

**DRAINAGE AND TRANSPORTATION INFORMATION SHEET**  
(REV 04/2009)

PROJECT TITLE: DIERSEN CHARITIES ZONE MAP: H16-D137  
DRB#: NA EPC#: NA WORK ORDER#: NA

LEGAL DESCRIPTION: TRACT F-1 MENCIAL DEVELOPMENT AREA  
CITY ADDRESS: 2331 MENCIAL NE 87107

ENGINEERING FIRM: BRASHER & LORENZ, INC. CONTACT: Steve Morrow  
ADDRESS: 2207 SAN PEDRO NE, BUILDING 1, SUITE 1300 PHONE: 888-6088  
CITY, STATE: ALBUQUERQUE, NEW MEXICO ZIP CODE: 87110

OWNER: DISMAS CHARITIES CONTACT: Ray Weis  
ADDRESS: 2500 SEVENTH ST PHONE: 502-636-2033  
CITY, STATE: LOUISVILLE, KENTUCKY ZIP CODE: 40208

ARCHITECT: WILMES & ASSOCIATES CONTACT: K. Parr  
ADDRESS: 535 W. SECOND ST PHONE: 859-233-4989  
CITY, STATE: LEXINGTON, KENTUCKY ZIP CODE: 40508

SURVEYOR: JAKE ARGUELLES CONTACT: J. Arguelles  
ADDRESS: \_\_\_\_\_ PHONE: 975-0998  
CITY, STATE: ALBUQUERQUE, NEW MEXICO ZIP CODE: \_\_\_\_\_

CONTRACTOR: HART CONSTRUCTION CONTACT: Rick Gonzales  
ADDRESS: 2919 SECOND ST NW PHONE: 345-4001  
CITY, STATE: ALBUQUERQUE, NEW MEXICO ZIP CODE: 87107

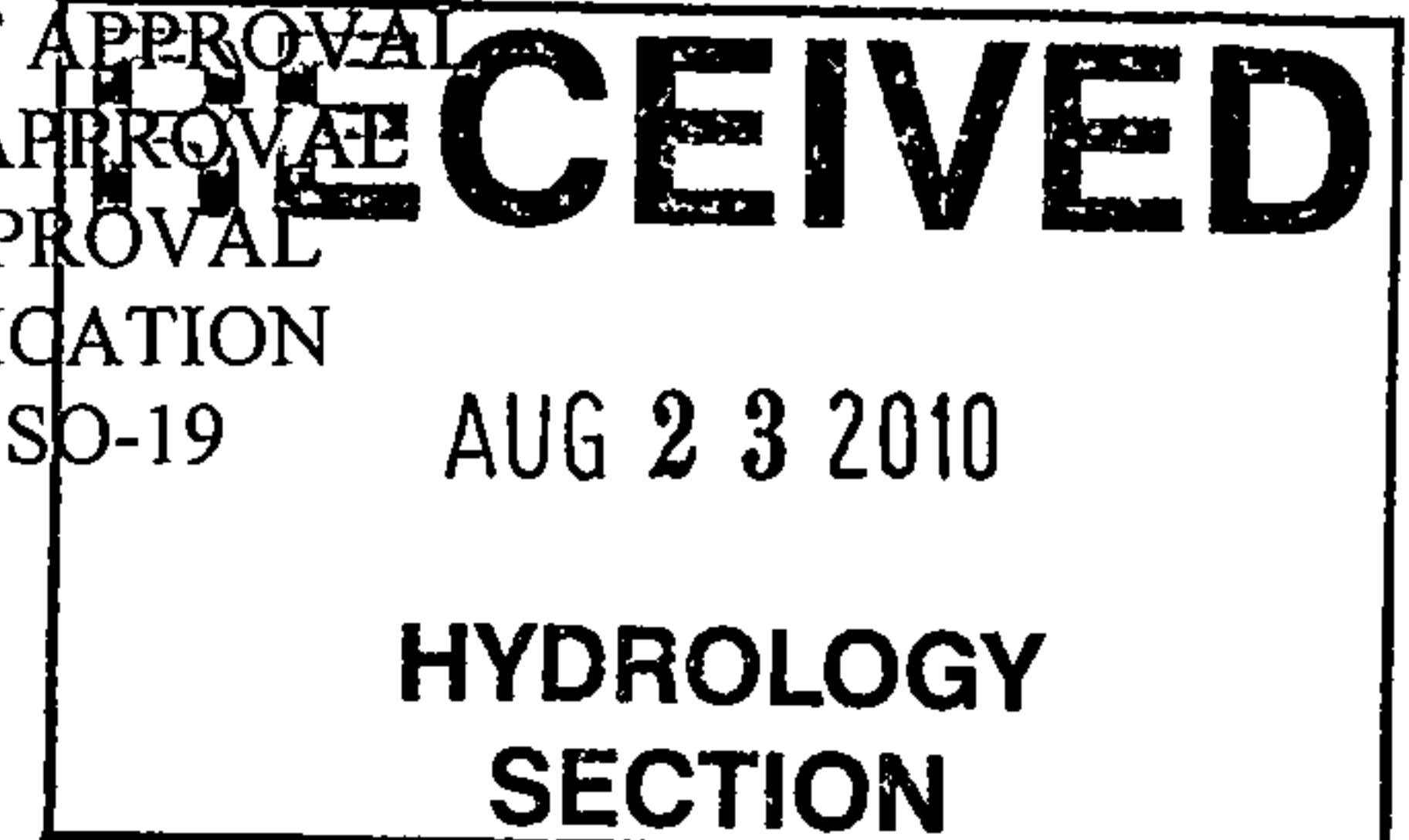
TYPE OF SUBMITTAL:	CHECK TYPE OF APPROVAL SOUGHT:
<input type="checkbox"/> DRAINAGE REPORT	<input type="checkbox"/> SIA/FINANCIAL GUARANTEE RELEASE
<input type="checkbox"/> DRAINAGE PLAN 1 <sup>st</sup> SUBMITTAL	<input type="checkbox"/> PRELIMINARY PLAT APPROVAL
<input type="checkbox"/> DRAINAGE PLAN RESUBMITTAL	<input type="checkbox"/> S. DEV. PLAN FOR SUB'D APPROVAL
<input type="checkbox"/> CONCEPTUAL G & D PLAN	<input type="checkbox"/> S. DEV. FOR BLDG. PERMIT APPROVAL
<input type="checkbox"/> GRADING PLAN	<input type="checkbox"/> SECTOR PLAN APPROVAL
<input type="checkbox"/> EROSION CONTROL PLAN	<input type="checkbox"/> FINAL PLAT APPROVAL
<input checked="" type="checkbox"/> ENGINEER'S CERT (HYDROLOGY)	<input type="checkbox"/> FOUNDATION PERMIT APPROVAL
<input type="checkbox"/> CLOMR/LOMR	<input type="checkbox"/> BUILDING PERMIT APPROVAL
<input type="checkbox"/> TRAFFIC CIRCULATION LAYOUT	<input checked="" type="checkbox"/> CERTIFICATE OF OCCUPANCY (PERM)
<input type="checkbox"/> ENGINEER'S CERT (TCL)	<input type="checkbox"/> CERTIFICATE OF OCCUPANCY (TEMP)
<input type="checkbox"/> ENGINEER'S CERT (DRB SITE PLAN)	<input type="checkbox"/> GRADING PERMIT APPROVAL
<input type="checkbox"/> OTHER (SPECIFY)	<input type="checkbox"/> PAVING PERMIT APPROVAL
	<input type="checkbox"/> WORK ORDER APPROVAL
	<input type="checkbox"/> GRADING CERTIFICATION
	<input type="checkbox"/> OTHER (SPECIFY) SO-19

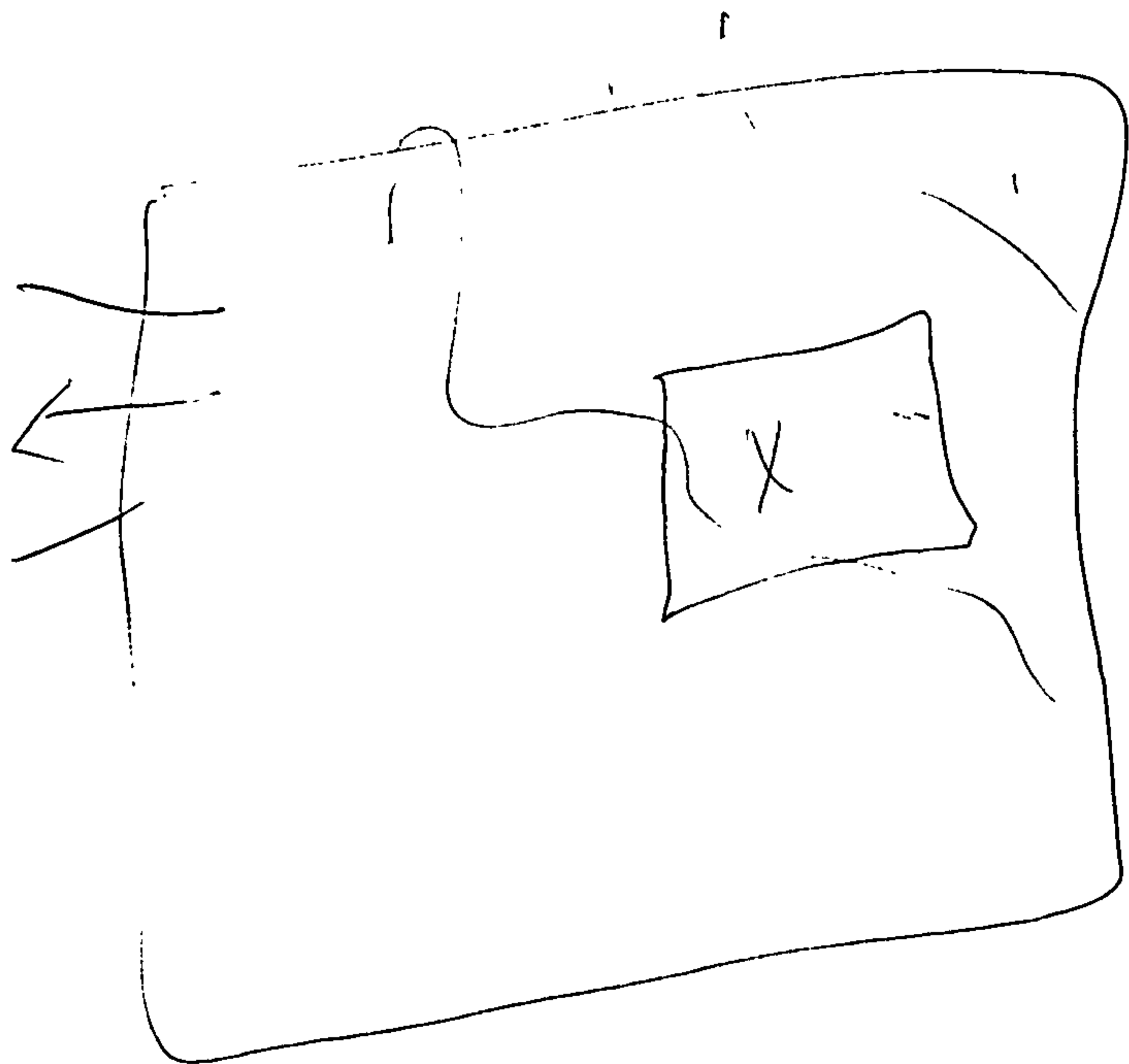
WAS A PRE-DESIGN CONFERENCE ATTENDED:  
☐ YES  
☐ NO  
☐ COPY PROVIDED

DATE SUBMITTED: 8-23-10 BY: STEVE MORROW

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.





1. 3. 4. 6. 7. 8. 9. 10. 11. 12. 13. 14. 15. 16. 17. 18. 19. 20. 21. 22. 23. 24. 25. 26. 27. 28. 29. 30. 31. 32. 33. 34. 35. 36. 37. 38. 39. 40. 41. 42. 43. 44. 45. 46. 47. 48. 49. 50. 51. 52. 53. 54. 55. 56. 57. 58. 59. 60. 61. 62. 63. 64. 65. 66. 67. 68. 69. 70. 71. 72. 73. 74. 75. 76. 77. 78. 79. 80. 81. 82. 83. 84. 85. 86. 87. 88. 89. 90. 91. 92. 93. 94. 95. 96. 97. 98. 99. 100. 101. 102. 103. 104. 105. 106. 107. 108. 109. 110. 111. 112. 113. 114. 115. 116. 117. 118. 119. 120. 121. 122. 123. 124. 125. 126. 127. 128. 129. 130. 131. 132. 133. 134. 135. 136. 137. 138. 139. 140. 141. 142. 143. 144. 145. 146. 147. 148. 149. 150. 151. 152. 153. 154. 155. 156. 157. 158. 159. 160. 161. 162. 163. 164. 165. 166. 167. 168. 169. 170. 171. 172. 173. 174. 175. 176. 177. 178. 179. 180. 181. 182. 183. 184. 185. 186. 187. 188. 189. 190. 191. 192. 193. 194. 195. 196. 197. 198. 199. 200. 201. 202. 203. 204. 205. 206. 207. 208. 209. 210. 211. 212. 213. 214. 215. 216. 217. 218. 219. 220. 221. 222. 223. 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2016. 2017. 2018. 2019. 2020. 2021. 2022. 2023. 2024. 2025. 2026. 2027. 2028. 2029. 2030. 2031. 2032. 2033. 2034. 2035. 2036. 2037. 2038. 2039. 2040. 2041. 2042. 2043. 2044. 2045. 2046. 2047. 2048. 2049. 2050. 2051. 2052. 2053. 2054. 2055. 2056. 2057. 2058. 2059. 2060. 2061. 2062. 2063. 2064. 2065. 2066. 2067. 2068. 2069. 2070. 2071. 2072. 2073. 2074. 2075. 2076. 2077. 2078. 2079. 2080. 2081. 2082. 2083. 2084. 2085. 2086. 2087. 2088. 2089. 2090. 2091. 2092. 2093. 2094. 2095. 2096. 2097. 2098. 2099. 2100. 2101. 2102. 2103. 2104. 2105. 2106. 2107. 2108. 2109. 2110. 2111. 2112. 2113. 2114. 2115. 2116. 2117. 2118. 2119. 2120. 2121. 2122. 2123. 2124. 2125. 2126. 2127. 2128. 2129. 2130. 2131. 2132. 2133. 2134. 2135. 2136. 2137. 2138. 2139. 2140. 2141. 2142. 2143. 2144. 2145. 2146. 2147. 2148. 2149. 2150. 2151. 2152. 2153. 2154. 2155. 2156. 2157. 2158. 2159. 2160. 2161. 2162. 2163. 2164. 2165. 2166. 2167. 2168. 2169. 2170. 2171. 2172. 2173. 2174. 2175. 2176. 2177. 2178. 2179. 2180. 2181. 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# CITY OF ALBUQUERQUE



August 19, 2010

Steven K. Marrow, P.E.  
**Brasher & Lorenz Consulting Engineers**  
2201 San Pedro NE Bldg 1 Ste. 1300  
Albuquerque, NM 87110

*Permanent Co approval  
Bras Bingham*

**Re: Diersen Charities, 2331 Menaul Blvd. NE,  
Request for 90-Day Temporary C.O.—Approved  
Engineer's Stamp dated: 04/14/10 (H-16/D137)  
Certification dated: 08-19-10**

Dear Mr. Marrow,

Based upon the information provided in your submittal received 8-19-10, the above referenced certification is approved for release of a 90 Day Temporary Certificate of Occupancy by Hydrology.

Prior to Permanent Certificate of Occupancy:

1. The items specified in the certification will need completion.

If you have any questions, you can contact me at 924-3982.

Sincerely,

Timothy E. Sims  
Plan Checker—Hydrology,  
Development and Building Services

C: CO Clerk—Katrina Sigala  
File



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(REV 04/2009)

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CONTRACTOR: HART CONSTRUCTION CONTACT: Rick Gonzales  
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TYPE OF SUBMITTAL:  
☐ DRAINAGE REPORT  
☐ DRAINAGE PLAN 1<sup>st</sup> SUBMITTAL  
☐ DRAINAGE PLAN RESUBMITTAL  
☐ CONCEPTUAL G & D PLAN  
☐ GRADING PLAN  
☐ EROSION CONTROL PLAN  
☒ ENGINEER'S CERT (HYDROLOGY)  
☐ CLOMR/LOMR  
☐ TRAFFIC CIRCULATION LAYOUT  
☐ ENGINEER'S CERT (TCL)  
☐ ENGINEER'S CERT (DRB SITE PLAN)  
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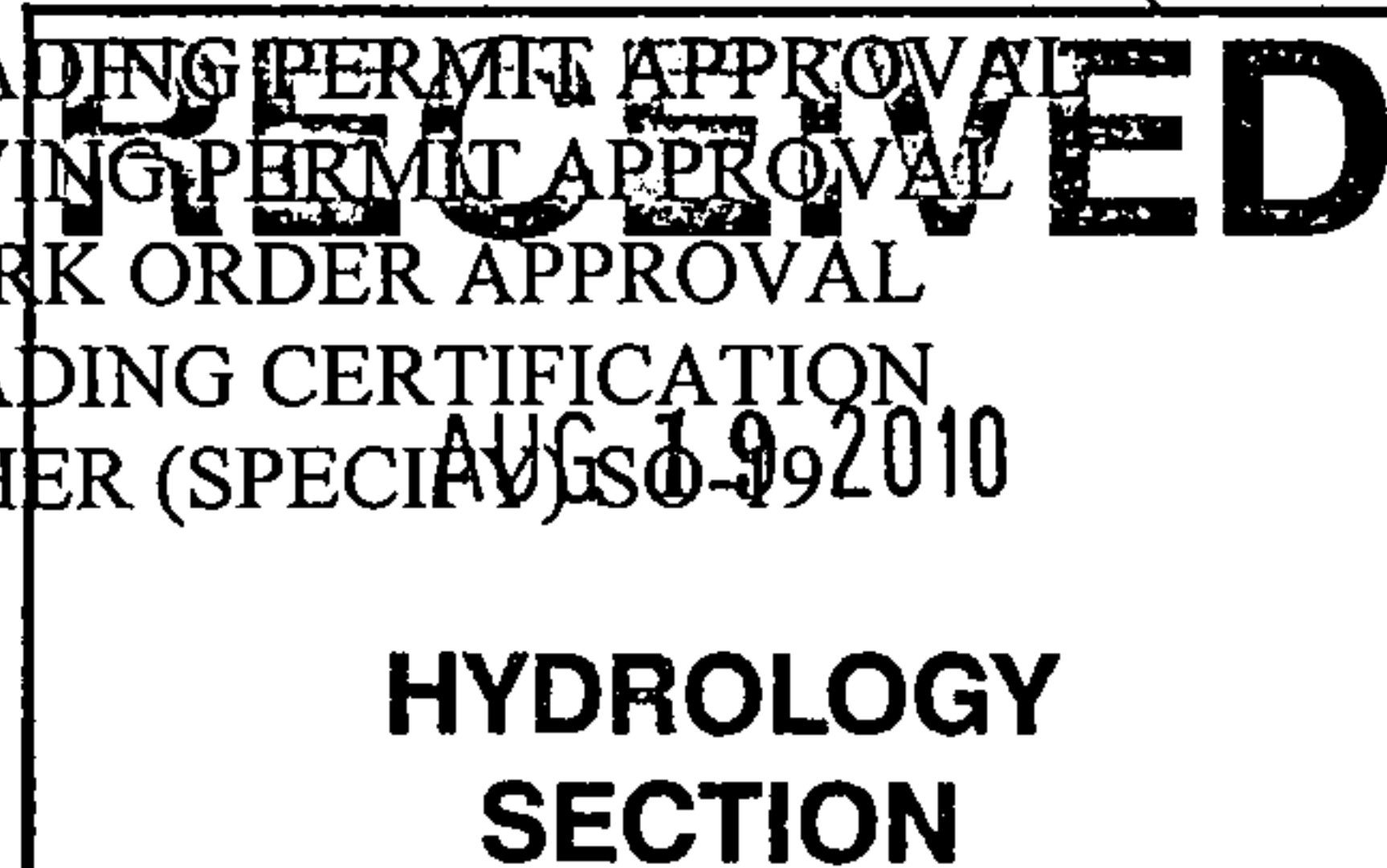
CHECK TYPE OF APPROVAL SOUGHT:  
☐ SIA/FINANCIAL GUARANTEE RELEASE  
☐ PRELIMINARY PLAT APPROVAL  
☐ S. DEV. PLAN FOR SUB'D APPROVAL  
☐ S. DEV. FOR BLDG. PERMIT APPROVAL  
☐ SECTOR PLAN APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ FOUNDATION PERMIT APPROVAL  
☐ BUILDING PERMIT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY (PERM)  
☒ CERTIFICATE OF OCCUPANCY (TEMP)  
☐ GRADING PERMIT APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ WORK ORDER APPROVAL  
☐ GRADING CERTIFICATION  
☐ OTHER (SPECIFY) \_\_\_\_\_

WAS A PRE-DESIGN CONFERENCE ATTENDED:  
☒ YES  
☐ NO  
☐ COPY PROVIDED

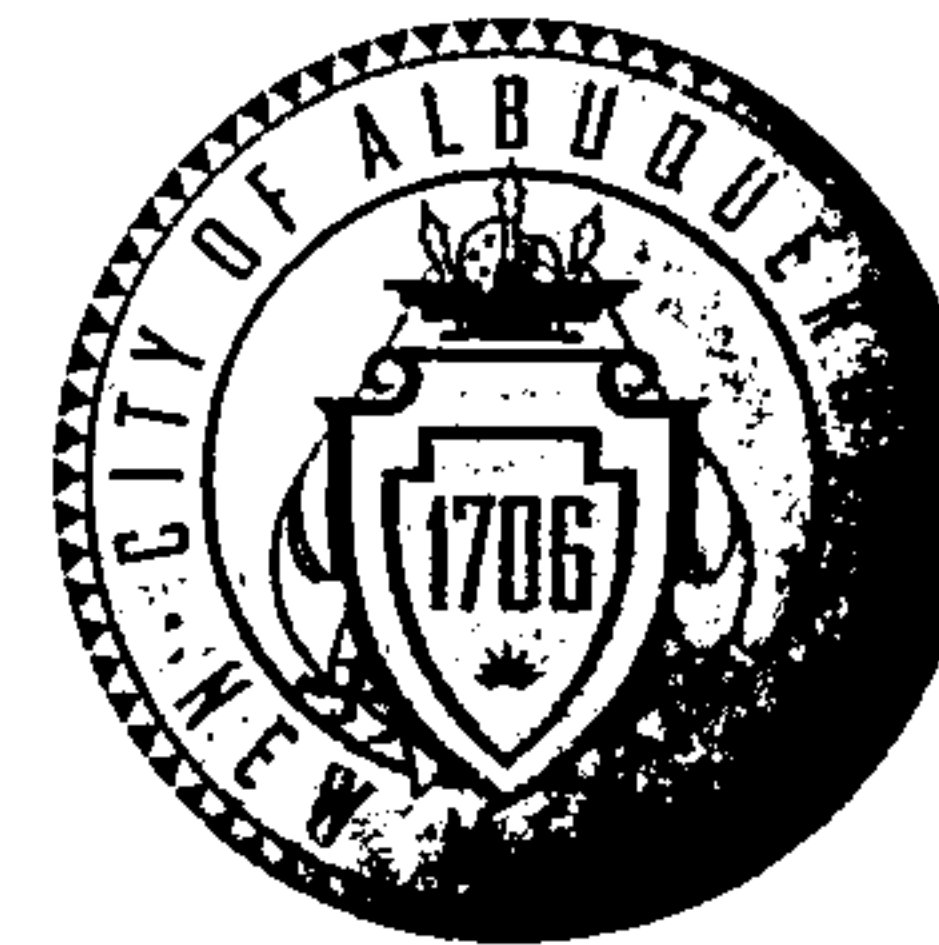
DATE SUBMITTED: 8/19/10 BY: Steve Morrow

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.



