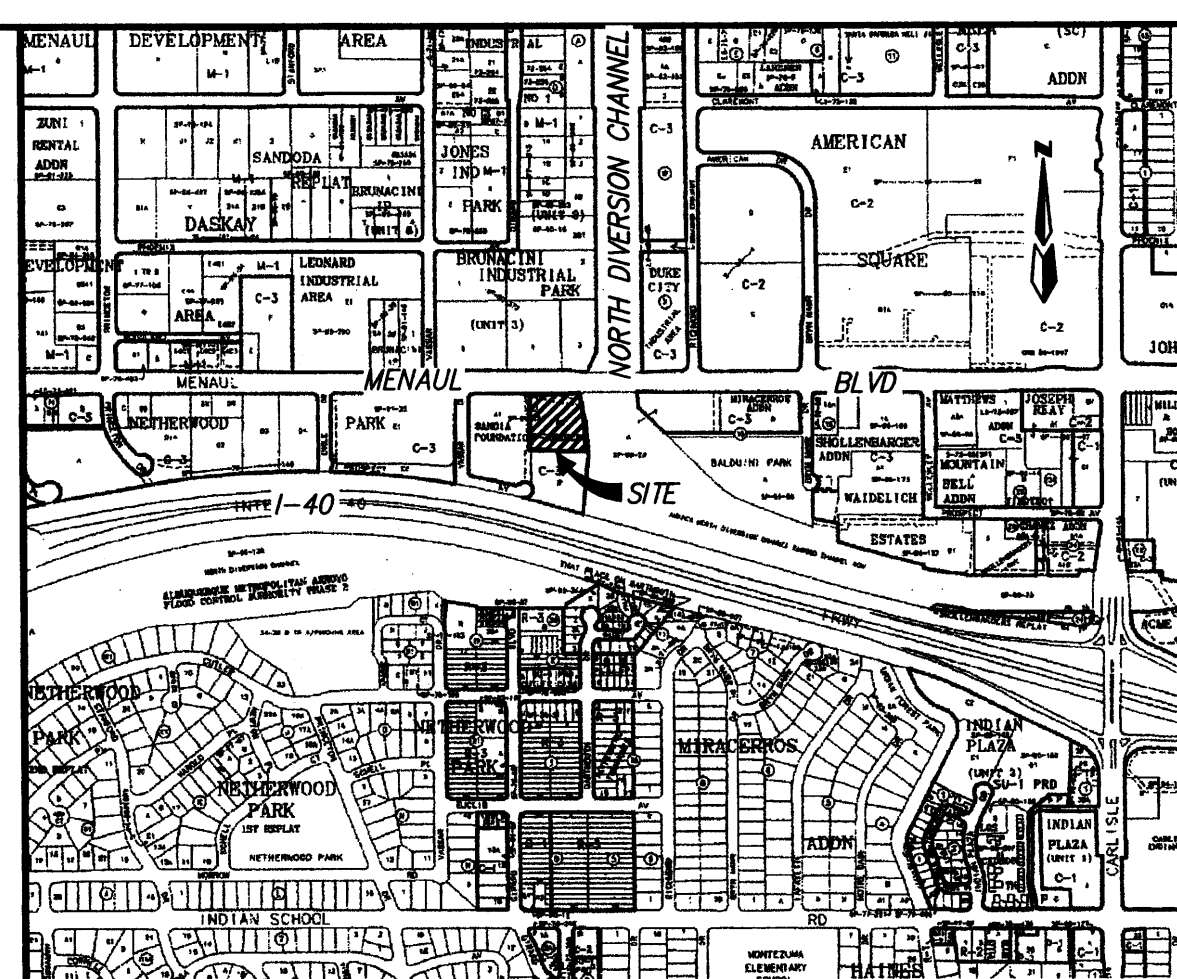
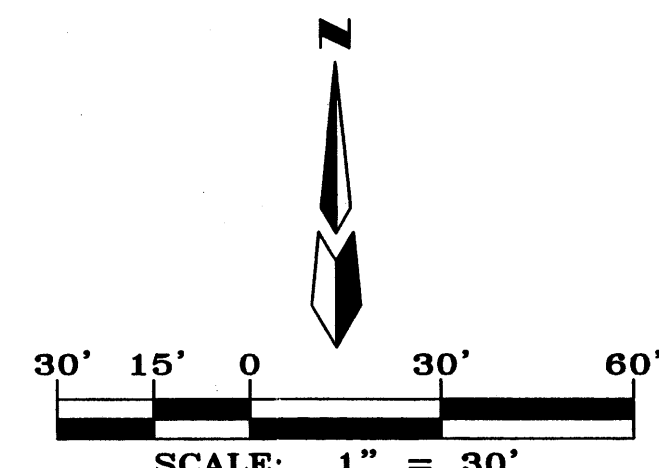
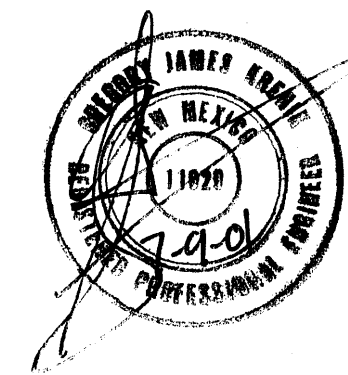
TRACT B
SANDIA FOUNDATION - A.M.A.F.C.A. SUBDIVISION
(03-23-94, 94C-96)

RECORD DRAWING

I hereby certify that the information contained on this drawing has been revised in accordance with information furnished by the contractor, S&J Enterprises, and by the surveyor, Arguelles-Sun... the construction as actually accomplished. This plan as shown shall be in substantial compliance with the Approved Plan.

Mark Goodwin NMP#148 11/22/01

VARIES
CONCRETE CHANNEL SECTION
N.T.S.