# CITY OF ALBUQUERQUE



August 26, 2010

Steven K. Morrow, P.E.  
Brasher & Lorenz, Inc.  
2207 San Pedro NE,  
Bldg 1, Ste. 1300  
Albuquerque, NM 87110

**Re: Diersen Charities, Inc. (Phase II)**  
**2331 Menaul NE**  
**Permanent Certificate of Occupancy (CO) – Transportation Development**  
**Engineer's Stamp dated 08-26-10 (H-16/D137)**

Dear Mr. Morrow,

PO Box 1293

Based upon the information provided in your submittal received 08-26-10, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy.

Albuquerque

This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

NM 87103

If you have any questions, you can contact me at 924-3630.

[www.cabq.gov](http://www.cabq.gov)

Sincerely,

Nilo Salgado-Fernandez, P.E.  
Senior Traffic Engineer, Planning Dept.  
Development and Building Services

C: CO Clerk  
File



**DRAINAGE AND TRANSPORTATION INFORMATION SHEET**  
(REV 04/2009)

PROJECT TITLE: DIERSEN CHARITIES ZONE MAP: H16-D137  
DRB#: NA EPC#: NA WORK ORDER#: NA

LEGAL DESCRIPTION: TRACT F-1 MENCIAL DEVELOPMENT AREA  
CITY ADDRESS: 2331 MENCIAL NE 87107

ENGINEERING FIRM: BRASHER & LORENZ, INC. CONTACT: Steve Morrow  
ADDRESS: 2207 SAN PEDRO NE, BUILDING 1, SUITE 1300 PHONE: 888-6088  
CITY, STATE: ALBUQUERQUE, NEW MEXICO ZIP CODE: 87110

OWNER: DISMAS CHARITIES CONTACT: Ray Weis  
ADDRESS: 2500 SEVENTH ST PHONE: 502-636-2033  
CITY, STATE: LOUISVILLE, KENTUCKY ZIP CODE: 40208

ARCHITECT: WILMES & ASSOCIATES CONTACT: K. Parr  
ADDRESS: 535 W. SECOND ST PHONE: 859-233-4989  
CITY, STATE: LEXINGTON, KENTUCKY ZIP CODE: 40508

SURVEYOR: JAKE ARGUELLES CONTACT: J. Arguelles  
ADDRESS: \_\_\_\_\_ PHONE: 975-0998  
CITY, STATE: ALBUQUERQUE, NEW MEXICO ZIP CODE: \_\_\_\_\_

CONTRACTOR: HART CONSTRUCTION CONTACT: Rick Gonzales  
ADDRESS: 2919 SECOND ST NW PHONE: 345-4001  
CITY, STATE: ALBUQUERQUE, NEW MEXICO ZIP CODE: 87107

TYPE OF SUBMITTAL:  
☐ DRAINAGE REPORT  
☐ DRAINAGE PLAN 1<sup>st</sup> SUBMITTAL  
☐ DRAINAGE PLAN RESUBMITTAL  
☐ CONCEPTUAL G & D PLAN  
☐ GRADING PLAN  
☐ EROSION CONTROL PLAN  
☐ ENGINEER'S CERT (HYDROLOGY)  
☐ CLOMR/LOMR  
☒ ~~TRAFFIC CIRCULATION LAYOUT~~  
☒ ENGINEER'S CERT (TCL)  
☐ ENGINEER'S CERT (DRB SITE PLAN)  
☐ OTHER (SPECIFY) \_\_\_\_\_

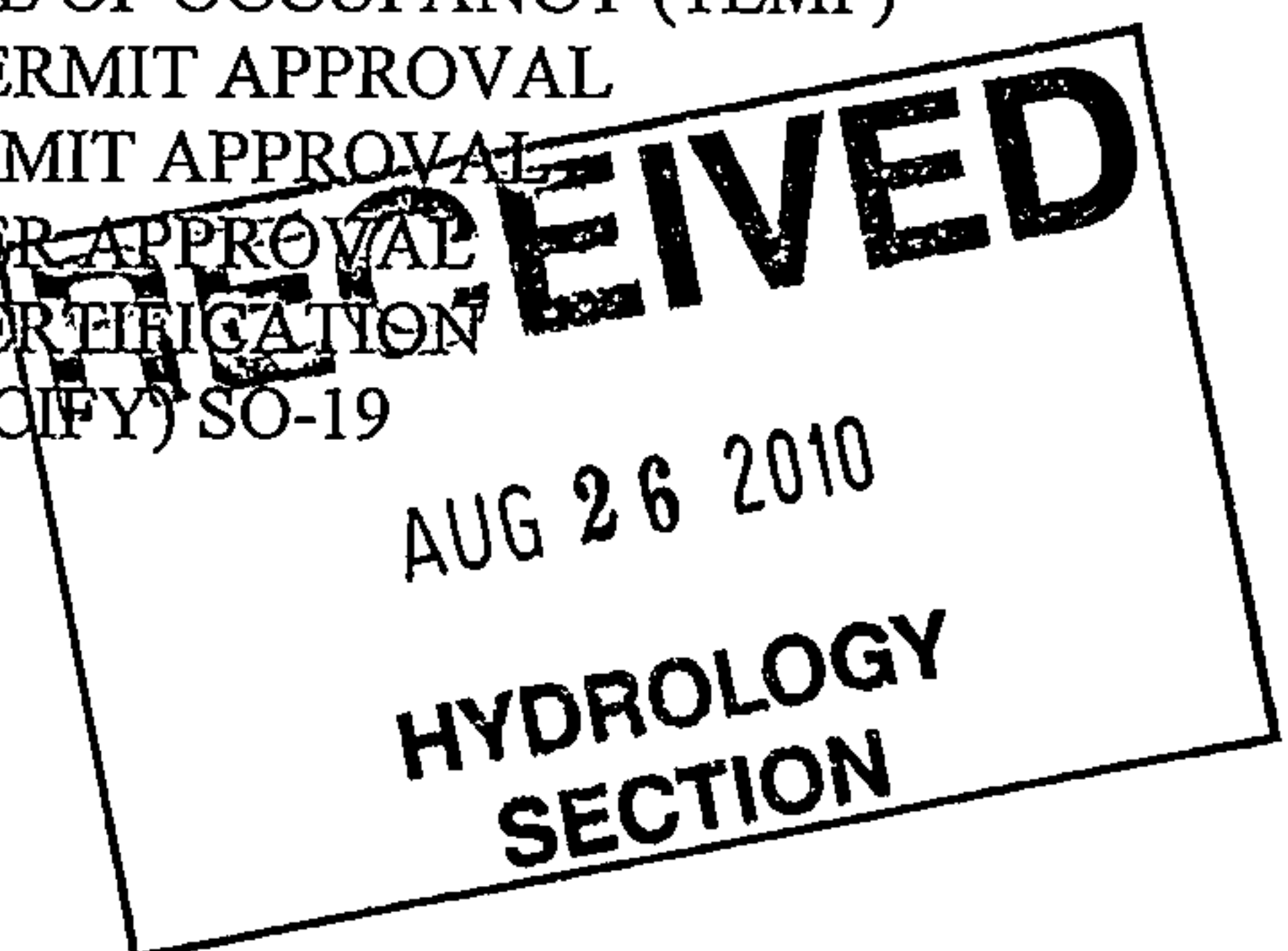
CHECK TYPE OF APPROVAL SOUGHT:  
☐ SIA/FINANCIAL GUARANTEE RELEASE  
☐ PRELIMINARY PLAT APPROVAL  
☐ S. DEV. PLAN FOR SUB'D APPROVAL  
☐ S. DEV. FOR BLDG. PERMIT APPROVAL  
☐ SECTOR PLAN APPROVAL  
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☒ CERTIFICATE OF OCCUPANCY (PERM)  
☐ CERTIFICATE OF OCCUPANCY (TEMP)  
☐ GRADING PERMIT APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ WORK ORDER APPROVAL  
☐ GRADING CERTIFICATION  
☐ OTHER (SPECIFY) SO-19 \_\_\_\_\_

WAS A PRE-DESIGN CONFERENCE ATTENDED:  
☒ YES  
☐ NO  
☐ COPY PROVIDED

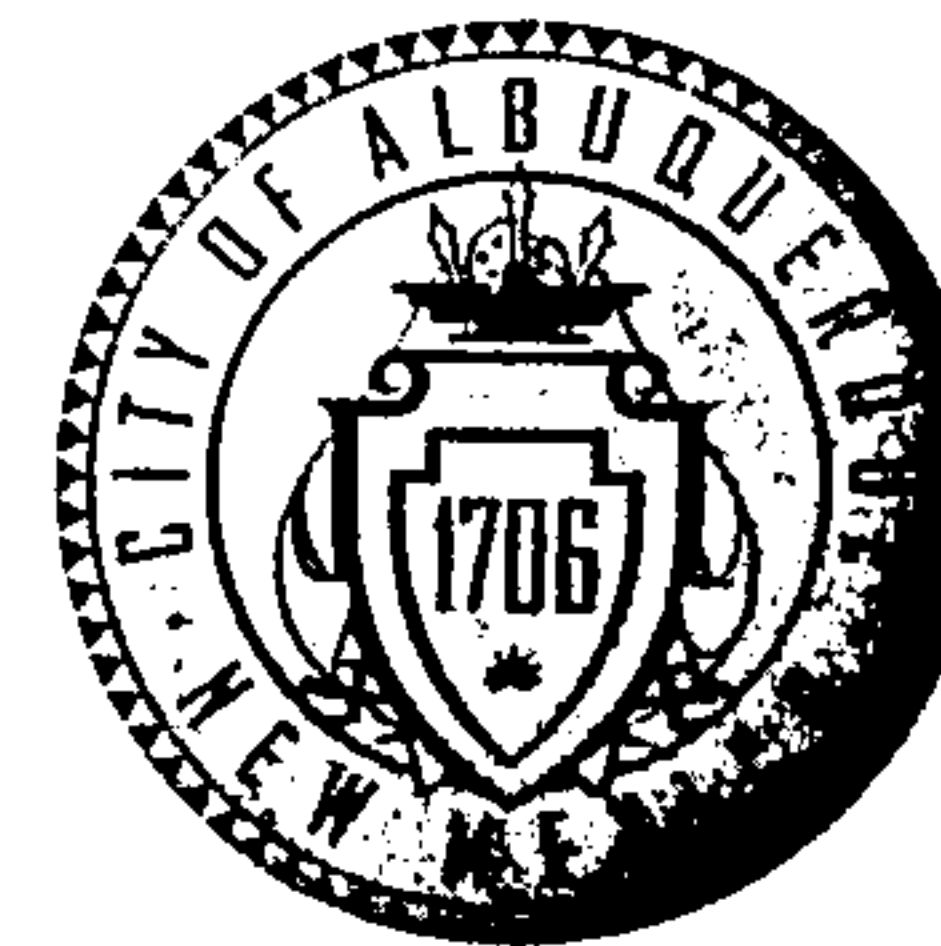
DATE SUBMITTED: 8-26-10 BY: STEVE MORROW

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.



# CITY OF ALBUQUERQUE



April 27, 2010

Dennis Lorenz, P.E.  
Brasher & Lorenz  
2201 San Pedro NE, Building 1 Suite 1200  
Albuquerque, NM 87110

Re: Diersen Charities Phase II, 2331 Menaul Boulevard NE,  
Traffic Circulation Layout  
Engineer's Stamp dated 04-14-10 (H16-D137)

Dear Mr. Lorenz,

The TCL submittal received 04-16-10 is approved for Building Permit. The plan is stamped and signed as approved. A copy of this plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation. **Public infrastructure or work done within City Right-of-Way shown on these plans is for information only and is not part of approval. A separate DRC and/or other appropriate permits are required to construct these items.**

PO Box 1293

Albuquerque

If a temporary CO is needed, a copy of the original TCL that was stamped as approved by the City will be needed. This plan must include a statement that identifies the outstanding items that need to be constructed or the items that have not been built in "substantial compliance," as well as the signed and dated stamp of a NM registered architect or engineer. Submit this TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

NM 87103

www.cabq.gov

When the site is completed and a final C.O. is requested, use the original City stamped approved TCL for certification. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3306.

Sincerely,

Kristal D. Metro, P.E.  
Traffic Engineer, Planning Dept.  
Development and Building Services

C: File



# CITY OF ALBUQUERQUE



April 19, 2010

Dennis A. Lorenz, P.E.  
Brasher & Lorenz  
2207 San Pedro NE Bldg. 1 Suite 1300  
Albuquerque, NM 87110

**Re: Diersen Charities 2331 Menaul Blvd. NE**  
**Grading and Drainage Plan**  
**Engineer's Stamp dated 4-14-10 (H16-D137)**

Dear Mr. Lorenz,

PO Box 1293

Based upon the information provided in your resubmittal received 4/16/20010, the above referenced plan is approved for Building Permit and SO-19. Please attach a copy of this approved plan to the construction sets prior to sign off by hydrology.

Albuquerque

As you know a separate permit is required for construction within the City R/W. A copy of this approval letter must be on hand when applying for the excavation permit.

NM 87103

Also, prior to Certificate of Occupancy release, an Engineer Certification of the grading plan per DPM checklist will be required.

[www.cabq.gov](http://www.cabq.gov)

If you have any questions, you can contact me at 924-3986.

Sincerely,

Bradley L. Bingham, PE, CFM.  
Principal Engineer, Planning Department.  
Development and Building Services

C: Antoinette Baldonado  
File



# CITY OF ALBUQUERQUE



August 23, 2010

Steven K. Morrow, P.E.  
Brasher & Lorenz, Inc.  
2207 San Pedro NE, Bldg 1, Ste. 1300  
Albuquerque, NM 87110

**Re: Diersen Charities**  
**2331 Menaul NE**  
**Temporary Certificate of Occupancy – Transportation Development**  
**Engineer's Stamp dated 08-19-10 (H-16/D137)**  
**Certification dated 08-19-10**

Dear Mr. Morrow,

PO Box 1293

Albuquerque

NM 87103

[www.cabq.gov](http://www.cabq.gov)

Based upon the information provided in your submittal received 08-19-10, Transportation Development has no objection to the issuance of a 120-day Temporary Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a 120-day Temporary Certificate of Occupancy to be issued by the Building and Safety Division.

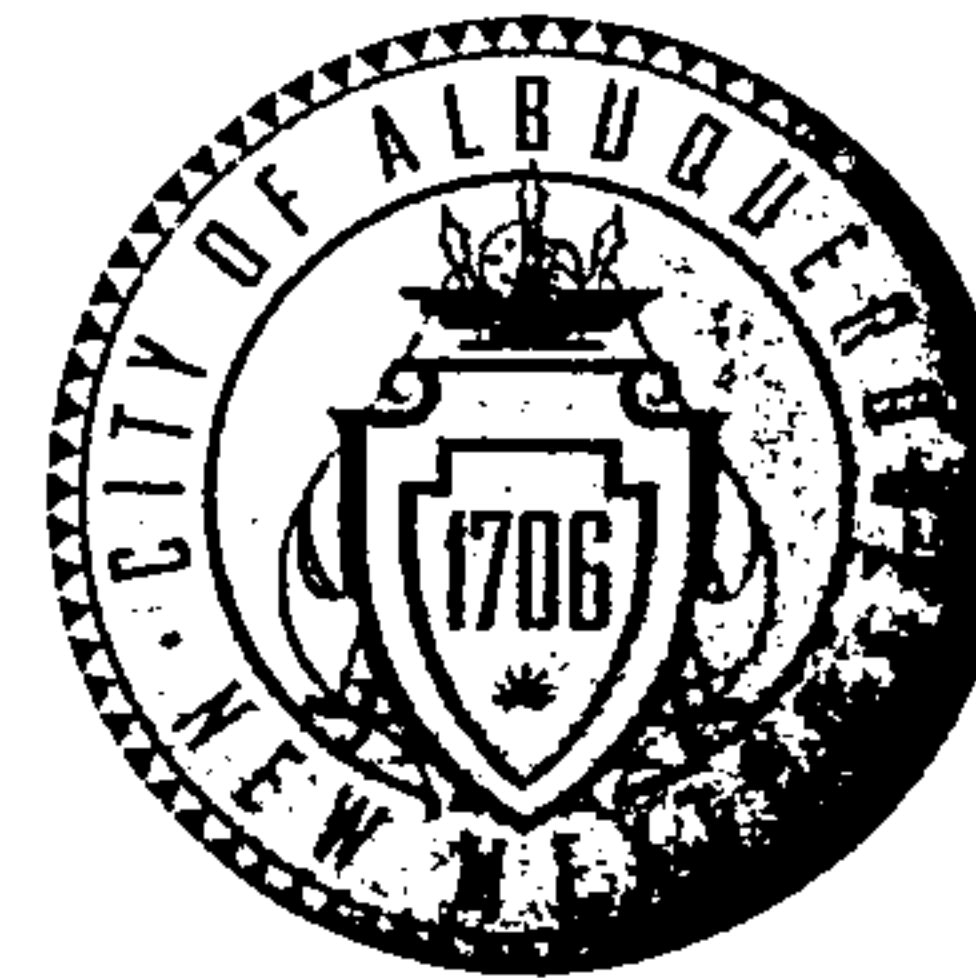
If you have any questions, you can contact me at 924-3630.

Sincerely,

Wilo Salgado-Fernandez, P.E.  
Senior Traffic Engineer, Planning Dept.  
Development and Building Services

C: CO Clerk  
File

# CITY OF ALBUQUERQUE



January 29, 2010

Dennis Lorenz, PE  
Brasher & Lorenz, Inc.  
2201 San Pedro NE, Bldg. 1  
Albuquerque, NM 87110

**Re: Diersen Charities Grading and Drainage Plan**  
**2331 Menaul Blvd NE**  
**Engineer's Stamp dated 1-18-10 (H16/D137)**

Dear Mr. Lorenz,

PO Box 1293

Based upon the information provided in your submittal dated 1-19-10, the above referenced plan is approved for Building Permit and SO#19 Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

Albuquerque

A separate permit is required for construction within City R/W. A copy of this approval letter must be on hand when applying for the excavation permit.

NM 87103

Also, prior to Certificate of Occupancy release, Engineer Certification of the grading plan per the DPM checklist will be required.

[www.cabq.gov](http://www.cabq.gov)

If you have any questions, you can contact me at 924-3986.

Sincerely,

Bradley L. Bingham, PE  
Principal Engineer, Planning Dept.  
Development and Building Services

C: Antoinette Baldonado, DMD  
file



**DRAINAGE AND TRANSPORTATION INFORMATION SHEET**  
(Rev. 06/22/2005)

PROJECT TITLE: DIERSEN CHARITIES ZONE MAP/DRG. FILE # H16-D137  
DRB#: NA EPC#: NA WORK ORDER#: NA

LEGAL DESCRIPTION: TRACT F-1 MENAUL DEVELOPMENT AREA  
CITY ADDRESS: 2331 MENAUL NE 87107

ENGINEERING FIRM: BRASHER + LORENZ  
ADDRESS: 2201 SAN PEDRO NE  
CITY, STATE: ALBU NM

CONTACT: D. LORENZ  
PHONE: 888-6088  
ZIP CODE: 87110

OWNER: DISMAS CHARITIES  
ADDRESS: 2500 SEVENTH ST  
CITY, STATE: LOUISVILLE TN

CONTACT: RAY WEIS  
PHONE: 502-636-2033  
ZIP CODE: 40208

ARCHITECT: WILMES + ASSOC  
ADDRESS: 535 W. SECOND ST  
CITY, STATE: LEXINGTON, KY

CONTACT: K. PARR  
PHONE: 859-233-4989  
ZIP CODE: 40508

SURVEYOR: JAKE ARGUELLES  
ADDRESS: \_\_\_\_\_  
CITY, STATE: ALBU NM

CONTACT: J. ARGUELLES  
PHONE: 915-0998  
ZIP CODE: \_\_\_\_\_

CONTRACTOR: HART CONSTRUCTION  
ADDRESS: 2919 SECOND ST NW  
CITY, STATE: ALBU NM

CONTACT: R. GONZALES  
PHONE: 345-4001  
ZIP CODE: 87107

**TYPE OF SUBMITTAL:**

- ☐ DRAINAGE REPORT
- ☒ DRAINAGE PLAN 1<sup>st</sup> SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ OTHER

**CHECK TYPE OF APPROVAL SOUGHT:**

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
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- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☒ NO
- ☐ COPY PROVIDED

SUBMITTED BY: DENNIS LORENZ DATE: 1-19-10

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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**RECEIVED**

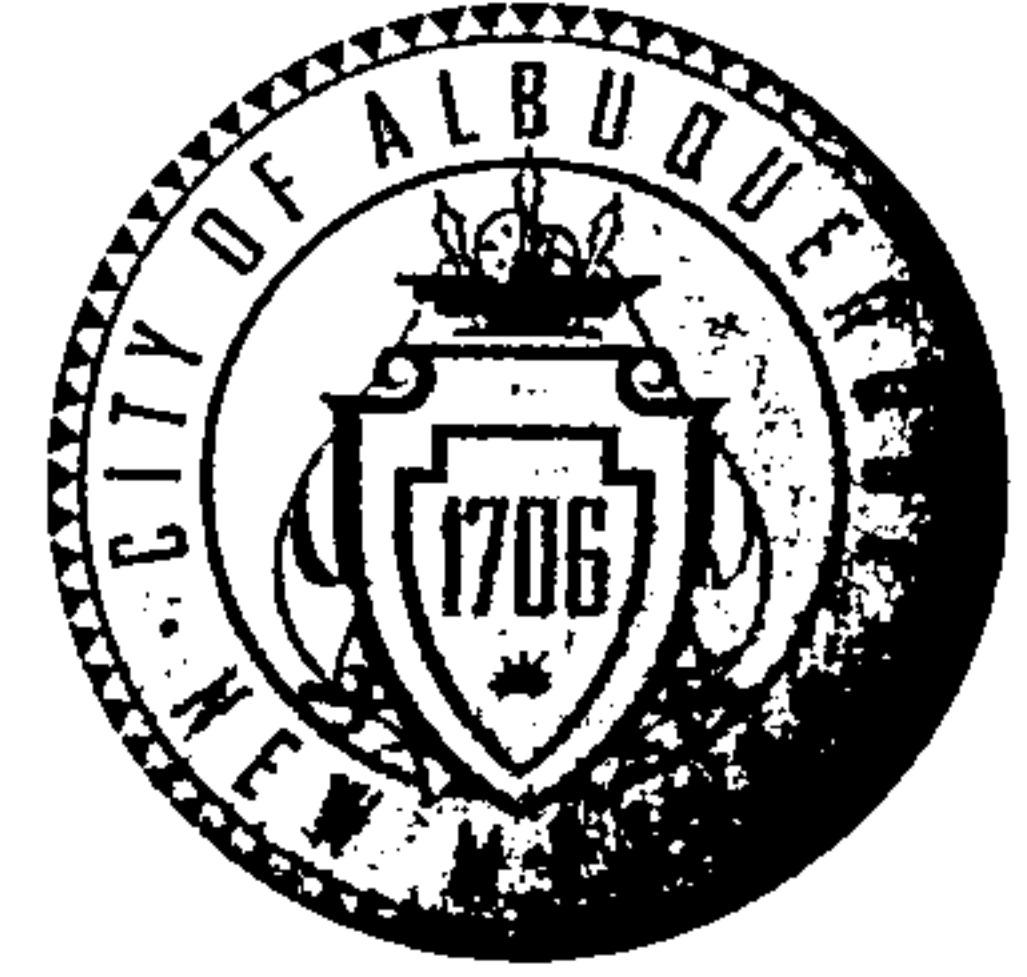
JAN 19 2010

HYDROLOGY  
SECTION

\$50.00



# CITY OF ALBUQUERQUE



January 22, 2010

Dennis Lorenz, P.E.  
Brasheer & Lorenz  
2201 San Pedro NE, Building 1 Suite 1200  
Albuquerque, NM 87110

**Re: Diersen Charities Phase II, 2331 Menaul Boulevard NE,  
Traffic Circulation Layout  
Engineer's Stamp dated 01-18-10 (H16-D137)**

Dear Mr. Lorenz,

Based upon the information provided in your submittal received 01-19-10, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. List radii for all curves shown.
2. For passenger vehicles, the minimum end island radius is 15 feet.
3. Clearly demonstrate the 6-foot wide, ADA accessible, pedestrian pathway from the roadway to the building.
4. All proposed sidewalk must be a minimum of 6 feet in width.
5. Define width of the existing sidewalk.
6. Clearly show all ramps, both existing and proposed.
7. A 3-foot wide right of way dedication is shown. What is the status of this dedication? Has a replat already occurred? Please provide additional information.

If you have any questions, you can contact me at 924-3991.

Sincerely,

Kristal D. Metro, P.E.  
Traffic Engineer, Planning Dept.  
Development and Building Services

C: File

PO Box 1293

Albuquerque

NM 87103

[www.cabq.gov](http://www.cabq.gov)

**SUMP PUMP CALCULATIONS  
FOR  
DIERSEN CHARITIES**

ALBUQUERQUE, NEW MEXICO

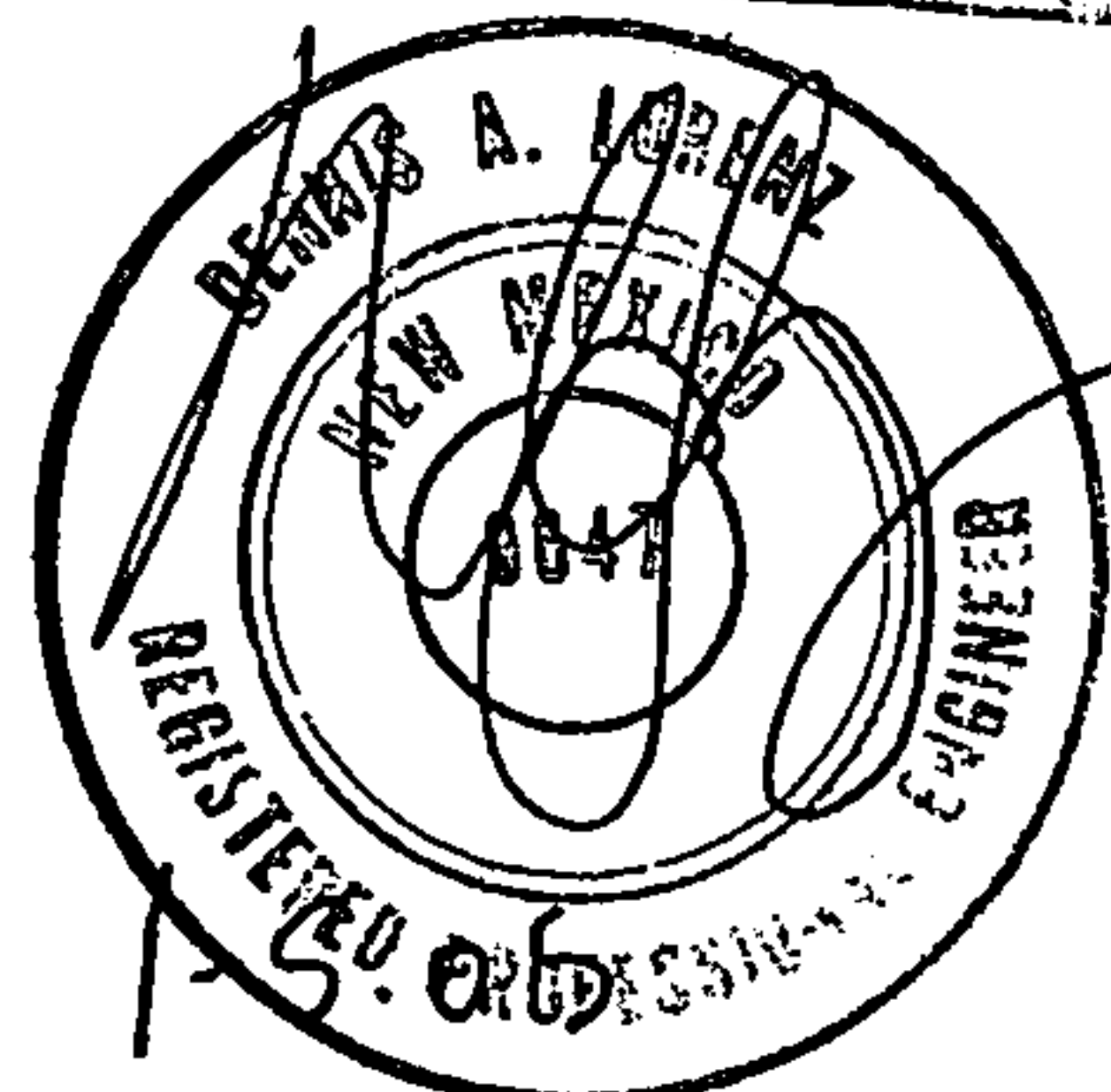
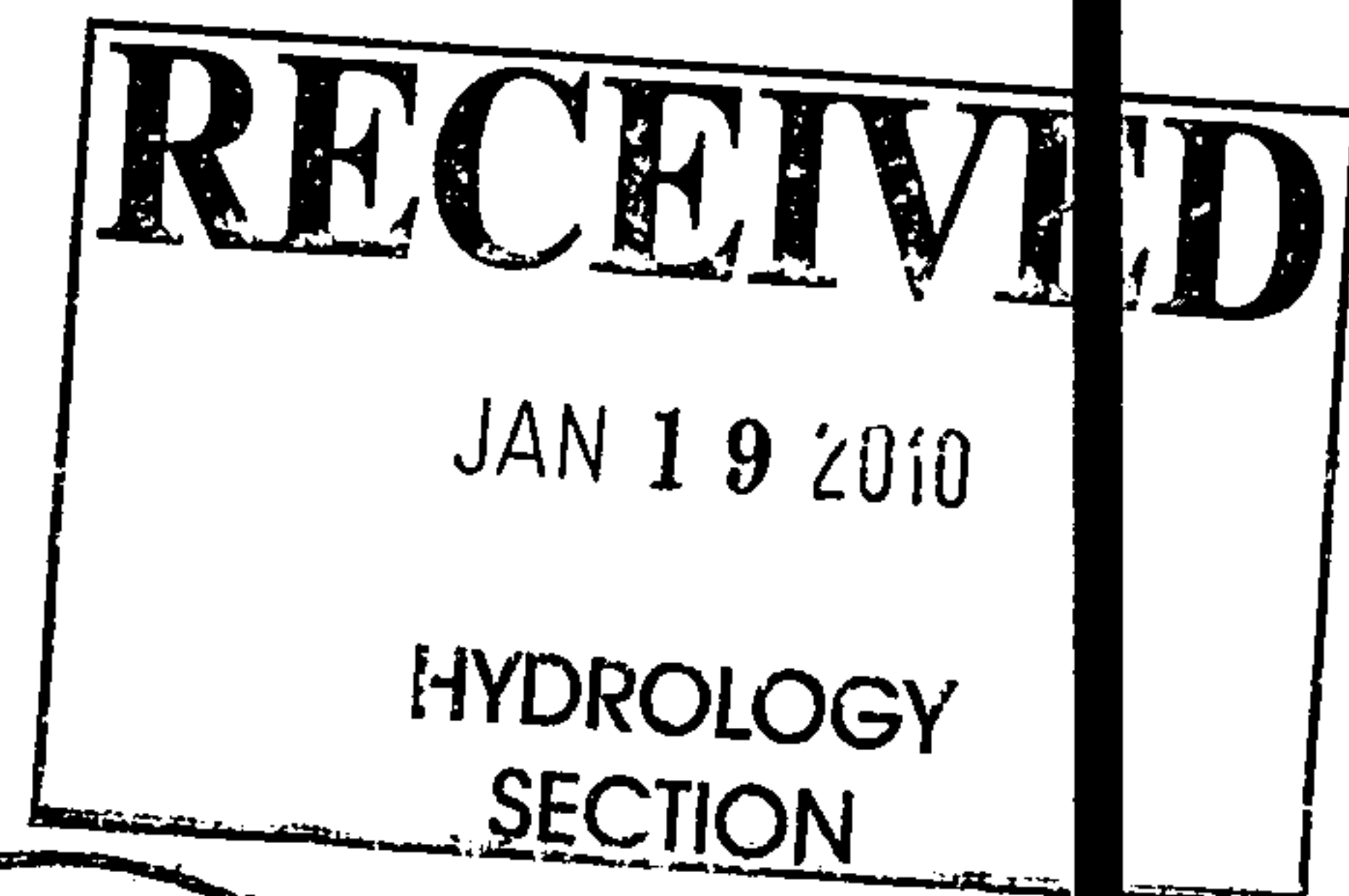
Prepared For:

Hart Construction  
2919 Second Street  
Albuquerque, New Mexico 87107

Prepared by:



**BRASHER AND LORENZ, INC.**  
**Consulting Engineers**  
2201 San Pedro NE, Building 1, Suite 1200  
Albuquerque, New Mexico 87110



1-18-10



# DIEPSEN CHARACTERISTICS - PHASE 2

1.18.10

• CHECK EXISTING sump pump to verify capacity to pump phase 2 volume within 24 hours

## ① REVISIT VOLUME

$$V_{10m} = 15,200 \text{ ft}^3$$

## ② DISCHARGE

$$Q = \frac{V}{T} = \frac{15,200 \text{ ft}^3}{79 \text{ min}} = 191 \text{ cfs}$$

$$Q = 191 \text{ cfs} = 0.176 \text{ cfs}$$

## ③ CHECK PUMP

EXISTING 1/2 HP sump pump  
4" DISCHARGE LINE TO MANHOLE

$$L = 265', \quad S = 0.0103$$

$$Q = 0.176 \text{ cfs}, \quad P = 0.33'$$

HAZEN WILLIAMS:

$$h_L = \left[ \frac{Q}{C} \right]^{1.852} = 1.75 \text{ ft}$$

$$\text{TOTAL } h_L = \text{MANHOLE FL - PUMP ELEV} + h_L$$

$$= 76.33 - 66.00 + 1.75 = 12.1 \text{ FT}$$

$$h_p = 2.55 \text{ ft}$$

$$h_p = \frac{0.7 (550)}{0.176 (12.1)} = 2.55 \text{ ft}$$

$$Q = 0.176 \text{ cfs}, \quad S = 0.0103$$

$$h = 12.1', \quad Q = 0.176 \text{ cfs}$$

OK



DIERSEN

1-5-5

1

## SUMP PUMP DESIGN

PHASE 1.

① VOLUME = 10,350 CF

② DISCHARGE

SPEC PUMP TO EVACUATE POMS W/IN 24 HRS

$$T = 24 \text{ HR}$$

$$V = 10,350 \text{ CF}$$

$$Q = \frac{10350}{24} \left( \frac{1}{3600} \right)$$

$$= 0.12 \text{ CFS}$$

$$= \underline{\underline{54 \text{ gpm}}}$$

③ SIZE PUMP

USE 4" DISCHARGE LINE FROM PUMP  
TO CURB FL AT MENAUL.

$$L = 265' \pm \quad L = 0.265$$

C = 114 HAZEN WILLIAMS

$$\text{MEPC / ENG CONV} = 0.0103$$

$$h_L = \left[ \frac{Q}{0.0103 \text{ CFS}} \right]^{1.852} L = \underline{\underline{0.82 \text{ FT}}}$$

$$= 0.4 \text{ PSI}$$

$$\begin{aligned} \text{TOTAL DISCHG H} &= \text{MENAUL FL} - \text{PUMP ELEV} + h_L \\ &= (76.33 - 66.0) + 0.82 \\ &= \underline{\underline{11.2 \text{ FT}}} \end{aligned}$$

# DIERSEN SUMP PUMP DESIGN

2

PHASE 1.

$$HP = \frac{Q \times Y \times H}{2.550}$$

$$Q = 0.12 \text{ cfs}$$

$$Y_M = 62.4 \text{ pcf}$$

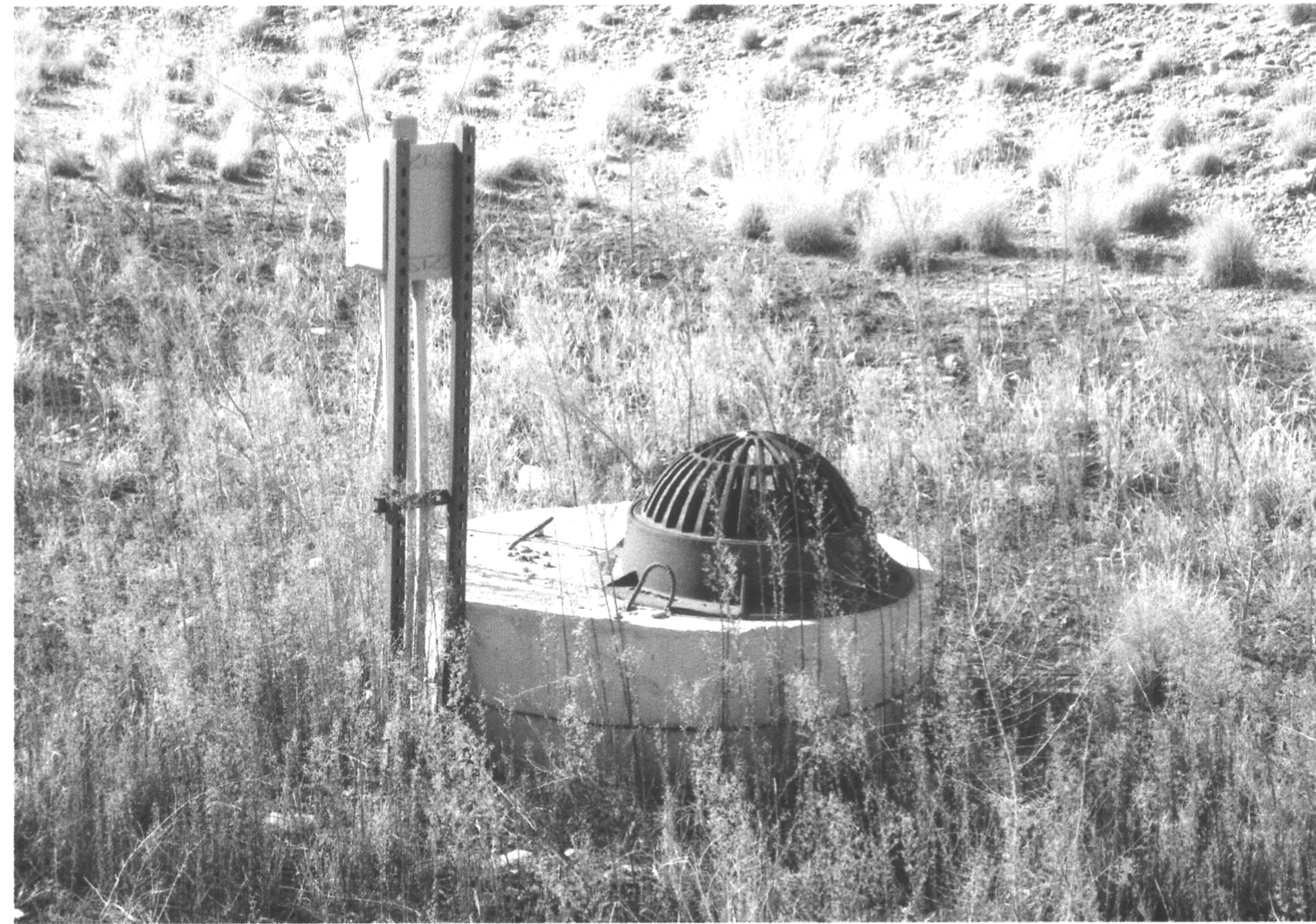
$$H = 12'$$

$$e = 70\% = 0.7$$

$$HP = \frac{0.12 (62.4) 12}{0.7 (550)} = \underline{\underline{0.23}}$$







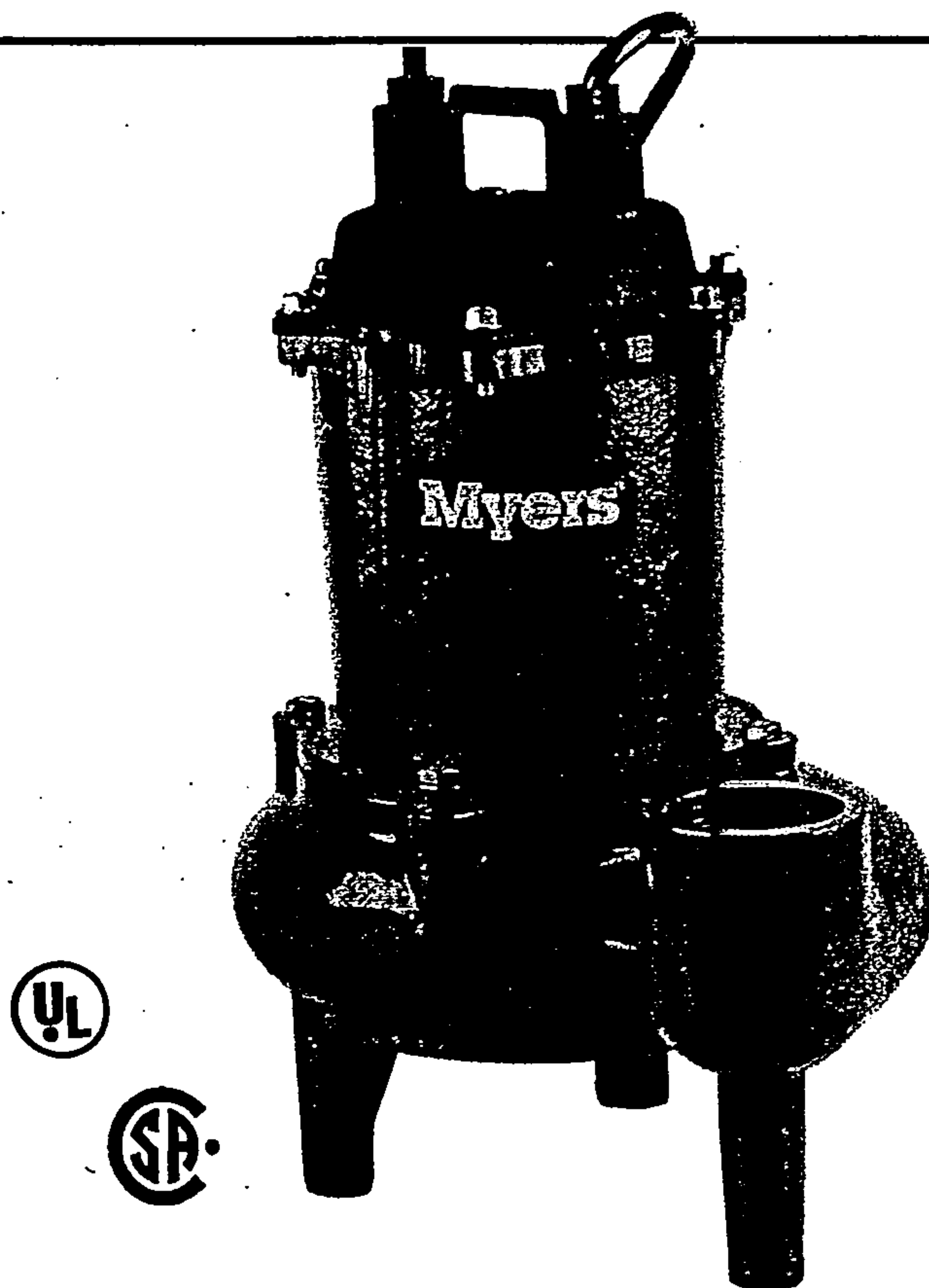
EXISTING SUMP PUMP 1-18-10



# MW50 SERIES

EXISTING PUMP

½ Horsepower  
2" Solids Handling Sewage Pumps



**THE MYERS MW50 SERIES SEWAGE PUMPS PROVIDE BIG PERFORMANCE IN A SMALL PACKAGE.** The enclosed two-vane impeller provides the flow and head required for residential and light commercial sewage applications, and passes a full 2" diameter solid. The MW50 is constructed of only the highest quality corrosion resistant materials - cast iron, stainless steel and engineered thermoplastics - for many years of service in harsh sewage environment. The MW50 is available in manual models for use with external controls or automatic models with piggy-back mechanical float. For more information, call your Myers distributor or the Myers, Ashland, Ohio, sales office at 419-289-1144.