VICINITY MAP ZONE MAP: H-16-Z

ACS BENCHMARK

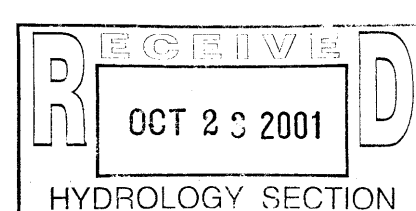
STATION MARK IS A STANDARD NMSHC/ASC BRASS CAP
STAMPED 7-40-12, SET IN TOP OF A CONCRETE
POST, FLUSH W/GROUND, ELEV. = 5114.626.

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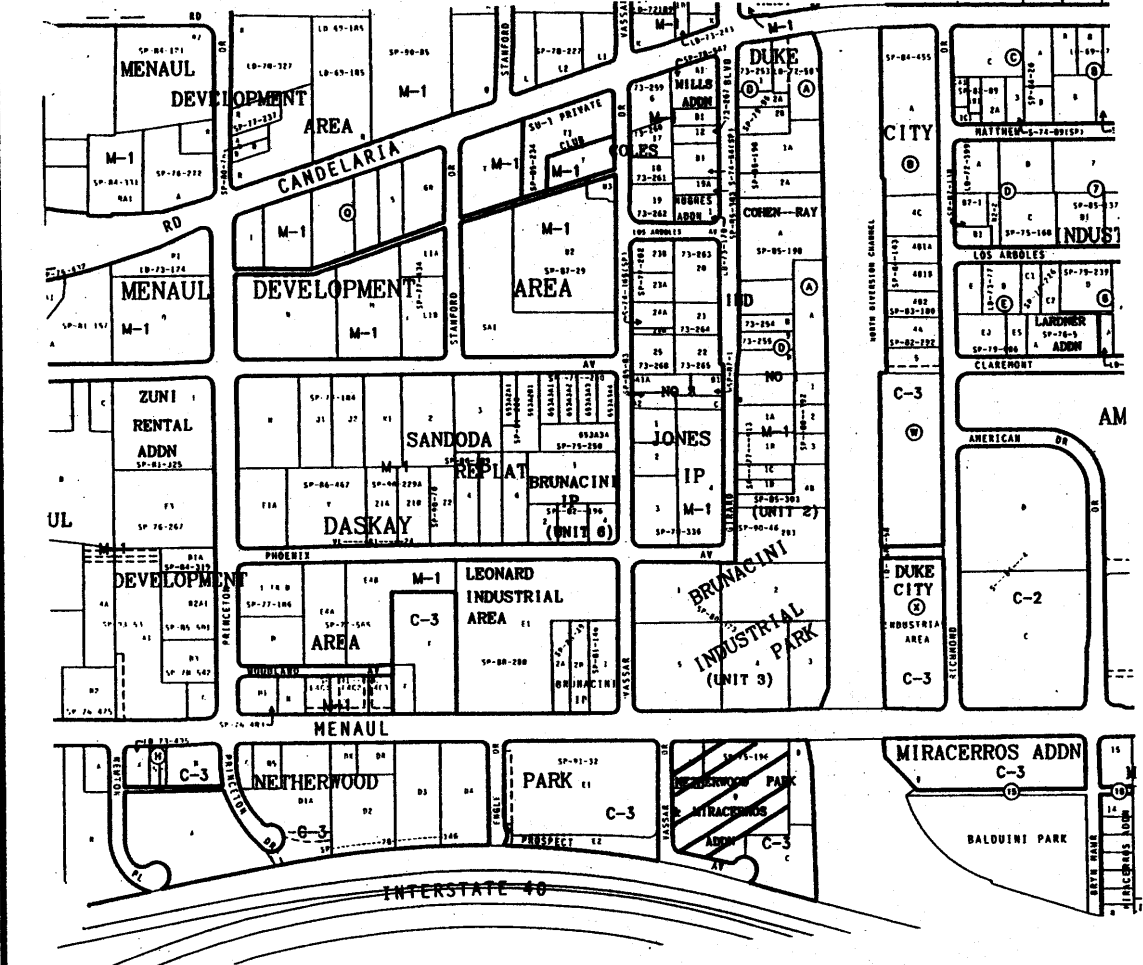
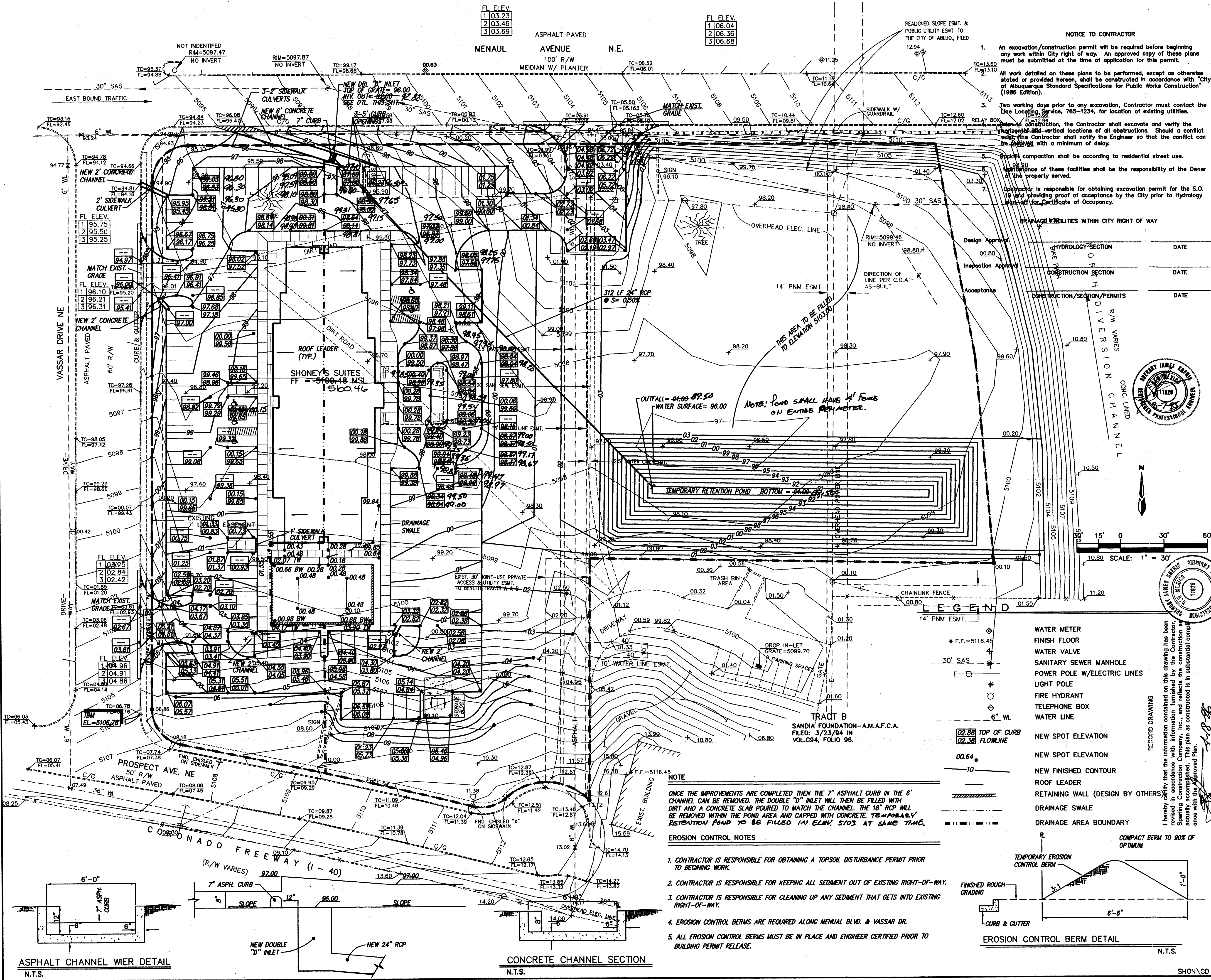