## ADVANTAGES BY DESIGN TWO VANE IMPELLER DESIGN PROVIDES MAXIMUM EFFICIENCY

- Enclosed design for high efficiency pumping.
- Eliminates possibility of jamming between impeller and volute.
- Passes a full 2 inch solid.
- Original performance can be restored if wear occurs by replacing volute seal ring.

## DURABLE MOTOR WILL DELIVER MANY YEARS OF RELIABLE SERVICE

- Oil-filled motor for maximum heat dissipation and continuous bearing lubrication.
- Permanent split capacitor motor eliminates starting switches and relays which are prone to fail.

## THE MW50 IS DESIGNED FOR MANY YEARS OF MAINTENANCE FREE OPERATION

- Positive sealing, quick connect power cord and piggyback float switch make replacement simple if service is ever necessary.
- Field tested, wide angle, mercury-free mechanical float switch provides maximum draw down. (Automatic models only.)

## PRODUCT CAPABILITIES

|                               |  |                 |
|-------------------------------|--|-----------------|
| Capacities To                 | 135 GPM  | 510 LPM         |
| Heads To                      | 27 ft.   | 8.23 m          |
| Max. Spherical Solids         | 2 in.  | 50.6 mm         |
| Liquids Handling              | domestic sewage & drain water  |                 |
| Intermittent Liquid Temp.     | up to 140° F   | up to 60° C     |
| Motor Electrical Data         | ½ hp, 1625 rpm<br>PSC (1 Ph), oil-filled<br>115 volts, 9.0 amps, 1 ph, 60 Hz<br>230 volts, 4.5 amps, 1 ph, 60 Hz |                 |
| Third Party Approvals         | UL, CSA  |                 |
| Acceptable pH Range           | 5-9  |                 |
| Specific Gravity              | .9-1.1   |                 |
| Viscosity                     | 28-35 SSU  |                 |
| Discharge, NPT                | 2 in.  | 50.8 mm         |
| Min. Sump Dia. Simplex Duplex | 24 in.<br>36 in.   | 61cm<br>91.4 cm |

| Construction Materials |                                    |
|------------------------|------------------------------------|
| Motor Housing          | cast iron, Class 30, ASTM A48      |
| Impeller               | enclosed, engineered thermoplastic |
| Impeller Wear Ring     | 304 SST                            |
| Volute                 | cast iron, Class 30, ASTM A48      |
| Volute Sealing Ring    | Buna-N                             |
| Power Cord             | 20 ft. 16/3 SJTW/SJTW-A            |
| Mechanical Shaft Seal  | carbon & ceramic                   |
| Fasteners              | 300 Series SST                     |

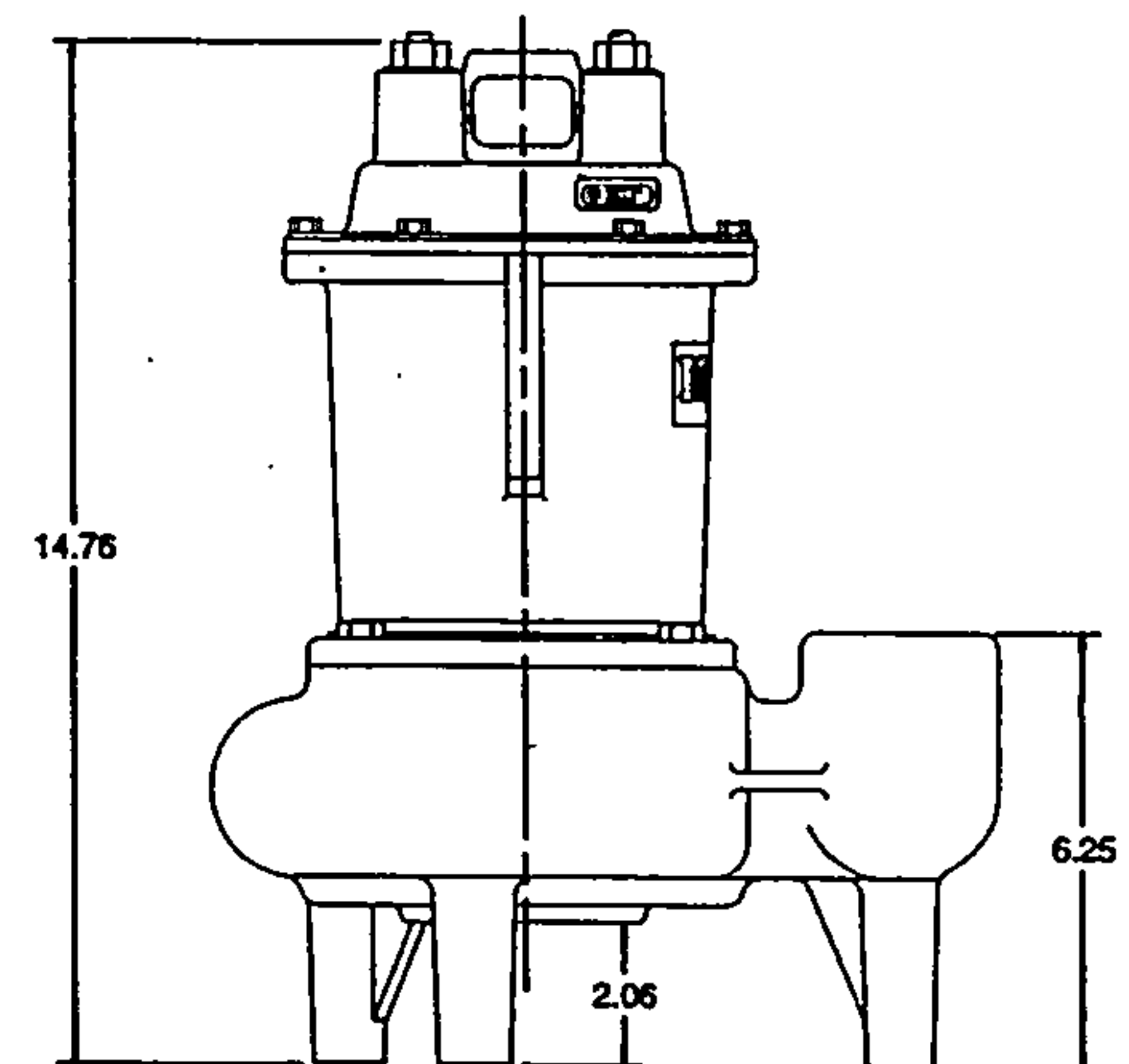
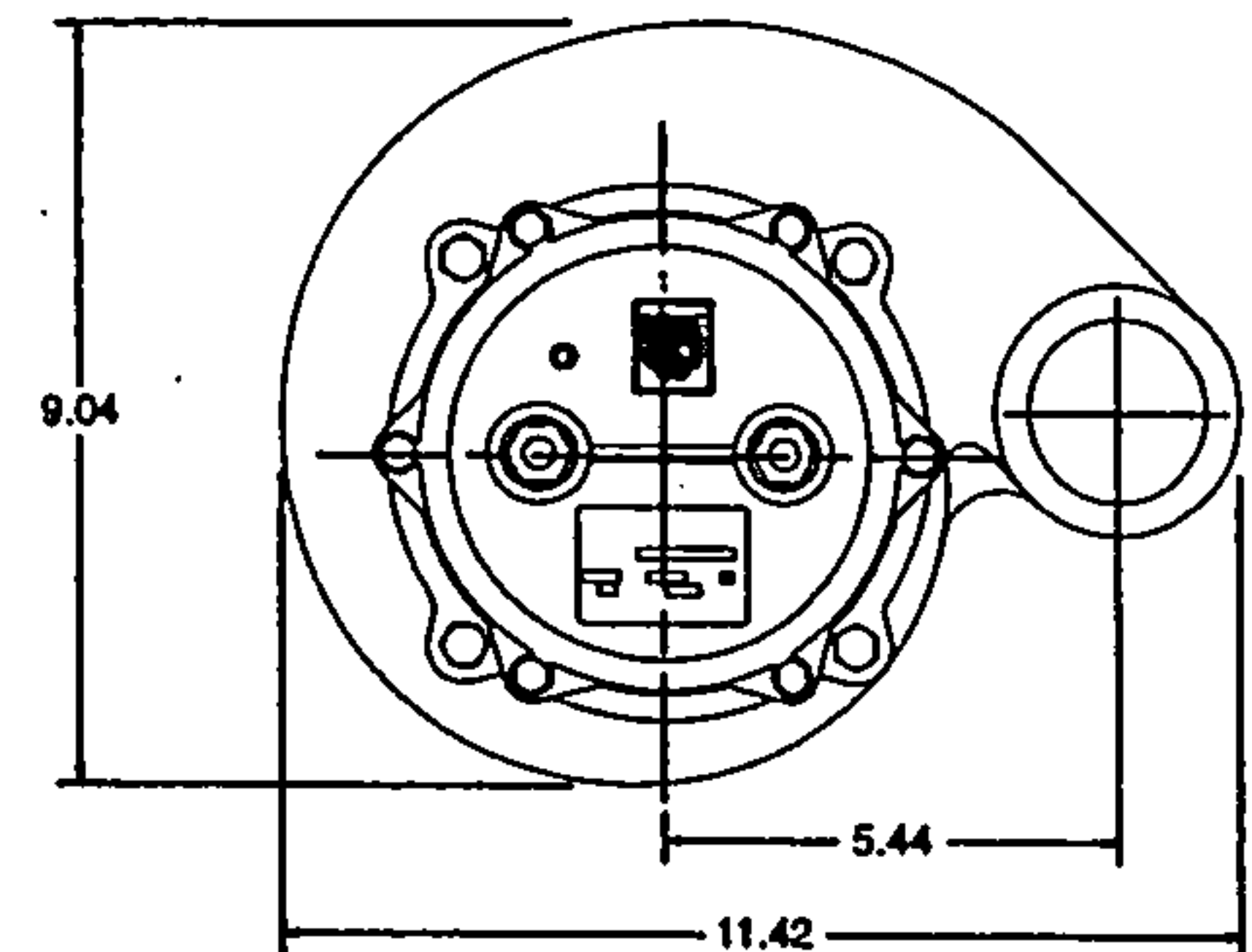
WHERE INNOVATION MEETS TRADITION

**Myers®**

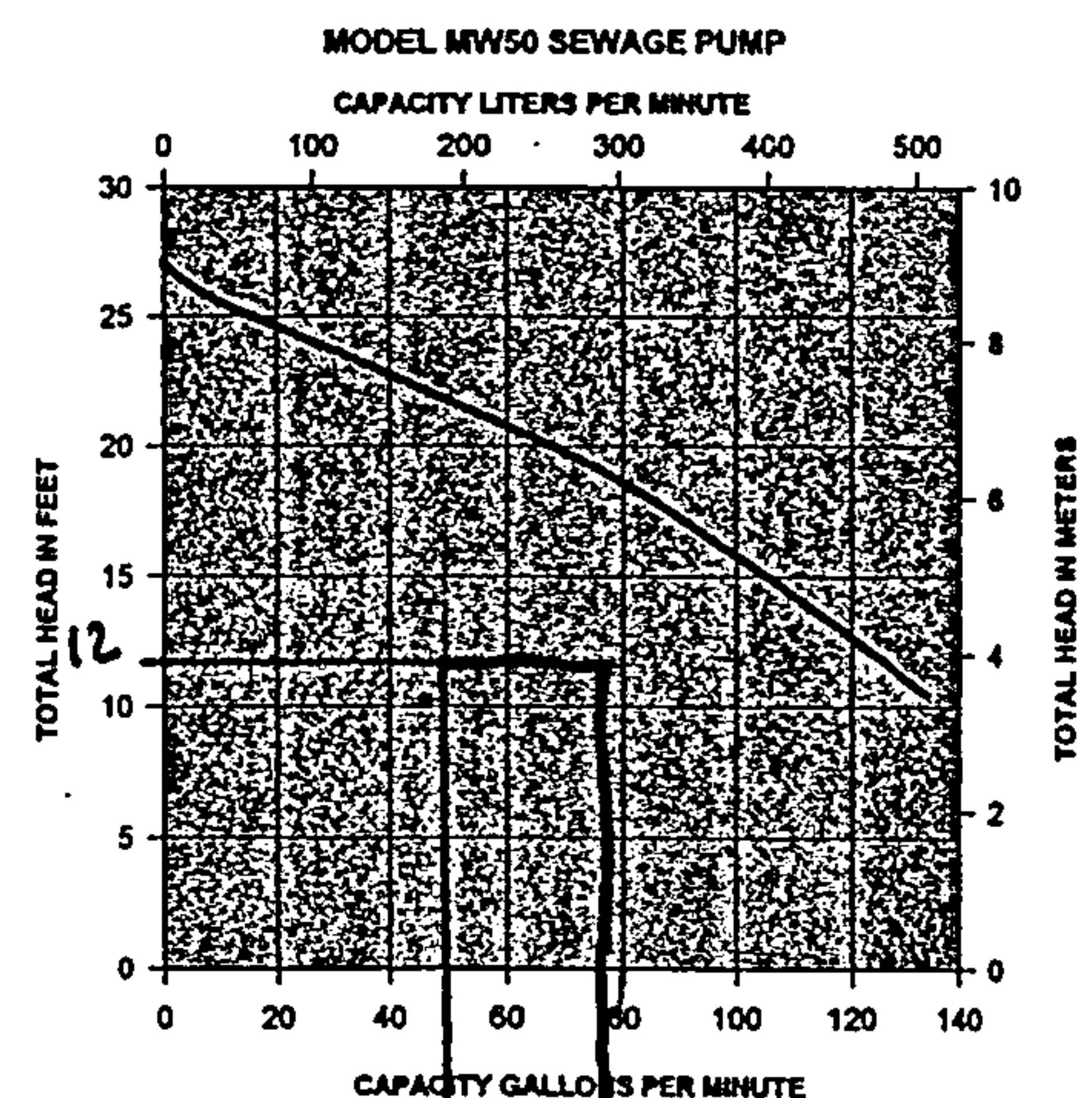
# MW50 SERIES

1/2 Horsepower  
2" Solids Handling Sewage Pumps

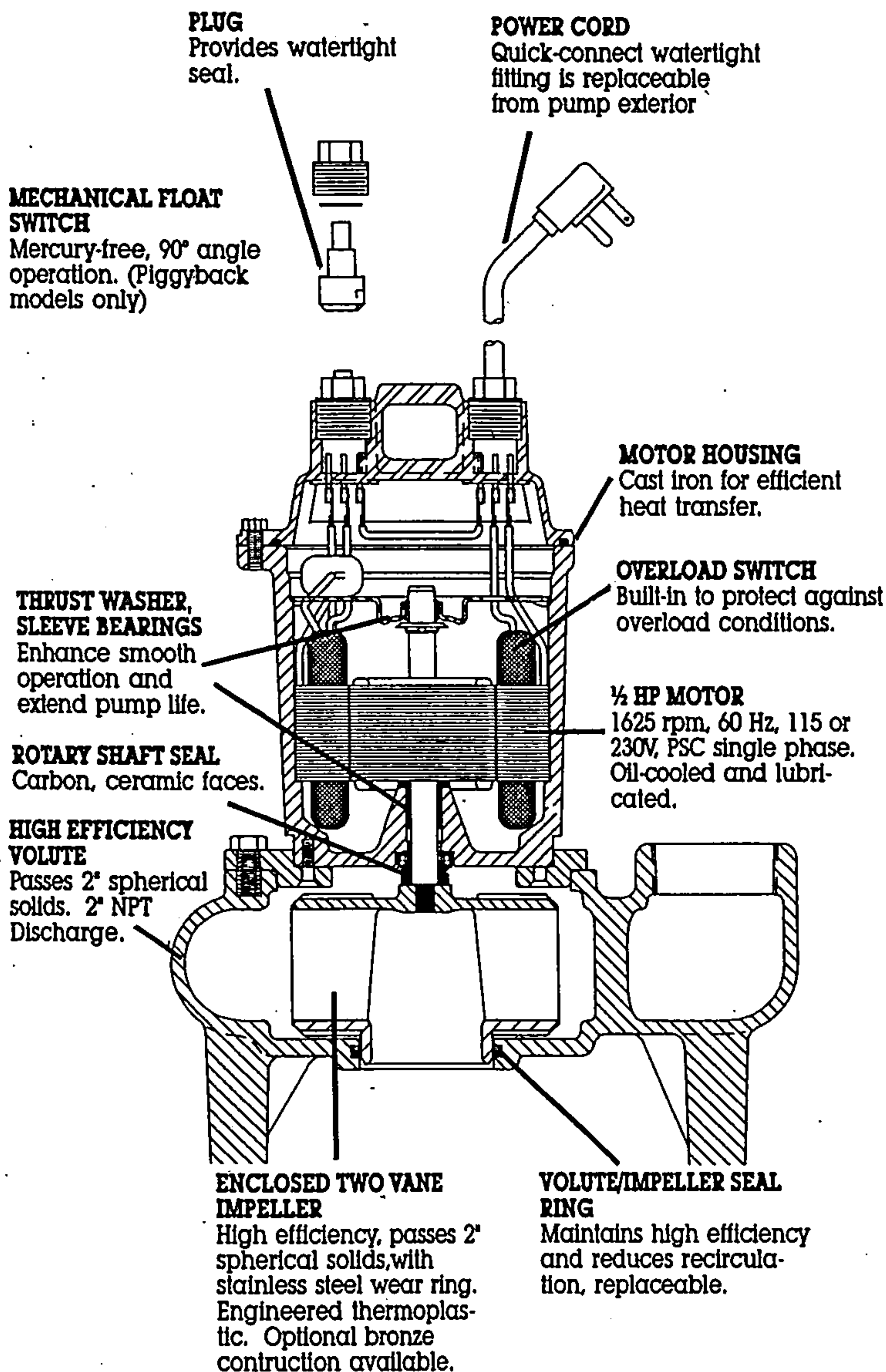
## DIMENSIONS



## PERFORMANCE CURVE



PH 1 - (54) (79) - PH 2

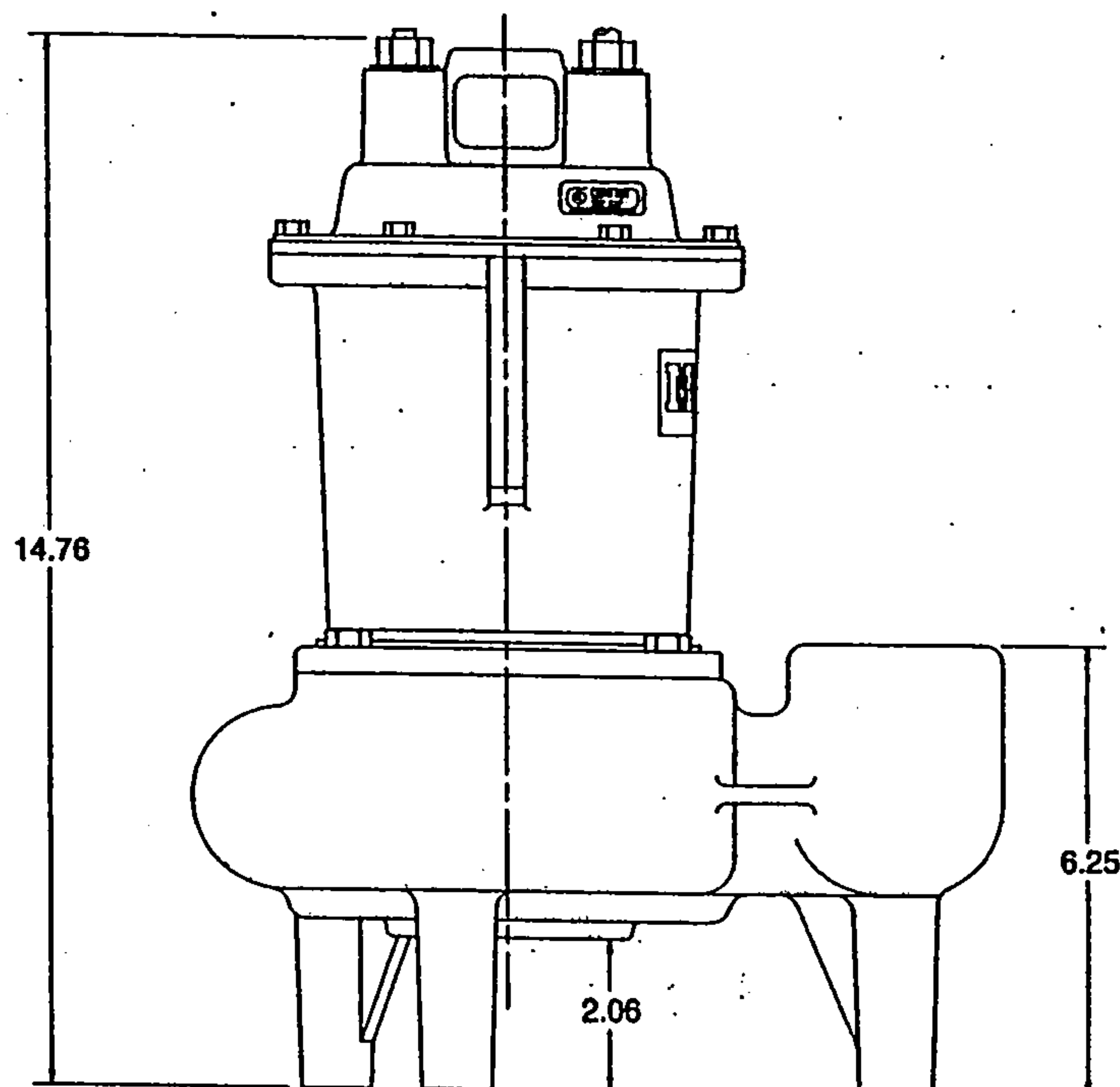
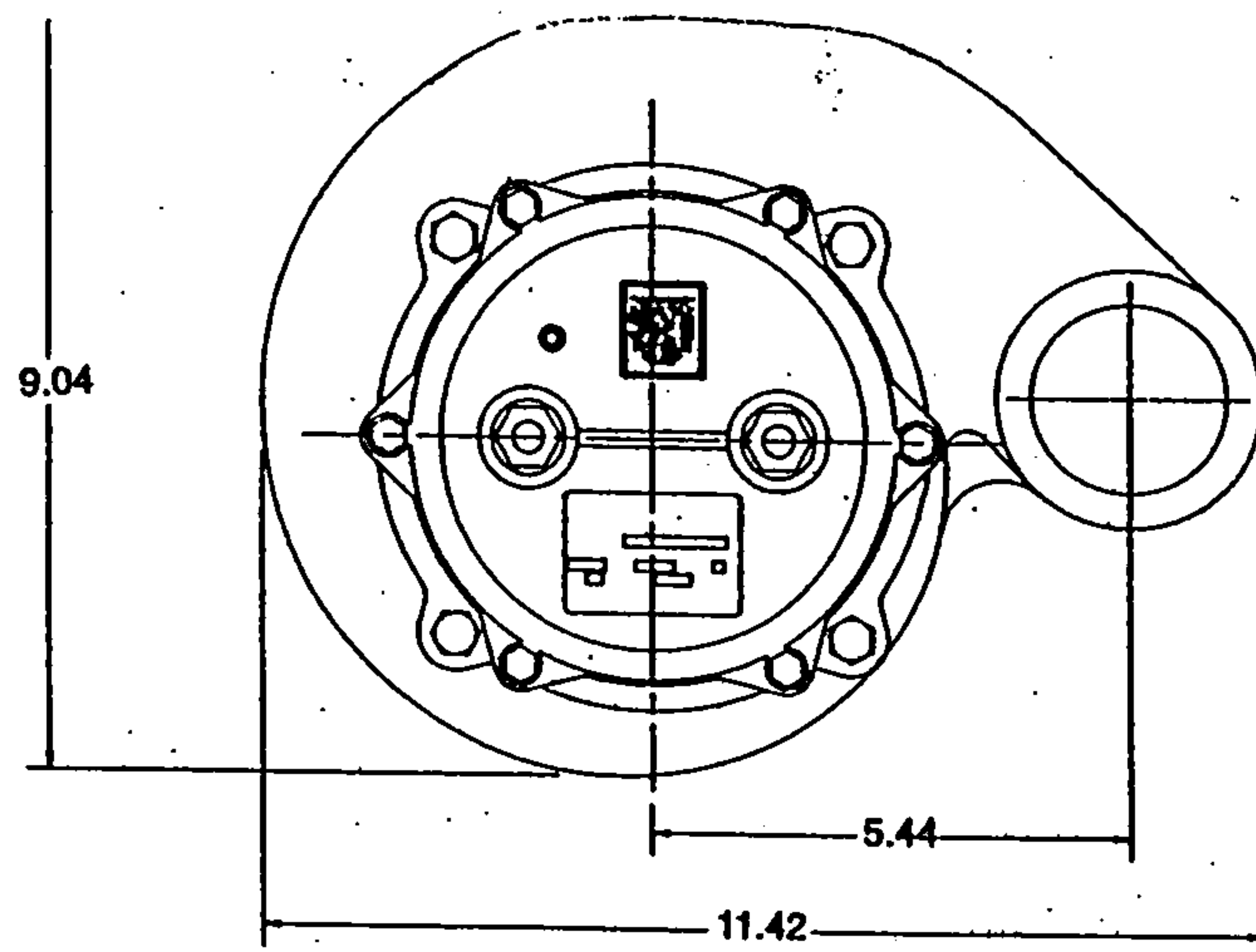


# MW50 Series

1/2 Horsepower

2" Solids Handling Sewage Pumps

# Myers®



F. E. Myers, 1101 Myers Parkway, Ashland, Ohio 44805-1969  
419/289-1144 • FAX 419/289-6658 • Telex 98-7443



# MW50 SEWAGE PUMP SPECIFICATIONS

**SEWAGE PUMPS** - Pump(s) shall be F. E. Myers MW50 series sewage pumps selected in accordance with the following design criteria:

Number of Pumps:  
Primary Design Flow:  
Primary Design Head:  
Minimum Shut-off Head:  
Motor Horsepower:  
Motor Speed:  
Electrical:

2  
54 GPM - PHASE 1  
12'  
27'  
1/2  
1625 RPM  
115 Volts, 1 PH, 60 Hz or  
230 Volts, 1 PH, 60 Hz

→ PHASE 2 = 79 GPM

**PUMP** - The pump shall be designed to handle raw sewage and be capable of passing 2 inch spherical solids. The pump shall be capable of handling liquids with temperatures to 140°F intermittent.

**MOTOR** - The pump motor shall be of the submersible type rated 1/2 hp at 1625 RPM and shall be for \_\_\_\_\_ 115 volts or \_\_\_\_\_ 230 volts single phase, 60 cycles. Single phase motor shall be of the permanent split capacitor type with no relays or starting switches. Stator winding shall be of the open type with Class A insulation rated for 105°C maximum operating temperature. The winding housing shall be filled with clean dielectric oil to lubricate bearings and seals, and transfer heat from the windings to the outer shell. The motor winding assembly shall be pressed into the stator housing for best alignment and heat transfer.

The motor shall be capable of operating over the full range of the performance curve without overloading the motor and causing any objectionable noise or vibration. The motor shall have two bearings to support the rotor; an upper sleeve bearing to accommodate radial loads and a lower sleeve bearing to take thrust and radial loads.

A heat sensor thermostat and overload shall be attached to the top end of the motor windings and shall be wired in series with the windings to stop the motor if the motor winding temperature reaches 221° F. The overload thermostat shall reset automatically when the motor cools to a safe operating temperature.

**POWER AND SWITCH CORDS** - The motor power cord shall be 20 feet SJTW/SJTW-A type. The power cord shall be of the positive sealing, quick-disconnect type. The power cable connection shall be sealed at the motor entrance by means of a compression nut which serves to make a positive electrical connection and prevent water from entering the cable jacket and motor housing.

**OPTIONAL CONTROL SWITCH** - The effluent pump shall be controlled by an optional piggy-back float switch. The float switch shall be of the mechanical, non-mercury type and be capable of directly controlling the pump motor without the need for an external control panel.

**SHAFT SEAL** - The motor shall be protected by a rotating mechanical shaft seal. The seals shall have carbon and ceramic seal faces lapped to a tolerance of one light band. Metal parts and springs for seals shall be 300 series stainless steel.

**PUMP IMPELLER** - The pump impeller shall be of the two vane enclosed type. The impeller shall be constructed of engineered thermoplastic or optional bronze. A stainless steel wear ring shall be pressed onto the neck of the impeller to provide a sealing surface. A replaceable Buna-N sealing cup shall effect a seal between the volute and impeller in order to maintain high efficiency and prevent recirculation.

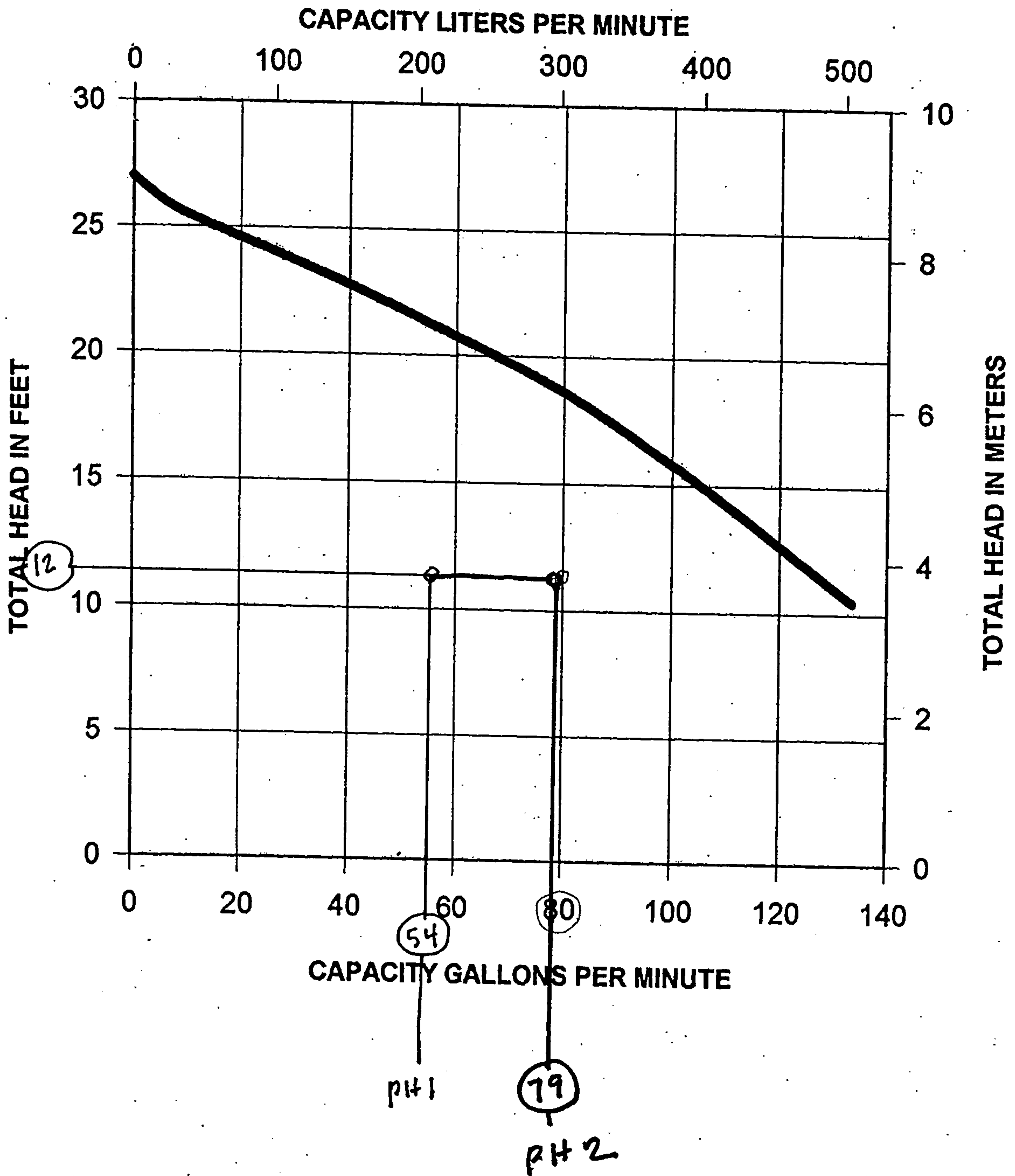
**MOTOR CASTINGS** - The motor housing castings shall be of high tensile strength Class 30 gray cast iron. Castings shall be treated with phosphate rinse and painted with a high quality air dry alkyd enamel for corrosion protection.

**PUMP CASE** - The pump case shall be a high efficiency volute design capable of passing 2 inch spherical solids. The pump volute shall be constructed of high tensile strength Class 30 gray cast iron.

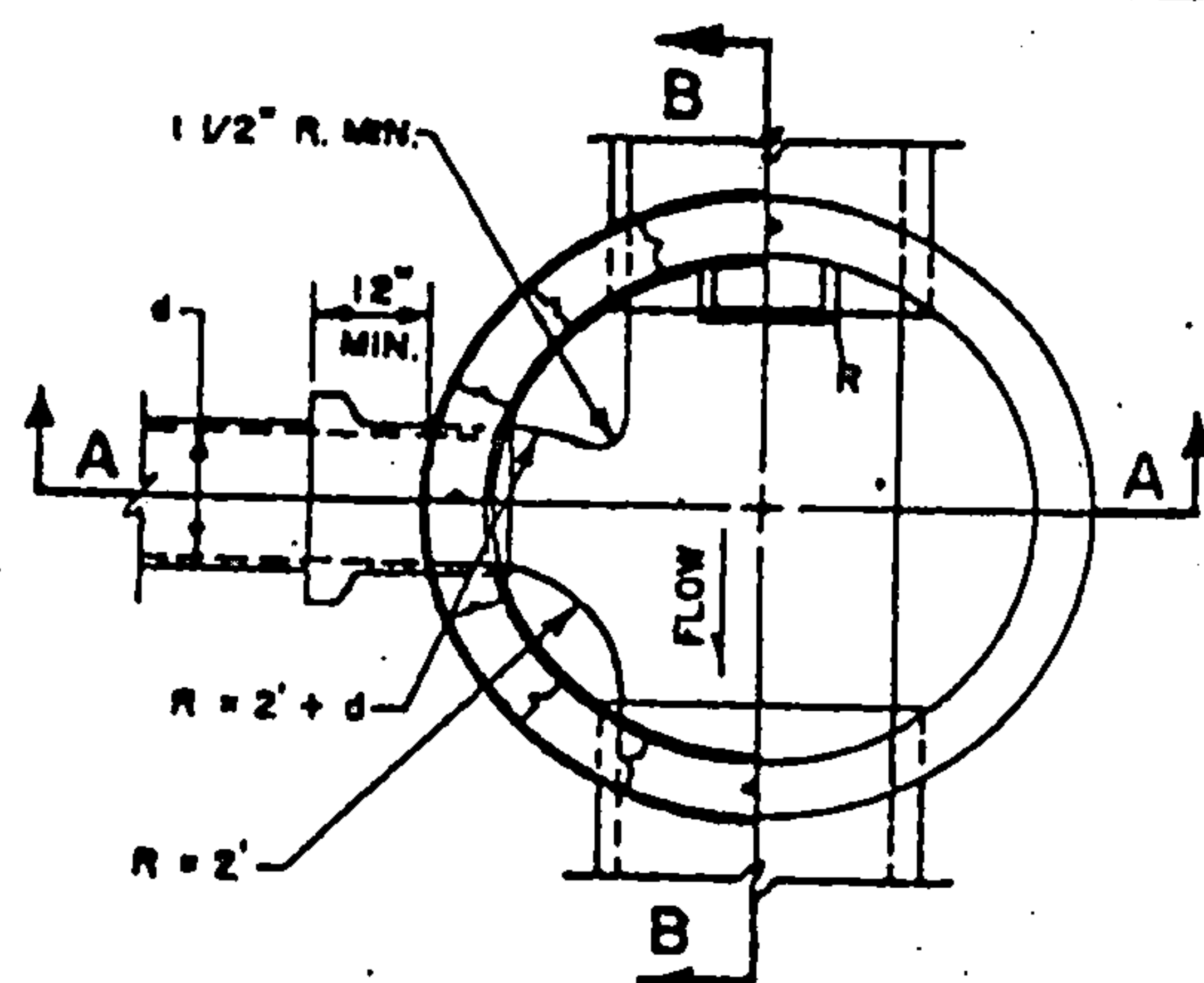
**FASTENERS** - All exposed fasteners shall be of 300 series stainless steel.