APPLEBEE'S - MENAUL & VASSAR
GRADING & DRAINAGE PLAN

MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505)828-2200, FAX (505)797-9539

Designed: DMG Drawn: DER Checked: DMG Sheet 1 of 1
Scale: 1" = 30' Date: 04-12-01 Job: A00112

A0112APB/NEWSURVEY/A0112qd30/07-06-01/DER RDG ACH



VICINITY MAP ZONE MAP H-16

LEGAL DESCRIPTION
 TRACT LETTERED A OF THE PLAT ENTITLED PLAT OF TRACTS A & B, SANDIA FOUNDATION-A.M.A.F.C.A. SUBDIVISION, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON MARCH 23, 1994 IN VOLUME C-94, FOLIO 96.

ACS BENCHMARK

STATION MARK IS A STANDARD NMHC/ASC BRASS CAP STAMPED 7-40-12, SET IN TOP OF A CONCRETE POST, FLUSH W/GROUND, ELEV. = 5114.828.

TBM (Temporary Benchmark)

TOP OF CURB AT SOUTHWEST CORNER OF SITE "X" CHISLED ON TOP AND PERMANENTLY PAINTED ORANGE. EL.=5106.78

NOTES

1. SITE DOES NOT LIE WITHIN A 100 YEAR FLOOD ZONE.
2. ALL LANDSCAPE AREAS ADJACENT TO BUILDING TO BE GRADED SUCH THAT ROOF RUNOFF DOES NOT POND.
3. CONTRACTOR MUST OBTAIN A TOPSOIL DISTURBANCE PERMIT FROM THE ENVIRONMENTAL HEALTH DIVISION PRIOR TO CONSTRUCTION.
4. CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, LATEST EDITION SHALL GOVERN ALL WORK.
5. THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE AND FEDERAL DUST CONTROL MEASURES AND REQUIREMENTS AND WILL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS AND APPROVALS.
6. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE LOTS INTO PUBLIC RIGHT-OF-WAY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AS PER DTL. THIS SHT. AND NETTING THE SOIL TO KEEP IT FROM BLOWING.
7. THE EARTHWORK CONTRACTOR SHALL STOCKPILE ENOUGH MATERIAL ADJACENT TO RETAINING WALL LOCATIONS TO BE UTILIZED FOR WALL BACKFILL.
8. ALL CONCRETE CURBING TO BE 4000 PSI @ 28 DAYS.
9. CONTRACTORS TO RE-SEED ALL DISTURBED AREAS ON EAST SIDE OF SITE

SHONEY'S SUITES GRADING & DRAINAGE PLAN

dmg D. MARK GOODWIN & ASSOCIATES, P.A.
 CONSULTING ENGINEERS & SURVEYORS
 P.O. BOX 90606
 ALBUQUERQUE, NEW MEXICO 87199
 (505) 345-2010

EASEMENTS

- ① 30' JOINT USE PRIVATE ACCESS AND UTILITY EASEMENT TO BENEFIT TRACTS A & B (03-23-94, 94C-96)
- ② 20' SANITARY SEWER LINE EASEMENT (03-23-94, 94C-96)
- ③ 15' WATER LINE EASEMENT (08-27-75, C10-151)
- ④ ADDITIONAL 2.5' PUBLIC WATER LINE EASEMENT (03-23-94, 94C-96)
- ⑤ 14' PNM EASEMENT (08-27-75, C10-151)
- ⑥ 10' PNM AND US WEST UNDERGROUND EASEMENT (11-21-95, BK. 95-28, PGS. 3846-3847)
- ⑦ DRAINAGE COVENANT (08-18-95, BK. 95-19, PGS. 8318-8322)
- ⑧ REALIGNED SLOPE EASEMENT AND PUBLIC UTILITY EASEMENT (03-23-94, 94C-96)
- ⑨ PNM AND US WEST EASEMENT (11-21-95, BK. 95-28, PGS. 3848-3849)
- ⑩ 30' PUBLIC UNDERGROUND SANITARY SEWER EASEMENT (08-26-99, 99C-247)
- ⑪ PRIVATE INGRESS AND EGRESS EASEMENT FOR TRACT A-1 AND A-2 (08-26-99, 99C-247)
- ⑫ 10' PRIVATE UNDERGROUND STORM SEWER EASEMENT BENEFIT OF TRACT A-1 (08-26-99, 99C-247)
- ⑬ 10' PRIVATE UNDERGROUND SANITARY SEWER EASEMENT BENEFIT OF TRACT A-1 (08-26-99, 99C-247)
- ⑭ PRIVATE RETENTION POND EASEMENT (08-26-99, 99C-247)