**THIRD PARTY APPROVALS** - The pump shall be UL and CSA listed.

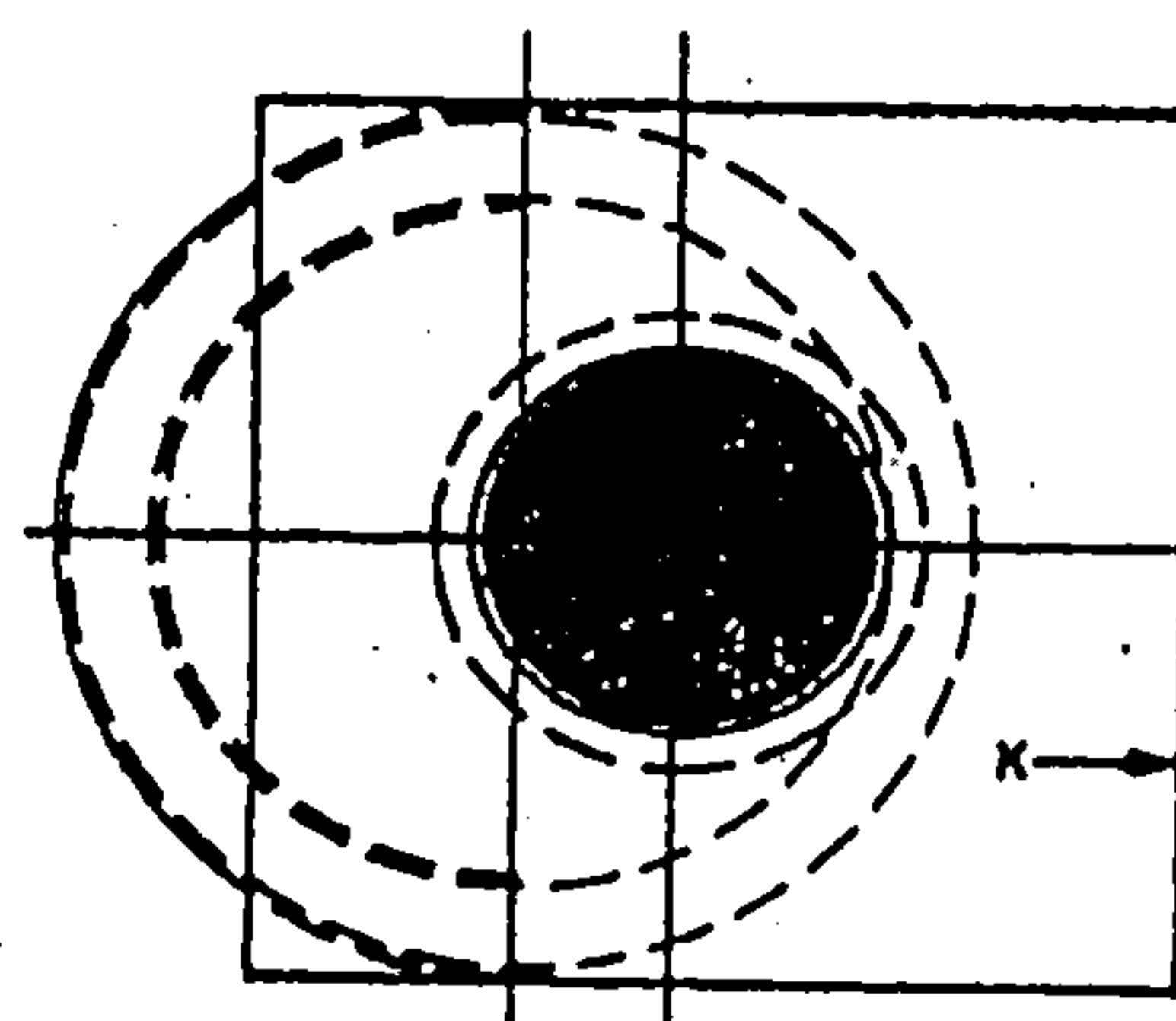
# MW50 SEWAGE PUMP



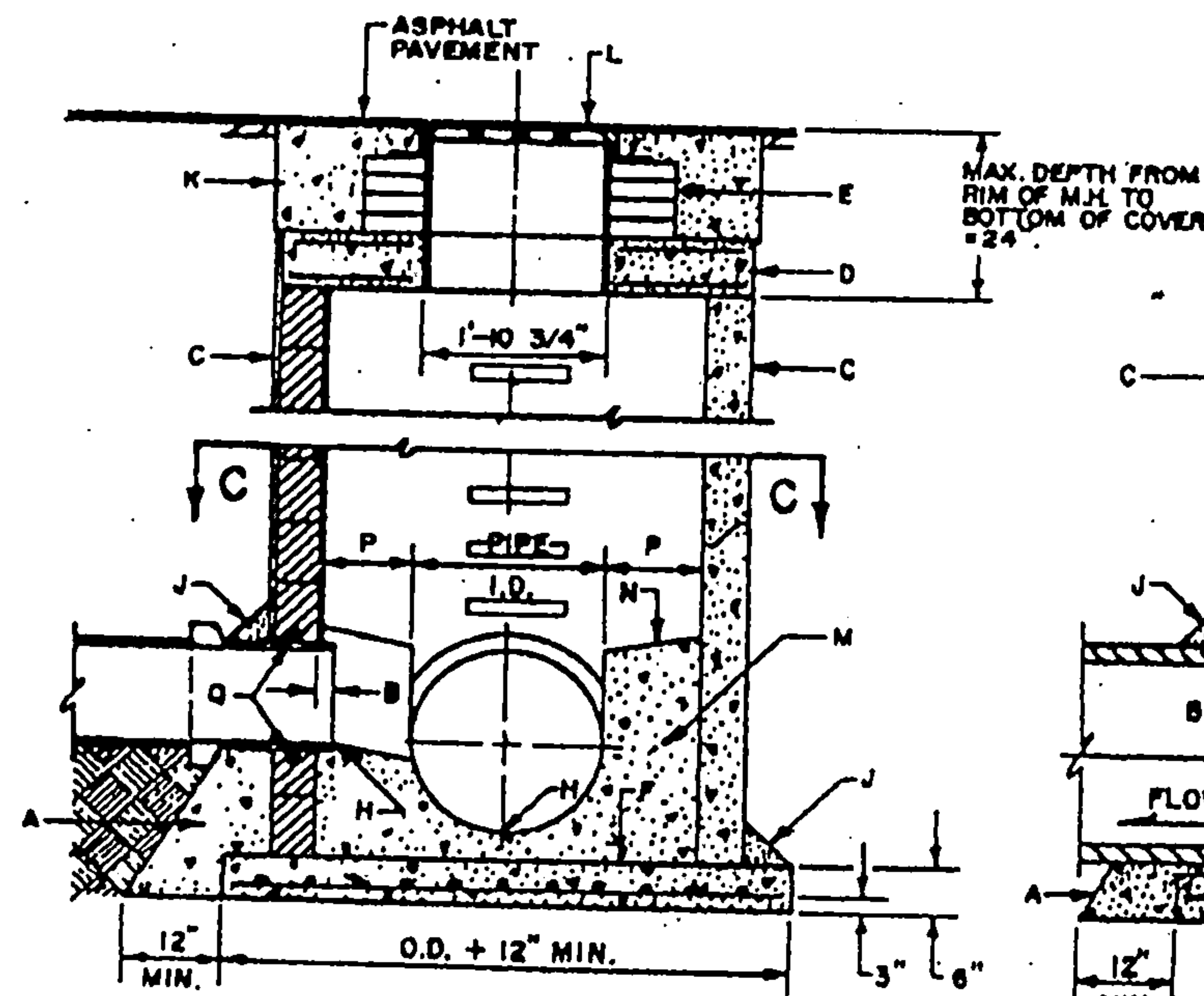




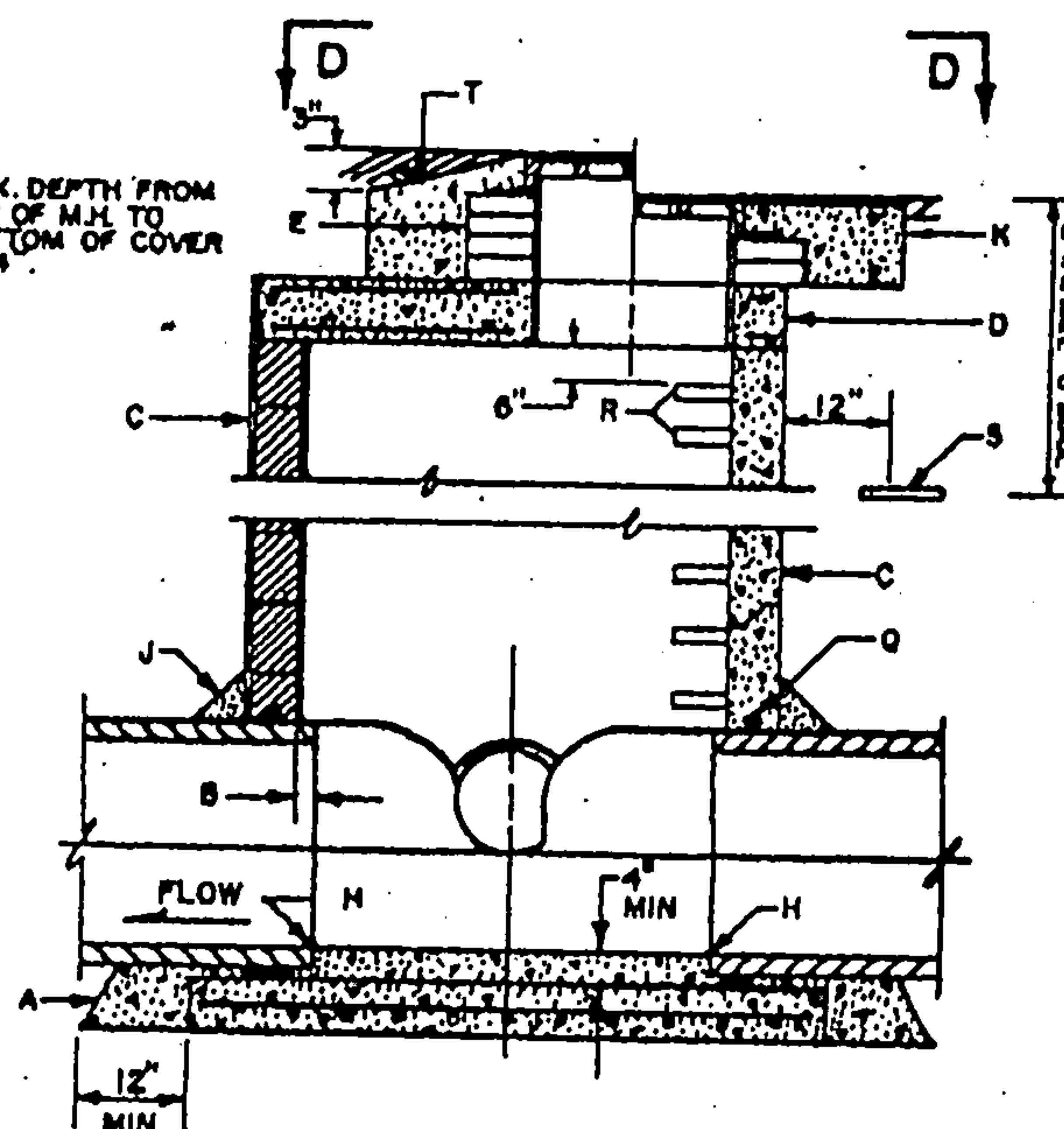
PLAN AT C-C



PLAN AT D-D



CROSS SECTION A-A



CROSS SECTION B-B

# GENERAL NOTES

1. USE TYPE "C" MANHOLE FOR DEPTHS OF LESS THAN 6' MEASURED FROM INVERT TO RIM.
2. CONTRACTOR HAS OPTION TO CONSTRUCT TYPE "C" MANHOLE IN LINE OF TYPE "H" MANHOLE FOR DEPTHS OF 6' OR MORE.
3. DESIGN APPLIES TO 4' TO 6' I.D. MANHOLES.
4. MANHOLE GREATER THAN 18' IN DEPTH SHALL ONLY BE CONSTRUCTION PRECAST CONCRETE SECTIONS.
5. USE NON-SHRINK GROUT FOR JOINTS, FILLETS AND PENETRATIONS.
6. COMPACT ALL BACKFILL AROUND MANHOLE TO 95%.
7. POSITION MANHOLE OPENING OVER THE UPSTREAM SIDE OF MAIN LINE.

# CONSTRUCTION NOTES

- A. CONCRETE PIPE SUPPORTS SHALL EXTEND OUTSIDE OF MANHOLE TO HELL OF FIRST JOINT AND SHALL CRADLE PIPE TO SPRING LINE NOT APPLICABLE FLEXIBLE PIPE
- B. PIPE PENETRATION INTO MANHOLE SHALL BE FLUSH TO 2" MAX., MEASURED AT SPRINGLINE OF PIPE.
- C. MANHOLE MAY BE CONSTRUCTED OF CONCRETE BLOCK, CR. BR. BRICK, POURED CONCRETE OR PRECAST REINFORCED CONCRETE IF BLOCK OR BRICK PLASTER INSIDE AND OUT WITH 1/2" MORTAR. SEE DWG. 2118 FOR DETAILS.
- D. PRECAST CONCRETE COVER, SEE DWG. 2107.
- E. USE MAX., 4 COURSES CR. BR. BRICK ON UNPAVED STREET FOR FUTURE ADJUSTMENT OF MANHOLE FRAME TO PAVEMENT GRADE PLASTER INSIDE WITH 1/2" MORTAR.
- F. CONCRETE BASE TO BE POURED IN PLACE USING NO. 4 BARS AT 6" O.C. EA. WAY FOR MANHOLE DEPTH OF 16' OR GREATER. NO. 4 BARS AT 12" O.C. EA. WAY FOR MANHOLE LESS THAN 16' IN DEPTH.
- G. INVERT ELEVATION OF STUB OR LATERAL AS SHOWN ON PLANS.
- H. 6" GROUT FILLET ON UPPER HALF OF PIPE AND AROUND BASE.
- I. USE A 5' X 5' CONCRETE PAD IN ALL AREAS.
- J. FRAME AND COVER, SEE DWG. 2110.
- K. CONCRETE, SEE SECTION 101.
- L. SLOPE 1" PER FT. FROM PIPE CROWN.
- M. SHELF TO BE 9" WIDE MIN.
- N. APPROVED WATERSTOP TO BE COMPATIBLE WITH TYPE OF PIPE.
- O. STEPS TO BE INSTALLED AS PER SPEC. SECTION 920.
- P. EMD (IN UNPAVED AREAS).
- Q. IN UNPAVED AREAS SET FRAME TO GRADE AND SLOPE TOP OF PAD.

EXISTING

| REVISIONS |
|-----------|
| 11-14-91  |

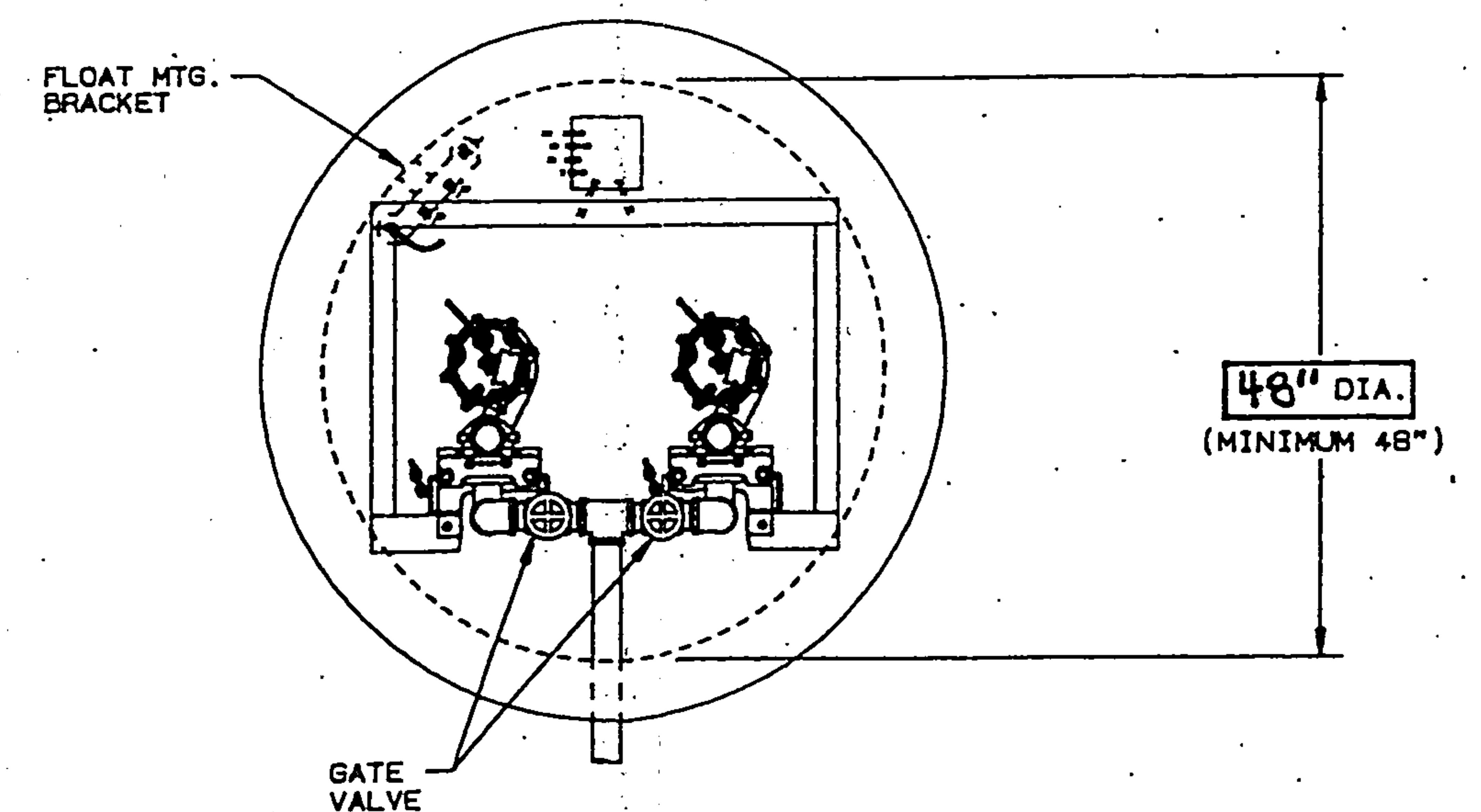
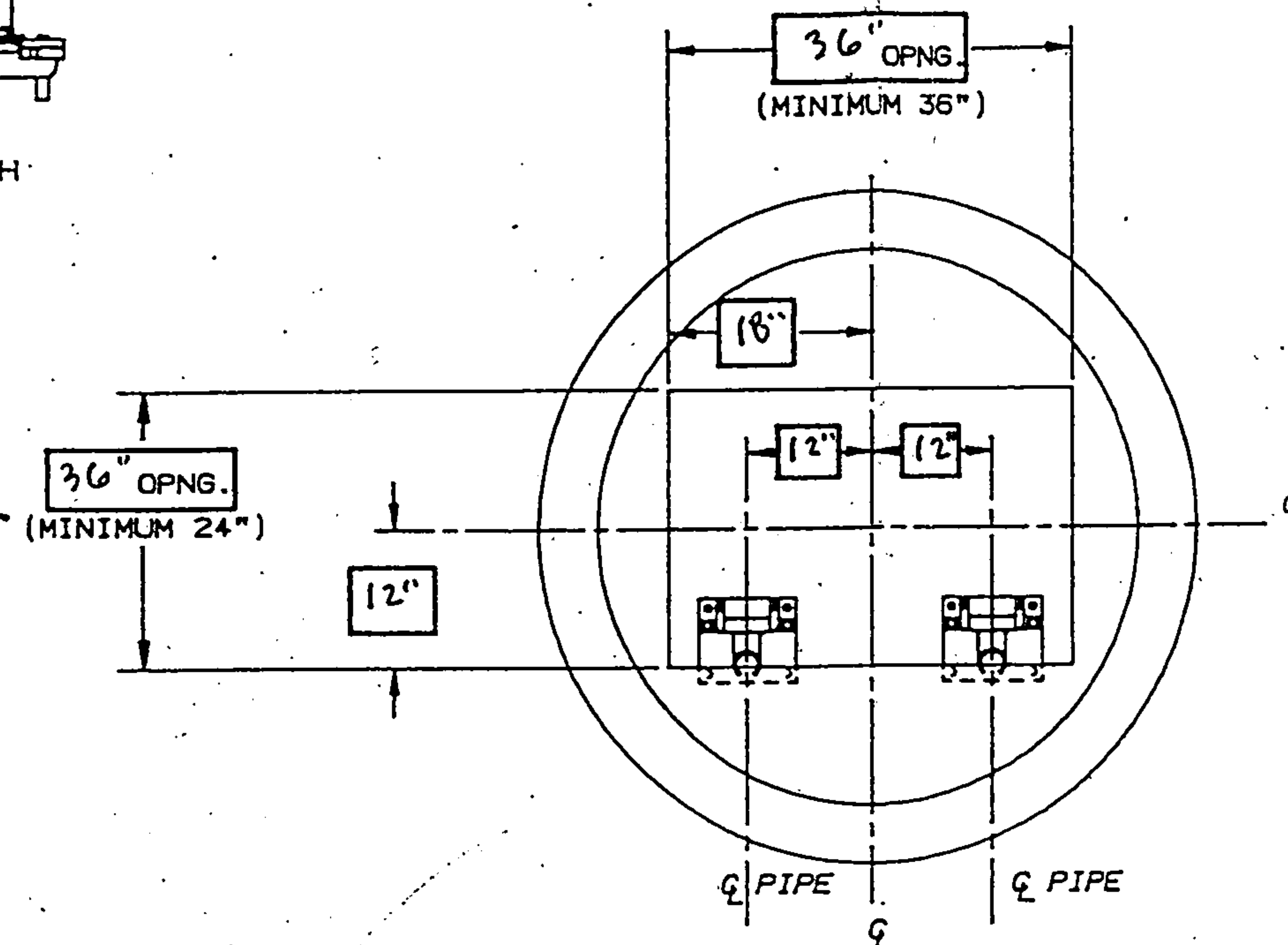
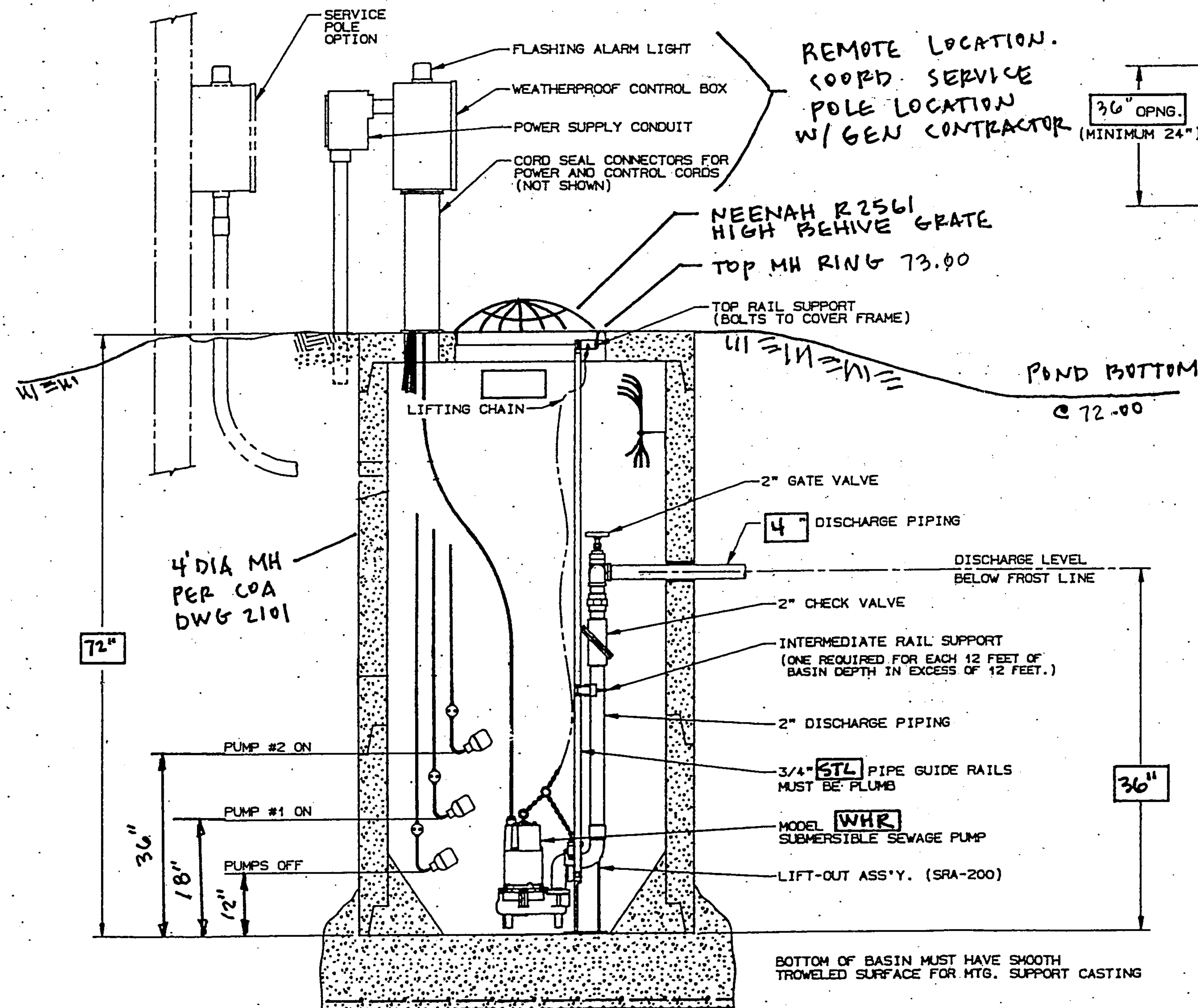
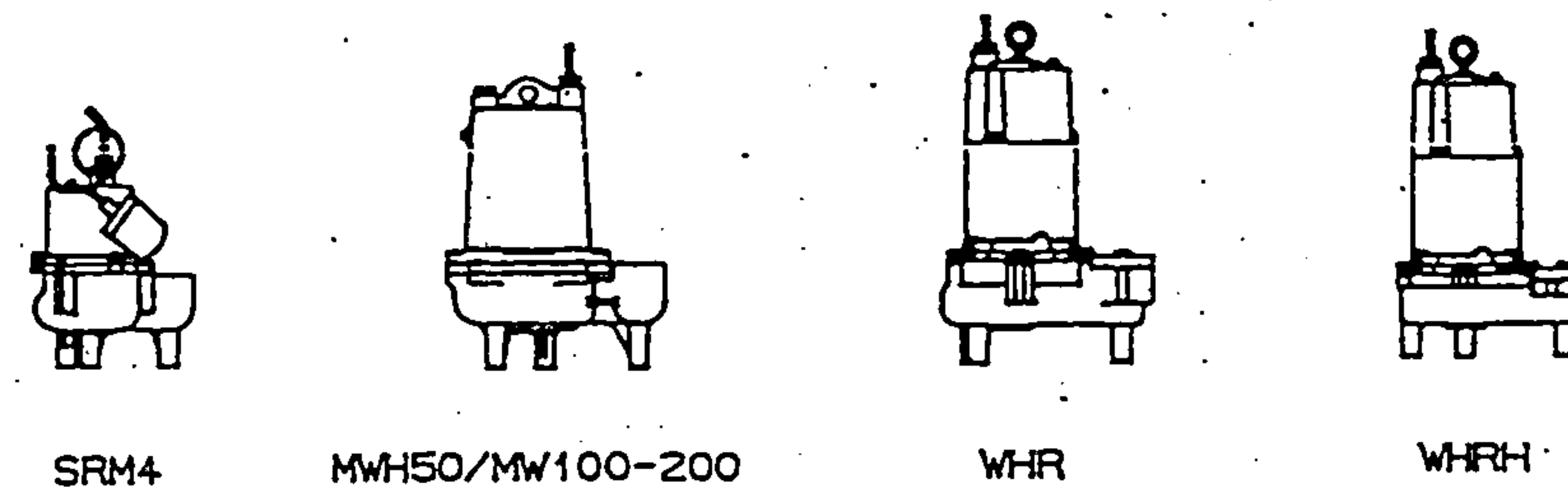
|                     |
|---------------------|
| CITY OF ALBUQUERQUE |
| SEWER               |
| MANHOLE TYPE "C"    |
| DWG. 2101           |
| AUG. 1986           |