KEYED NOTES

- ① 6" CURB & GUTTER PER ARCHITECTURAL DETAIL
- ② INLET - SEE ARCHITECTURAL DETAILS
- ③ TYPE D INLET PER COA DETAIL # 2206
- ④ 12 INCH RCP PIPE
- ⑤ BOLLARDS PER ARCHITECTURAL DETAIL
- ⑥ 1 FT WIDE CONC. CHANNEL PER DETAIL THIS SHEET
- ⑦ 2 FT WIDE CONC. CHANNEL PER DETAIL THIS SHEET
- ⑧ ADJUST RIM ACCORDINGLY

FUTURE KEYED NOTES

THIS WORK TO BE COMPLETED ONCE DRAINAGE EASEMENT IS ACQUIRED.

- ① 10.8 FT WIDE CURB OPENING
- ② 7.5 FT WIDE CONCRETE CHANNEL PER DETAIL THIS SHEET

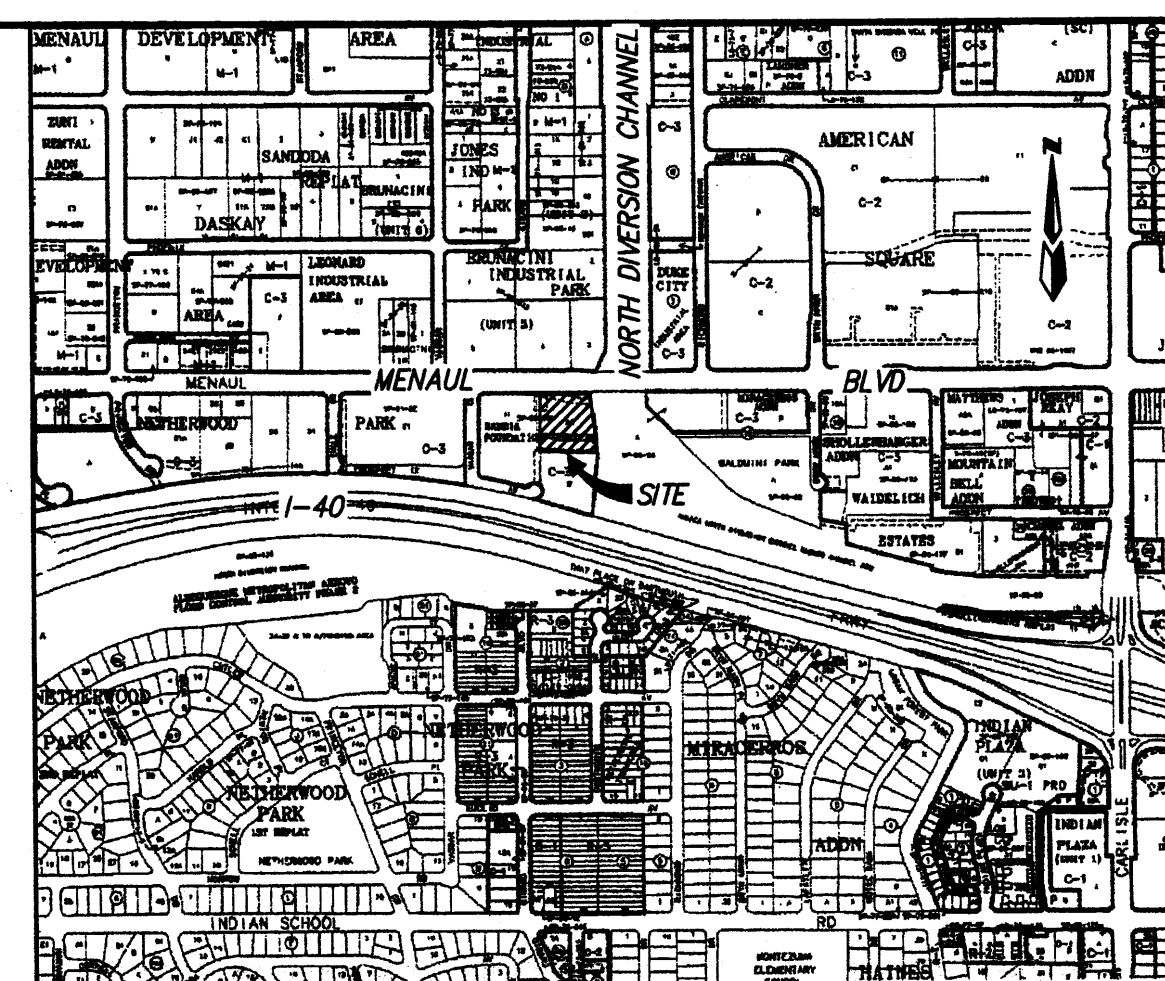
PROSPECT AVENUE
(50' R/W)

MENAU BOULEVARD AVENUE N.E. (100' R/W)

TRACT A-1
SANDIA FOUNDATION - A.M.A.F.C.A. SUBDIVISION
(08-26-99, 99C-247)

TRACT B
SANDIA FOUNDATION - A.M.A.F.C.A. SUBDIVISION
(03-23-94, 94C-96)

NORTH DIVERSION CHANNEL (R/W VARIES)



VICINITY MAP ZONE MAP: H-16-Z

ACS BENCHMARK

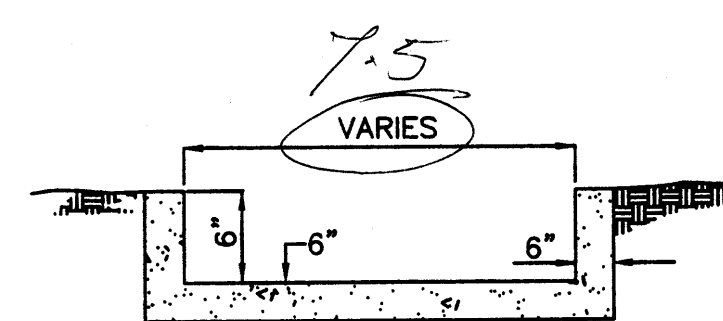
STATION MARK IS A STANDARD NMSHC/ASC BRASS CAP STAMPED "1-40-12", SET IN TOP OF A CONCRETE POST, FLUSH W/GROUND, ELEV. = 5114.628.

LEGAL DESCRIPTION

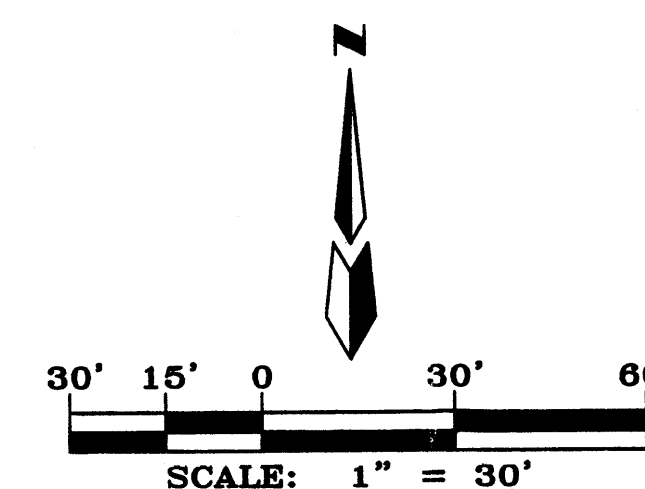
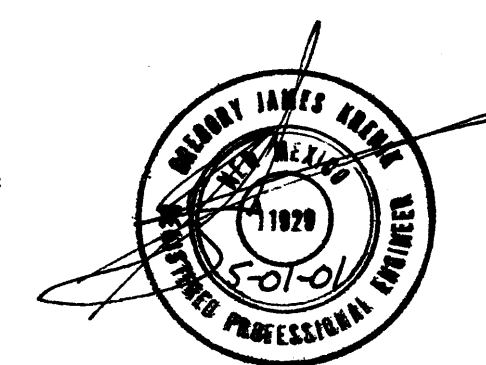
TRACT A-2, SANDIA FOUNDATION - A.M.A.F.C.A. SUBDIVISION, SITUATED WITHIN SECTION 10, TOWNSHIP 10 NORTH, RANGE 3 EAST, NMPM, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.

LEGEND

- 5095- CONTOUR (MAJOR)
- 5096- CONTOUR (MINOR)
- TC= TOP CURB
- FL= FLOWLINE
- x 0.00 SPOT ELEVATION
- CONCRETE CURB
- CONCRETE/SIDEWALK
- BOLLARD
- SIGN
- CHAIN LINK FENCE
- SANITARY SEWER MANHOLE
- LOT LIGHT/STREET LIGHT
- 02.88 TOP OF CURB
- 02.38 FLOWLINE NEW SPOT ELEVATION
- 00.64 NEW SPOT ELEVATION
- DRAINAGE AREA BOUNDARY



CONCRETE CHANNEL SECTION
N.T.S.



RECEIVED
MAY 01 2001
HYDROLOGY SECTION
APPLEBEE'S - MENAU & VASSAR
GRADING & DRAINAGE PLAN

dmg MARK GOODWIN & ASSOCIATES, P.A.
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A0112APB/NEWSURVEY/A0112qd30/04-30-01/DER RDG

ELECTRIC and GAS SERVICES:
PH 241-3345
PH 245-8580
PH 761-0574
PH 924-3484
PH 924-3462

4201 EDITH NE
ALBUQUERQUE, NM 87107
ARMAND ALLESANDRONE

TELEPHONE
QUEST COMMUNICATIONS
PO BOX 1395
STATION 100
ALBUQUERQUE, NM 87103-1395
JUDY LENZNER

CABLE TV
COMCAST CABLE
4875 ALEXANDER NE
SUITE A
ALBUQUERQUE, NM 87107
PETER BRITAIN

CITY OF ALBUQUERQUE
WATER AND SEWER DESIGN REVIEW
PO BOX 1245
PLAZA DEL SOL
600 2ND ST NW
ALBUQUERQUE, NM 87103
ROGER GREEN

CITY OF ALBUQUERQUE
PERMIT DESK
600 2ND ST NW
ALBUQUERQUE, NM 87103
DAVID STEELE, BUILDING OFFICIAL

A CONTACT LIST

Scale
TRUCKING ON OR ABOUT THE SITE WILL BE PERMITTED ONLY WITHIN REASONABLE LIMITS AND THE CONTRACTOR SHALL NOT UNREASONABLY ENCUMBER THE PREMISES WITH HIS EQUIPMENT AND MATERIALS. THE STORAGE SHALL BE CONFINED TO SUCH LIMITS AS MAY BE JOINTLY AGREED BY OWNER AND CONTRACTOR.