# TYPICAL INSTALLATION

DUPLEX SUBMERSIBLE SEWAGE PUMP

PUMP SERIES: ~~SRM4~~ MWH50, MW100-200  
WHRH

LIFT OUT MODELS: SRA-200



EXISTING



# CITY OF ALBUQUERQUE



February 12, 2010

Dennis Lorenz, P.E.  
Brasher & Lorenz  
2201 San Pedro NE, Building 1 Suite 1200  
Albuquerque, NM 87110

Re: Diersen Charities Phase II, 2331 Menaul Boulevard NE,  
Traffic Circulation Layout  
Engineer's Stamp dated 02-10-10 (H16-D137)

Dear Mr. Lorenz,

The TCL submittal received 02-10-10 is approved for Building Permit. The plan is stamped and signed as approved. A copy of this plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation. **Public infrastructure or work done within City Right-of-Way shown on these plans is for information only and is not part of approval. A separate DRC and/or other appropriate permits are required to construct these items.**

If a temporary CO is needed, a copy of the original TCL that was stamped as approved by the City will be needed. This plan must include a statement that identifies the outstanding items that need to be constructed or the items that have not been built in "substantial compliance," as well as the signed and dated stamp of a NM registered architect or engineer. Submit this TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

When the site is completed and a final C.O. is requested, use the original City stamped approved TCL for certification. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3306.

Sincerely,

Kristal D. Metro, P.E.  
Traffic Engineer, Planning Dept.  
Development and Building Services

C: File

See APRIL 2010 RESUBMITTAL



DRAINAGE AND TRANSPORTATION INFORMATION SHEET  
(Rev. 06/22/2005)

PROJECT TITLE: DIERSEN CHARITIES ZONE MAP/DRG. FILE # H16-D137  
DRB#: NA EPC#: NA WORK ORDER#: NA

LEGAL DESCRIPTION: TRACT F-1 MENAUL DEVELOPMENT AREA  
CITY ADDRESS: 2331 MENAUL NE 87107

ENGINEERING FIRM: BRASHER + LORENZ  
ADDRESS: 2201 SAN PEDRO NE  
CITY, STATE: ALBU NM

CONTACT: D. LORENZ  
PHONE: 888-6088  
ZIP CODE: 87110

OWNER: BISMAS CHARITIES  
ADDRESS: 2500 SEVENTH ST  
CITY, STATE: LOUISVILLE TN

CONTACT: RAY WEIS  
PHONE: 502-636-2033  
ZIP CODE: 40208

ARCHITECT: WILMES + ASSOC  
ADDRESS: 535 W. SECOND ST  
CITY, STATE: LEXINGTON, KY

CONTACT: K. PARR  
PHONE: 859-233-4989  
ZIP CODE: 40508

SURVEYOR: JAKE ARGUELLES  
ADDRESS: \_\_\_\_\_  
CITY, STATE: ALBU NM

CONTACT: J. ARGUELLES  
PHONE: 915-0998  
ZIP CODE: \_\_\_\_\_

CONTRACTOR: HART CONSTRUCTION  
ADDRESS: 2919 SECOND ST NW  
CITY, STATE: ALBU NM

CONTACT: R. GONZALES  
PHONE: 345-4001  
ZIP CODE: 87107

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT  
☐ DRAINAGE PLAN 1<sup>st</sup> SUBMITTAL  
☐ DRAINAGE PLAN RESUBMITTAL  
☐ CONCEPTUAL G & D PLAN  
☐ GRADING PLAN  
☐ EROSION CONTROL PLAN  
☐ ENGINEER'S CERT (HYDROLOGY)  
☐ CLOMR/LOMR  
☒ TRAFFIC CIRCULATION LAYOUT  
☐ ENGINEER'S CERT (TCL)  
☐ ENGINEER'S CERT (DRB SITE PLAN)  
☐ OTHER

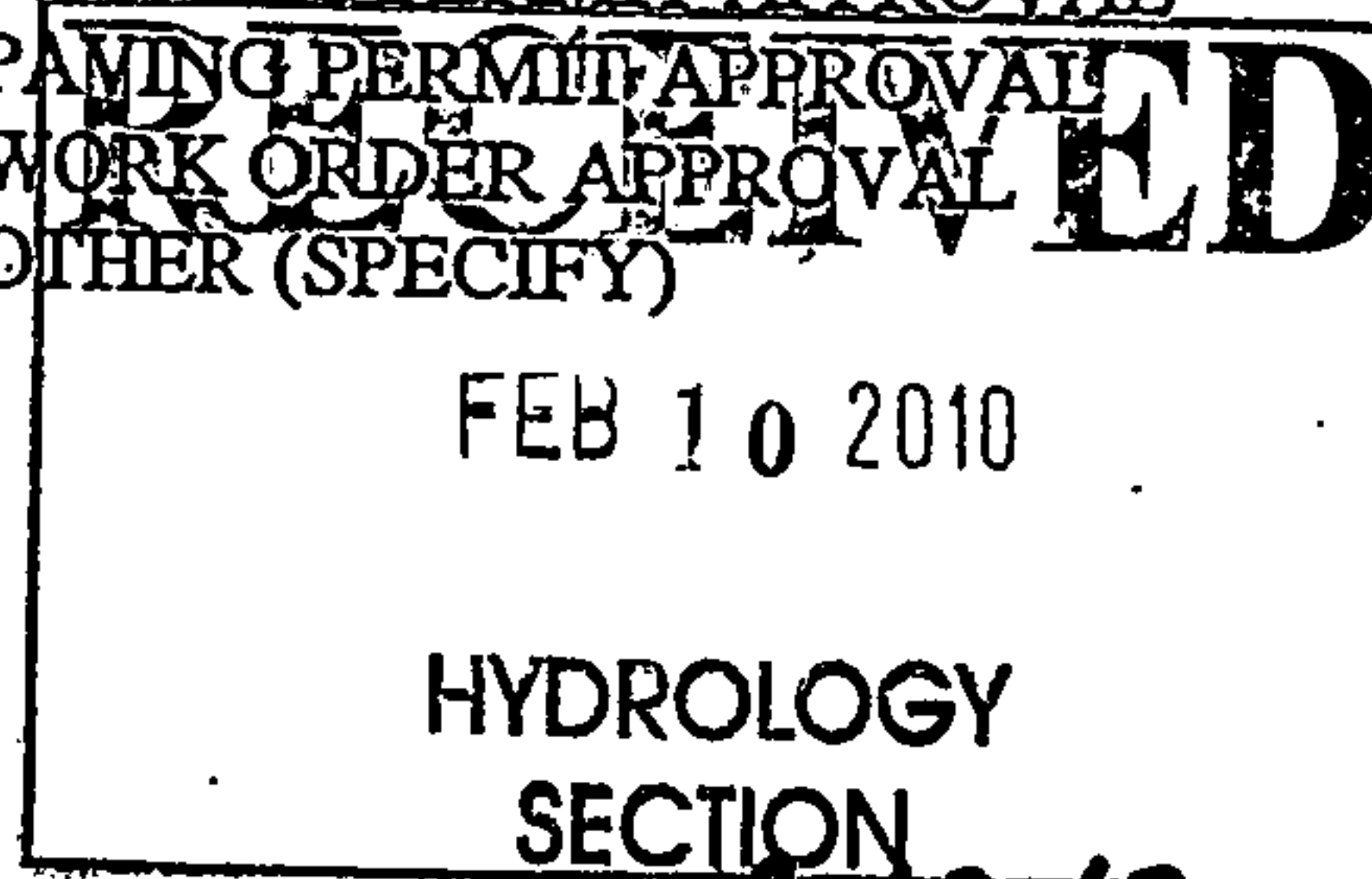
CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE  
☐ PRELIMINARY PLAT APPROVAL  
☐ S. DEV. PLAN FOR SUB'D APPROVAL  
☐ S. DEV. FOR BLDG. PERMIT APPROVAL  
☐ SECTOR PLAN APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ FOUNDATION PERMIT APPROVAL  
☒ BUILDING PERMIT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY (PERM)  
☐ CERTIFICATE OF OCCUPANCY (TEMP)  
☐ GRADING PERMIT APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ WORK ORDER APPROVAL  
☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES  
☒ NO  
☐ COPY PROVIDED

SUBMITTED BY: DENNIS LORENZ



DATE: 2-10-10

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.



**BRASHER & LORENZ, INC.**  
**CONSULTING ENGINEERS**

2201 San Pedro NE Bldg 1 Suite 1300 • Albuquerque, NM 87110 • Phone (505) 888-6088 • Fax (505) 888-6188 • www.brasherlorenz.com

February 10, 2010

Kristal D. Metro, PE  
Traffic Engineer, Planning Department  
Development and Building Services  
City of Albuquerque  
600 Second Street NW  
Albuquerque, NM 87103

**SUBJECT: DIERSEN CHARITIES, PHASE II**  
2331 Menaul Blvd NE (H-16/D137)

Dear Kristal:


Submitted herewith for approval are two (2) copies of the revised TCL. Also submitted for your reference is the TCL for Phase I development approved 12-10-2004. The comments listed in your letter dated January 22, 2010 are addressed as follows:

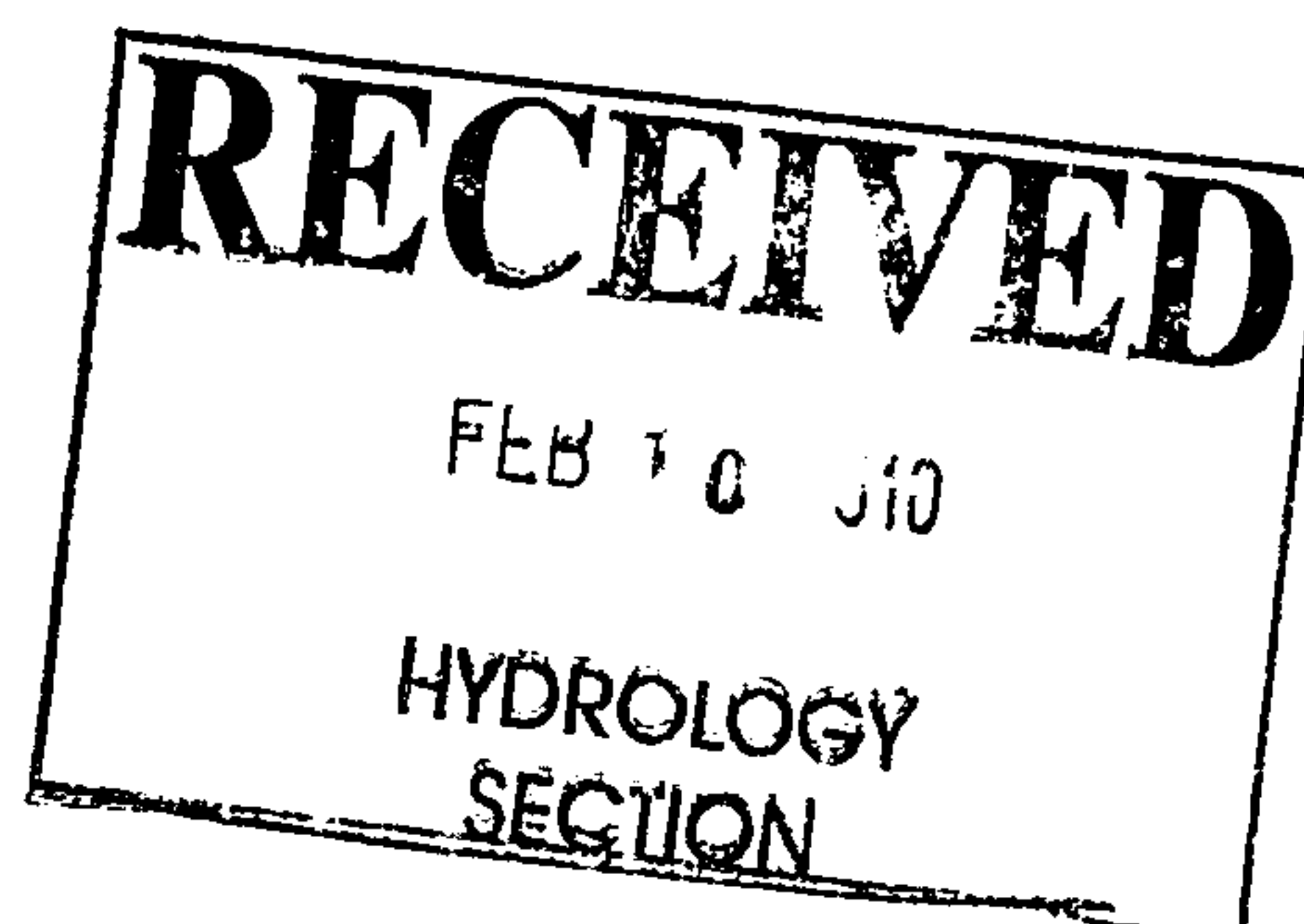
1. The radii for all curbs are dimensioned.
2. The end isle adjacent to parking space 18 has been modified per DPM criteria. The result is one less parking space.
3. The existing 5' wide pedestrian pathway to Menaul is to be re-striped at 6' wide. The existing spaces adjacent the pedestrian way will be reduced to 8.5' wide to accommodate this change. The pedestrian way is clearly identified on the plan.
4. The proposed sidewalks have been increased in width to 6' minimum.
5. The existing sidewalk widths are dimensioned by keyed notes.
6. All existing and proposed accessible ramps are clearly labeled.
7. The 3 foot ROW dedication occurred by replat during Phase I development (Book 2005C, page 53, filed 02-08-2005). The note referencing the pending ROW dedication has been removed.

If you have any questions or concerns please call me.

Sincerely,

**BRASHER & LORENZ, INC.**

  
Dennis A. Lorenz, PE  
Principal



/dl/09566  
encl



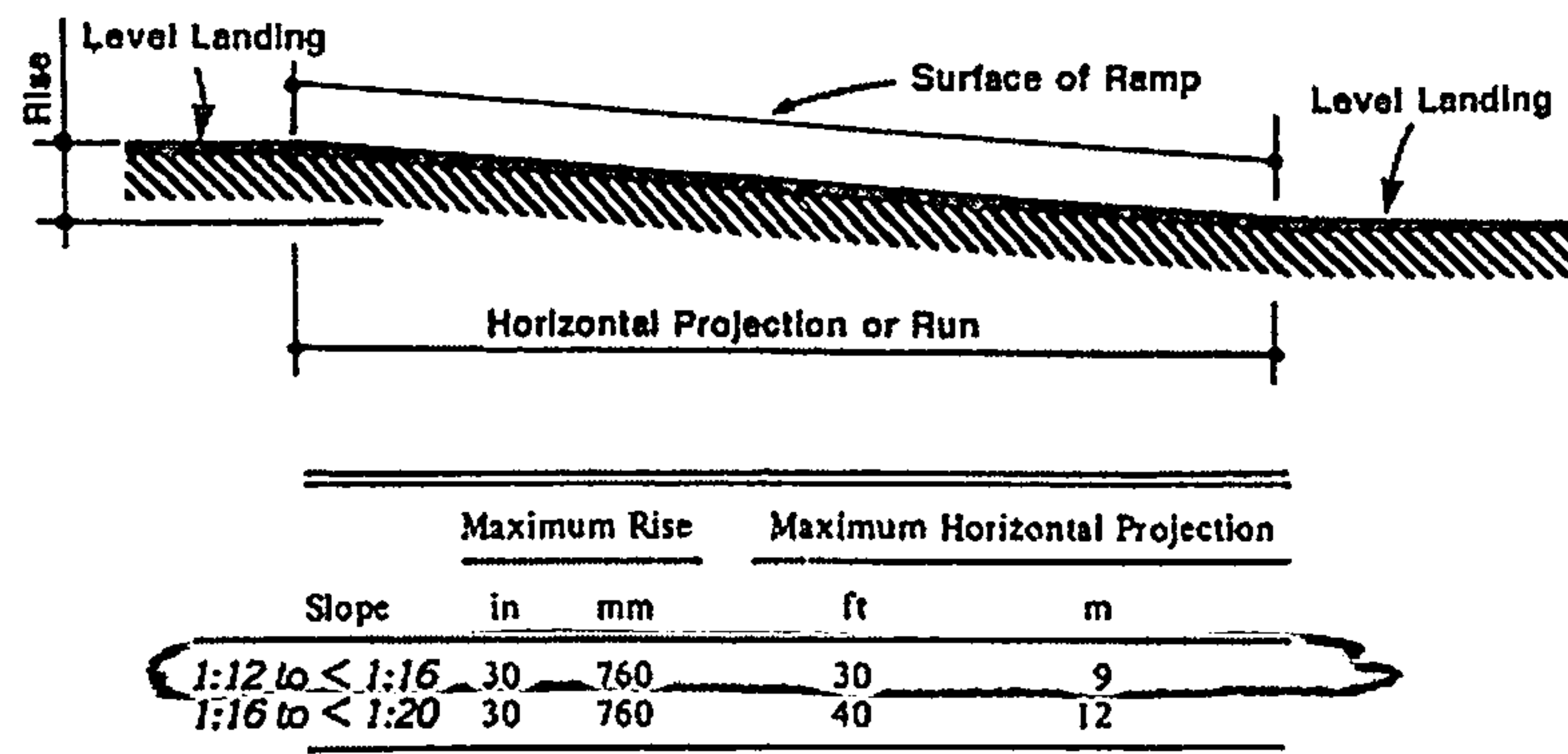


Fig. 16  
Components of a Single Ramp Run and Sample Ramp Dimensions

**4.8.3 Clear Width.** The minimum clear width of a ramp shall be 36 in (915 mm).

**4.8.4\* Landings.** Ramps shall have level landings at bottom and top of each ramp and each ramp run. Landings shall have the following features:

(1) The landing shall be at least as wide as the ramp run leading to it.

(2) The landing length shall be a minimum of 60 in (1525 mm) clear.

(3) If ramps change direction at landings, the minimum landing size shall be 60 in by 60 in (1525 mm by 1525 mm).

(4) If a doorway is located at a landing, then the area in front of the doorway shall comply with 4.13.6.

**4.8.5\* Handrails.** If a ramp run has a rise greater than 6 in (150 mm) or a horizontal projection greater than 72 in (1830 mm), then it shall have handrails on both sides. Handrails are not required on curb ramps or *adjacent to seating in assembly areas*. Handrails shall comply with 4.26 and shall have the following features:

(1) Handrails shall be provided along both sides of ramp segments. The inside handrail on switchback or dogleg ramps shall always be continuous.

(2) If handrails are not continuous, they shall extend at least 12 in (305 mm) beyond the top and bottom of the ramp segment and shall be parallel with the floor or ground surface (see Fig. 17).

(3) The clear space between the handrail and the wall shall be 1 - 1/2 in (38 mm).