THE CONTRACTOR SHALL FURTHER ENFORCE THE ARCHITECT'S INSTRUCTIONS OF SUCH NATURE INCLUDING PARKING USE OF ROADS AND FIRE PREVENTION, WHICH THE OWNER MAY DEEM NECESSARY OR DESIRABLE ON THE OWNERS PROPERTY.

UTILITIES SHOWN ARE TAKEN FROM SURVEY AND PART FROM RECORDS OF RESPECTIVE UTILITY COMPANIES AND DO NOT NECESSARILY REPRESENT ALL UNDERGROUND UTILITIES ADJACENT TO OR UPON PREMISES SHOWN ON PLAN.

ALL FILL ON THE PROPERTY SHALL BE ADEQUATELY COMPACTED BY ROLLING TO PRODUCE A SURFACE SATISFACTORY FOR THE PROPER INSTALLATION OF BASE COURSE AND PAVING BEFORE COMMENCING PAVING WORK. THE PAVING CONTRACTOR MUST MAKE CERTAIN THAT THE SURFACES TO BE COVERED ARE IN PROPER CONDITION. SURFACE NOT ACCEPTABLE SHALL BE REPAIRED TO THE OWNER IMMEDIATELY. THE APPLICATION OF PAVING MATERIALS SHALL BE IN ACCORDANCE TO THE SURFACES AND WORKING CONDITIONS OF THE PAVING CONTRACTOR WHO WILL BE HELD RESPONSIBLE FOR THE RESULTS.

THE PLUMBING CONTRACTOR SHALL VERIFY SEWER DEPTH AND BE RESPONSIBLE FOR PROVIDING ADEQUATE SLOPE OF BUILDING SEWER TOWARD THE CITY SEWER IN STRICT ACCORDANCE WITH THE GOVERNING AUTHORITIES PRIOR TO BUILDING CONSTRUCTION.

WHERE IT IS NECESSARY TO CUT CITY CURBS, THEY SHALL BE RESTORED AND/OR RECONSTRUCTED IN STRICT ACCORDANCE WITH THE REQUIREMENTS OF THE GOVERNING CITY AUTHORITIES. RECONSTRUCT CITY CURBS AFTER DEMOLITION OF EXISTING APPROACHES.

ALL EXISTING UTILITIES SERVING THE PROPERTY SHALL BE PROPERLY TERMINATED IN COMPLIANCE WITH CITY AND OR COUNTY REGULATIONS.

REMOVE ALL TREES, INCLUDING ROOT STRUCTURES, EXCEPT THOSE SPECIFICALLY NOTED TO REMAIN AND THOSE ON PROPERTY LINES DO NOT CLEAR SITE PRIOR TO COORDINATING WITH THE OWNER AND THE LANDSCAPE PLAN TO LOCATE ALL TREES TO REMAIN.

ALL EXTERIOR ILLUMINATED SIGNS ARE PROVIDED AND INSTALLED UNDER A SEPARATE CONTRACT. ELECTRICAL CONTRACTOR SHALL PROVIDE CONDUIT AND WIRE TO SIGN. FINAL CONNECTIONS TO BE MADE BY ELECTRICAL CONTRACTOR.

REMOVE EXISTING TOP SOIL FROM AREAS TO BE PAVED AND REPLACE WITH A SUITABLE COMPACTED FILL. STOCKPILE FOR FUTURE USE IF MATERIAL IS DEEMED USABLE FOR LANDSCAPE BERMS OR TOPSOIL.

GENERAL CONTRACTOR SHALL PROVIDE GROUND POISONING FOR TERMITES AND OTHER INSECTS PRIOR TO FINAL CONCRETE FLOOR INSTALLATION. GENERAL CONTRACTOR SHALL SUBMIT TO OWNER WRITTEN GUARANTEE FROM REPUTABLE LOCAL EXTERMINATING CO. DEMOLISH AND REMOVE ALL EXISTING STRUCTURES, TREES, FENCES, SLABS, DRIVEWAYS, AND SIDEWALKS. VISIT SITE TO DETERMINE EXTENT OF DEMOLITION WORK WHICH MAY OR MAY NOT BE SHOWN ON PLANS.

VERIFY EXACT LOCATION OF UNDERGROUND UTILITIES PRIOR TO BEGINNING CONSTRUCTION. REPORT ANY DISCREPANCIES TO OWNER AND CIVIL ENGINEER.

BACKFILL ALL TRENCHES UNDER SLABS, WALKS, AND PAVED AREAS WITH BANK RUN GRAVEL. ALL EXCAVATING AND BACKFILLING IS BY INDIVIDUAL CONTRACTS. GENERAL CONTRACTOR IS TO REPAIR ALL DISTURBED AREAS OUTSIDE PROPERTY.

INSTALL 8" PULVERIZED TOPSOIL IN ALL LANDSCAPING AREAS (2" BELOW WALK, ELEVATION CLOSE TO BUILDING AND 2" TOPSOIL IN AREAS INDICATED AS SOD). ALL MOUND AREAS TO RECEIVE 8" OF TOPSOIL.

FOLLOW WRITTEN DIMENSIONS ALWAYS. DO NOT SCALE. ALL SITE WORK AND PAVING MUST BE IN ACCORDANCE WITH, OR SURPASS, RECOMMENDATIONS OF SOILS REPORT. CONFLICTS WITH DRAWINGS AND SPECIFICATIONS, THE MORE PROHIBITIVE OF THE TWO SHALL TAKE PRECEDENCE AND BE CONSIDERED TO BE THE INTENT OF THE BID DOCUMENTS. IN ALL CASES, STRICTLY ADHERE TO DRAWINGS AND SPECIFICATIONS UNLESS SOILS REPORT RECOMMENDATION EXCEEDS THE DRAWINGS AND SPECIFICATIONS.

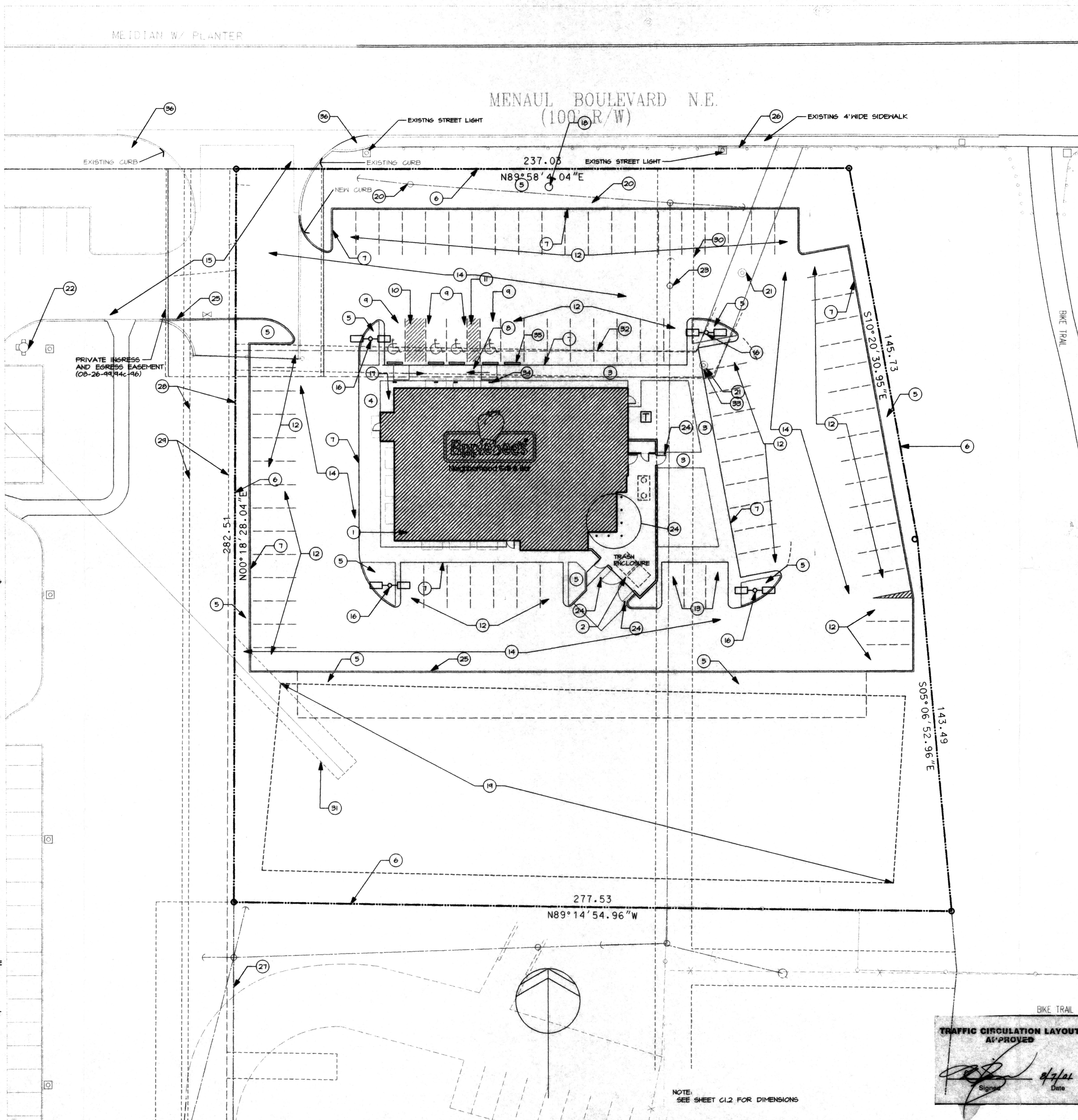
CONTRACTOR IS TO ADJUST ANY UTILITY ELEMENT MEANT TO BE FLUSH WITH GRADE (CLEAN OUT MANHOLES, CATCH BASINS, INLETS, ETC.) THAT IS AFFECTED BY SITE WORK OR GRADE CHANGES WHETHER SPECIFICALLY NOTED ON PLANS OR NOT.

PLOT PLAN DATA HAS BEEN FURNISHED TO THE ARCHITECT BY THE OWNER. THE SURVEY WAS PREPARED BY SOUTHWEST SURVEYING CO. AND ALDRICH LAND SURVEYING.

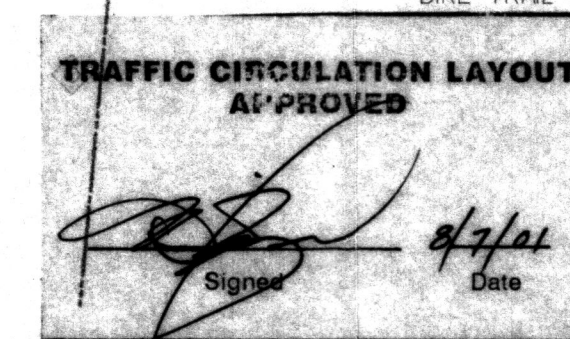
THE SOILS REPORT WAS PREPARED BY VINEYARD & ASSOCIATES

T NOTES

U SITE PLAN



NOTE:
SEE SHEET C1.2 FOR DIMENSIONS



Scale: 1"=20'-0"



LEGAL
2600 MENAUL BLVD. NE
BERNALILLO COUNTY, NEW MEXICO
TRACT A-2
SANDIA FOUNDATION- AMFCA SUBDIVISION
SECTION 10 NORTH, RANGE 3 EAST, N.M.M.
CITY OF ALBUQUERQUE

ZONING
ZONED: C-3
PROPOSED USE: RESTAURANT
PARKING
REQUIRED: KITCHEN = 1400 SF @ 1:200 = 7
BATHROOMS = 448 SF @ 1:100 = 4.4
DINING = 2628 SF @ 1:115 = 175
WAITING = 140 SF @ 1:7 = 21
TOTAL PERSONS = 207

TOTAL REQUIRED = 1 SPACE/3 PERSONS = 64 SPACES
PROVIDED = 76 STANDARD SPACES + 3
HANDICAPPED SPACES + 1 VAN SPACE

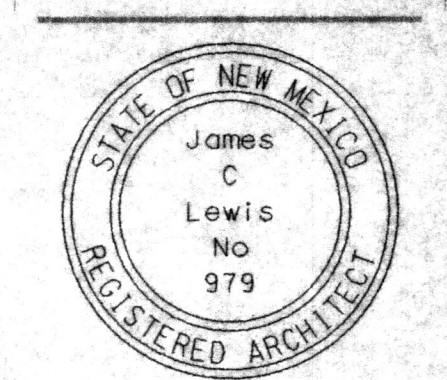
BICYCLE SPACES = 1 SPACE/20 CAR SPACES
80 SPACES/20 = 4.2 REQUIRED BICYCLE SPACES
PROVIDED = 5 SPACES

AREAS
LOT = 14,087 SF
BUILDING = 5,365 SF
BUILDING TYPE = VN SPRINKLED

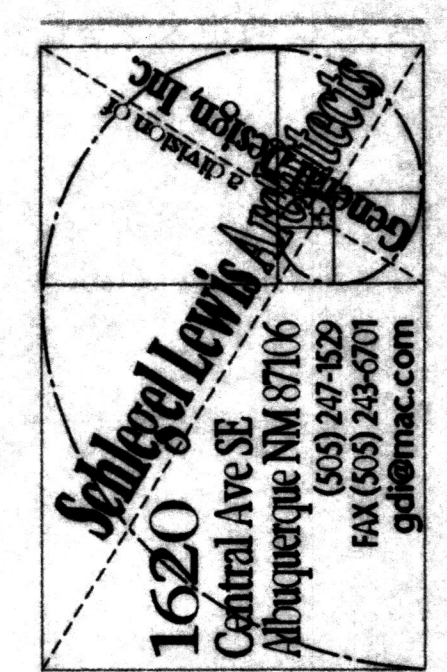
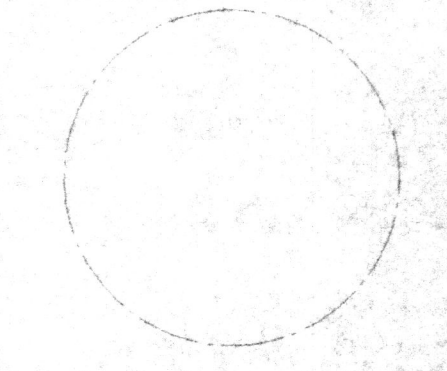
C DETAIL NOT USED

- PROPOSED RESTAURANT
- PROPOSED TRASH ENCLOSURE 10' W/ 8" THICK CONC. APRON 16'X20' SEE DETAIL I SHEET C5.1
- PROPOSED 6" WIDE CONCRETE SIDEWALK SEE DETAIL F SHEET C5.1
- PROPOSED 8'-4" WIDE CONCRETE SIDEWALK SEE DETAIL F SHEET C5.1
- PROPOSED LANDSCAPE AREA
- EXISTING PROPERTY LINE
- PROPOSED CURB AND BUTTER SEE DETAILS G/F SHEET C5.1 (6" TALL)
- PROPOSED HC RAMP SEE DETAIL C SHEET C5.1
- PROPOSED 8'X18' HC PARKING SPACES (4" W/IT. STRIPING)
- PROPOSED 8'X18' HC ACCESS AISLE (4" W/IT. STRIPING)
- PROPOSED 8'X18' HC ACCESS AISLE (4" W/IT. STRIPING)
- PROPOSED 4'X18' PARKING SPACES (4" W/IT. STRIPING)
- PROPOSED 8'-4'X18' PARKING SPACES (SMALL CAR SPACE) (4" W/IT. STRIPING)
- NEW ASPHALT PAVING SEE DETAIL E SHEET C5.1
- EXISTING ASPHALT PAVING
- PROPOSED SITE POLE LIGHTING SEE DETAIL B SHT C4.1
- PROPOSED BIKE RACK LOCATION SEE DETAIL H SHT C5.1 FOR DETAIL
- PROPOSED POLE SIGN
- EXISTING DRAINAGE POND SEE GRADING PLAN
- EXISTING UTILITY POLE
- EXISTING MAN HOLE, REBUILD TO MATCH NEW FINISH GRADE SEE DETAIL L SHEET C5.1
- EXISTING FIRE HYDRANT
- RELOCATE POLE AND EQUIPMENT PER PHM REQUIREMENTS
- CONCRETE METAL BOLLARD SEE DETAIL J SHEET C5.1
- 6" (TEMPORARY) FORMED ASPHALT CURB
- EXISTING METAL GUARD RAIL
- EXISTING 30" JOINT USE PRIVATE ACCESS AND UTILITY EASEMENT (08-25-44, 94C-16)
- 15" WATER LINE EASEMENT (08-27-75, 10-15)
- 14' PHM EASEMENT
- 10' PRIVATE UNDERGROUND STORM SEWER EASEMENT
- 10' PRIVATE UNDERGROUND SANITARY SEWER EASEMENT
- CUT CURB AROUND MANHOLE AS NEEDED
- POLE MOUNTED HC SIGN SEE DETAIL C SHEET C5.1 TYP.
- CONCRETE WHEEL STOP TYP.
- EXISTING CURB RAMP

KEYED NOTES



CONSULTANT



CONTRACTOR

Applebee's
2600 MENAUL BLVD. NE
Albuquerque, New Mexico 87110

ISSUE DATE:
04 MAY 01

REVISIONS:

SITE PLAN
PROJECT 1017
SHEET C1.1
OF 5

416-D133