(4) Gripping surfaces shall be continuous.

(5) *Top of handrail gripping surfaces shall be mounted between 34 in and 38 in (865 mm and 965 mm) above ramp surfaces.*

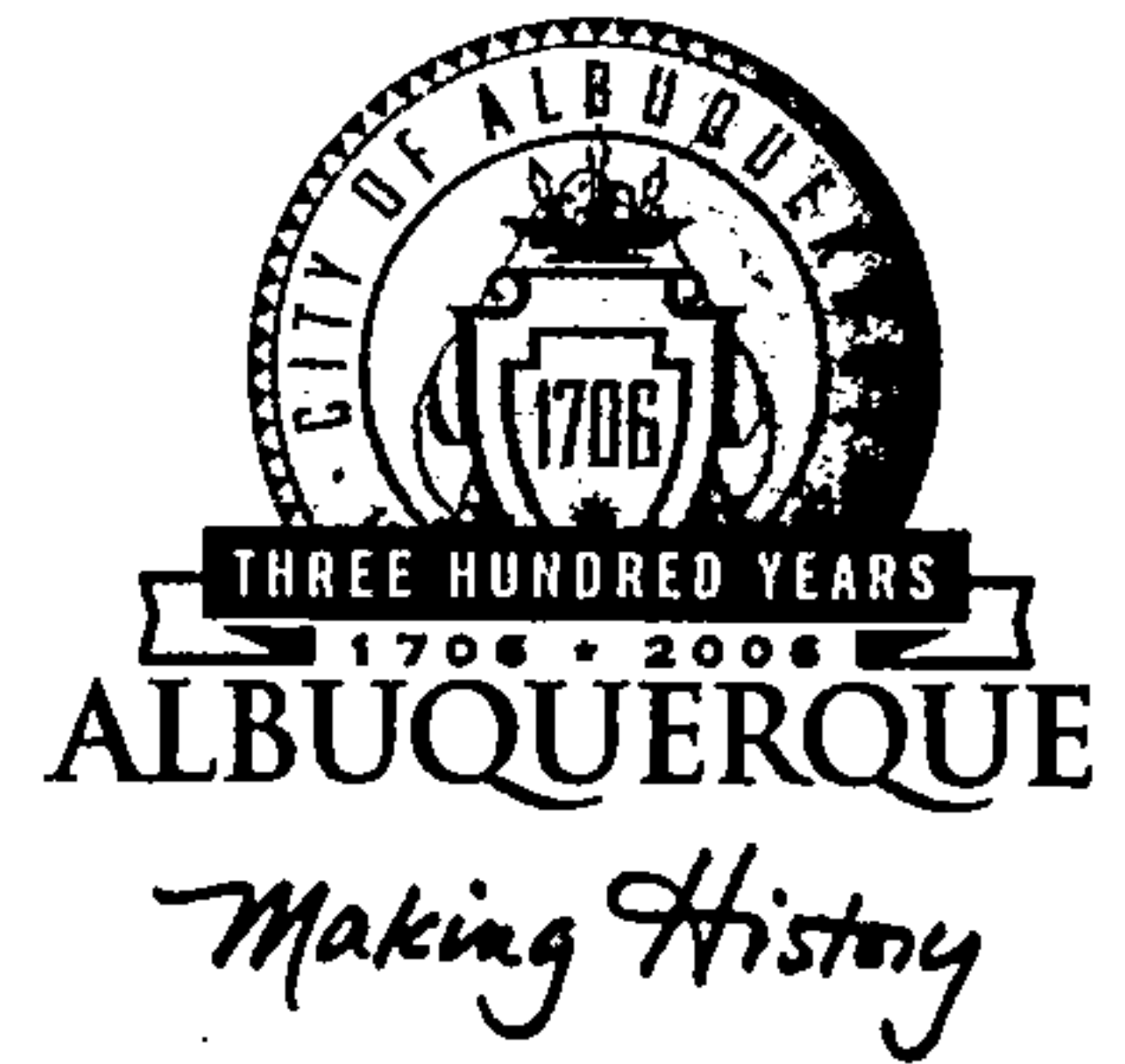
(6) *Ends of handrails shall be either rounded or returned smoothly to floor, wall, or post.*

(7) *Handrails shall not rotate within their fittings.*

**4.8.6 Cross Slope and Surfaces.** The cross slope of ramp surfaces shall be no greater than 1:50. Ramp surfaces shall comply with 4.5.



# CITY OF ALBUQUERQUE



**Planning Department  
Transportation Development Services Section**

February 23, 2005

Steve Morrow, P.E.  
2201 San Pedro NE, Bldg 1, Ste. 1200  
Albuquerque, NM 87110

Re: Certification Submittal for Final Building Certificate of Occupancy for  
Diersen Charities, [H-16 / D137]  
2331 Menaul Blvd NE  
Engineer's Stamp Dated 02/23/05

Dear Mr. Morrow:

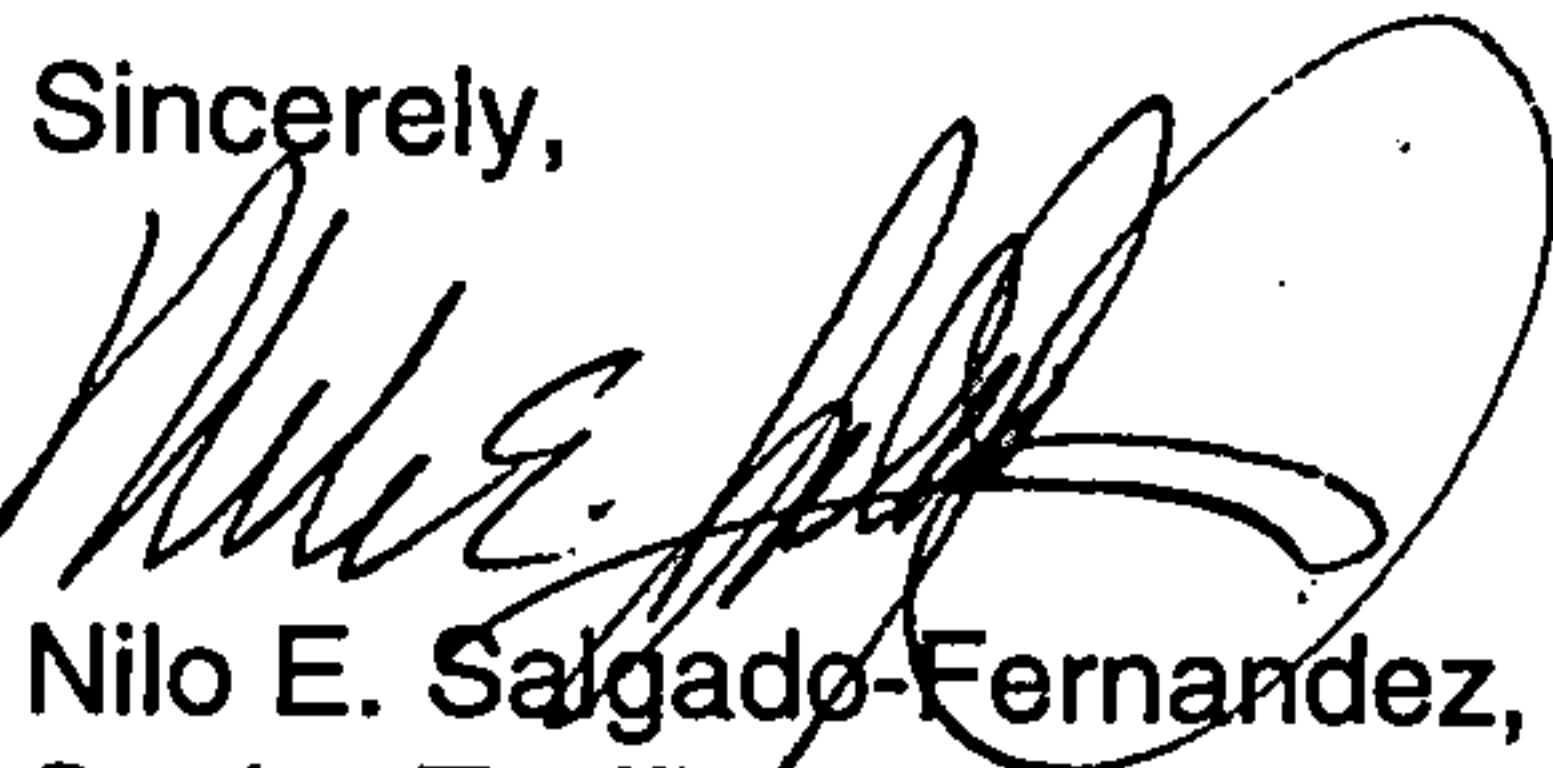
P.O. Box 1293

The TCL / Letter of Certification submitted on February 23, 2005 is sufficient for acceptance by this office for final Certificate of Occupancy (C.O.). Notification has been made to the Building and Safety Section.

Albuquerque

Sincerely,

New Mexico 87103

  
Nilo E. Salgado-Fernandez, P.E.  
Senior Traffic Engineer  
Development and Building Services  
Planning Department

[www.cabq.gov](http://www.cabq.gov)

c: Engineer  
Hydrology file  
CO Clerk



# DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: DIERSEN CHARITIES

DRB #:

EPC#:

ZONE MAP/DRG. FILE #:H-16 - 5137

WORK ORDER#:

LEGAL DESCRIPTION: TRACT 'F', MENAUL DEVELOPMENT AREA

CITY ADDRESS: 2331 MENAUL BOULEVARD NE

ENGINEERING FIRM: BRASHER & LORENZ, INC.

ADDRESS: 2201 SAN PEDRO NE BLDG 1, SUITE 1200

CITY, STATE: ALBQ, NM

CONTACT: D. LORENZ

PHONE: 888-6088

ZIP CODE: 87110

OWNER: DIERSEN CHARITIES

ADDRESS: UNKNOWN

CITY, STATE: NA

CONTACT: UNKNOWN

PHONE: NA

ZIP CODE: NA

ARCHITECT: WILMES ARCHITECTS, INC

ADDRESS: 535 WEST SECOND ST, SUITE 201

CITY, STATE: LEXINGTON, KENTUCKY

CONTACT: KEN PARR

PHONE: 859-233-4989

ZIP CODE: 40508

SURVEYOR: SURV-TEK

ADDRESS: 9384 VALLEY VIEW DR

CITY, STATE: ALBQ, NM

CONTACT: R. HUGG

PHONE: 897-3366

ZIP CODE: 87114

CONTRACTOR: HART CONSTRUCTION

ADDRESS: 2919 SECOND ST NW

CITY, STATE: ALBQ, NM

CONTACT: R. GONZALES

PHONE: 345-4001

ZIP CODE: 87102

## CHECK TYPE OF SUBMITTAL:

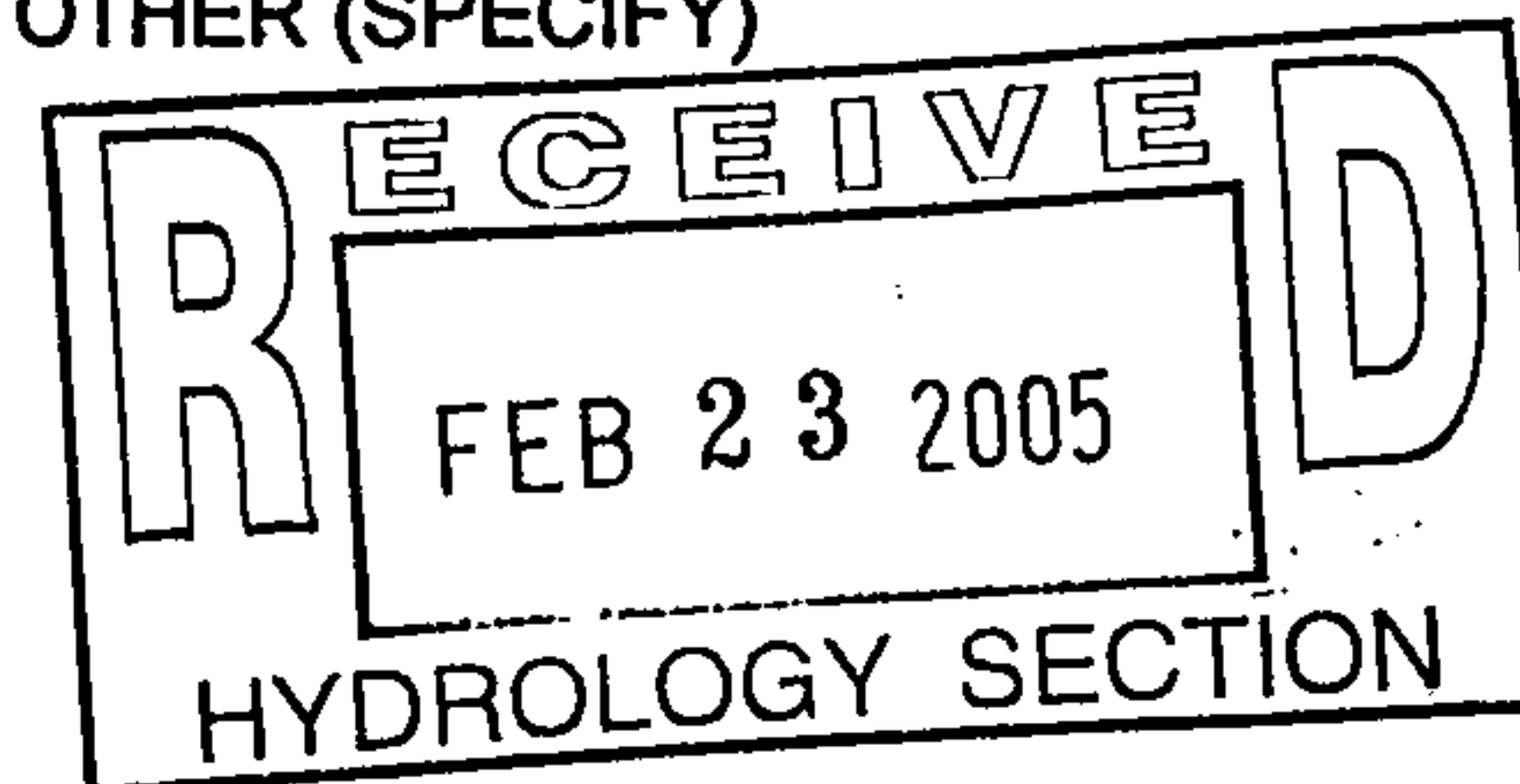
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1<sup>st</sup> SUBMITTAL, *REQUIRES TCL or equal*
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☒ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

## CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

## WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☒ YES
- ☐ NO
- ☐ COPY PROVIDED



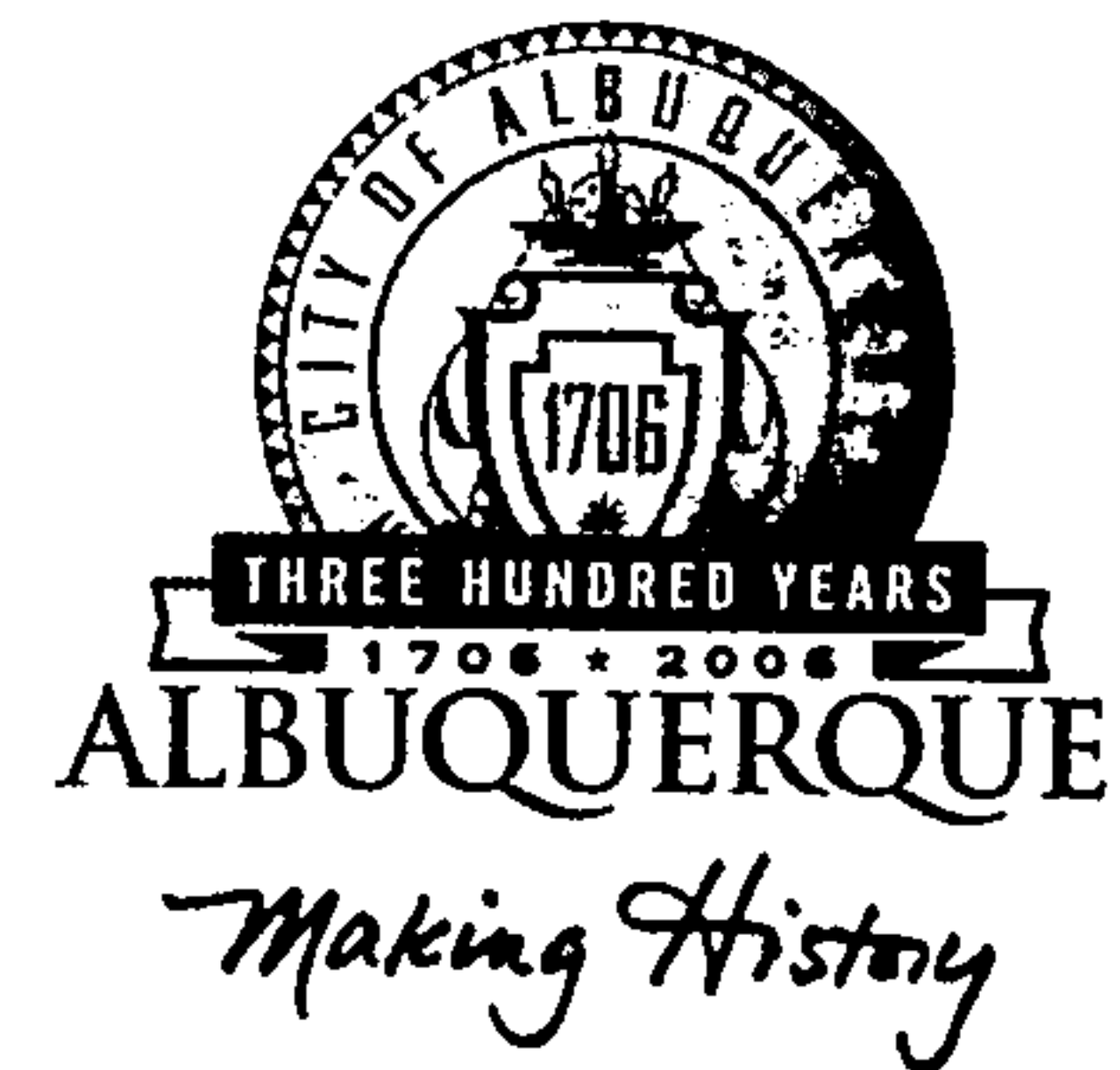
DATE SUBMITTED: 2/23/05

BY: STEVE MORROW

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

# CITY OF ALBUQUERQUE



December 10, 2004

Dennis Lorenz, P.E.  
Brasher & Lorenz  
2201 San Pedro NE, Building 1 Suite 1200  
Albuquerque, NM 87110

Re: Diersen Charities, 2331 Menaul Blvd NE, Traffic Circulation Layout  
Engineer's Stamp dated 12-06-04 (H16-D137)

Dear Mr. Lorenz,

The TCL submittal received 12-08-04 is approved for Building Permit. The plan is stamped and signed as approved. A copy of this plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

If a temporary CO is needed, a copy of the original TCL that was stamped as approved by the City will be needed. This plan must include a statement that identifies the outstanding items that need to be constructed or the items that have not been built in "substantial compliance," as well as the signed and dated stamp of a NM registered architect or engineer. Submit this TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

When the site is completed and a final C.O. is requested, use the original City stamped approved TCL for certification. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3306.

Sincerely,

Kristal D. Metro  
Engineering Associate, Planning Dept.  
Development and Building Services

cc: file



# DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: DIERSEN CHARITIES

DRB #: 04-DRB-01679 EPC#: \_\_\_\_\_

ZONE MAP/DRG. FILE #: H-16/D137  
WORK ORDER#:

LEGAL DESCRIPTION: TRACT 'F', MENAUL DEVELOPMENT AREA  
CITY ADDRESS: 2331 MENAUL BOULEVARD NE

ENGINEERING FIRM: BRASHER & LORENZ, INC.  
ADDRESS: 2201 SAN PEDRO NE BLDG 1, SUITE 1200  
CITY, STATE: ALBQ, NM

CONTACT: D. LORENZ  
PHONE: 888-6088  
ZIP CODE: 87110

OWNER: DIERSEN CHARITIES  
ADDRESS: UNKNOWN  
CITY, STATE: NA

CONTACT: UNKNOWN  
PHONE: NA  
ZIP CODE: NA

ARCHITECT: WILMES ARCHITECTS, INC  
ADDRESS: 535 WEST SECOND ST, SUITE 201  
CITY, STATE: LEXINGTON, KENTUCKY

CONTACT: KEN PARR  
PHONE: 859-233-4989  
ZIP CODE: 40508

SURVEYOR: SURV-TEK  
ADDRESS: 9384 VALLEY VIEW DR  
CITY, STATE: ALBQ, NM

CONTACT: R. HUGG  
PHONE: 897-3366  
ZIP CODE: 87114

CONTRACTOR: HART CONSTRUCTION  
ADDRESS: 2919 SECOND ST NW  
CITY, STATE: ALBQ, NM

CONTACT: R. GONZALES  
PHONE: 345-4001  
ZIP CODE: 87102

## CHECK TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT  
☐ DRAINAGE PLAN 1<sup>st</sup> SUBMITTAL, *REQUIRES TCL or equal*  
☐ DRAINAGE PLAN RESUBMITTAL  
☐ CONCEPTUAL GRADING & DRAINAGE PLAN  
☐ GRADING PLAN  
☐ EROSION CONTROL PLAN  
☐ ENGINEER'S CERTIFICATION (HYDROLOGY)  
☐ CLOMR/LOMR  
☒ TRAFFIC CIRCULATION LAYOUT (TCL)  
☐ ENGINEERS CERTIFICATION (TCL)  
☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)  
☐ OTHER

## CHECK TYPE OF APPROVAL SOUGHT:

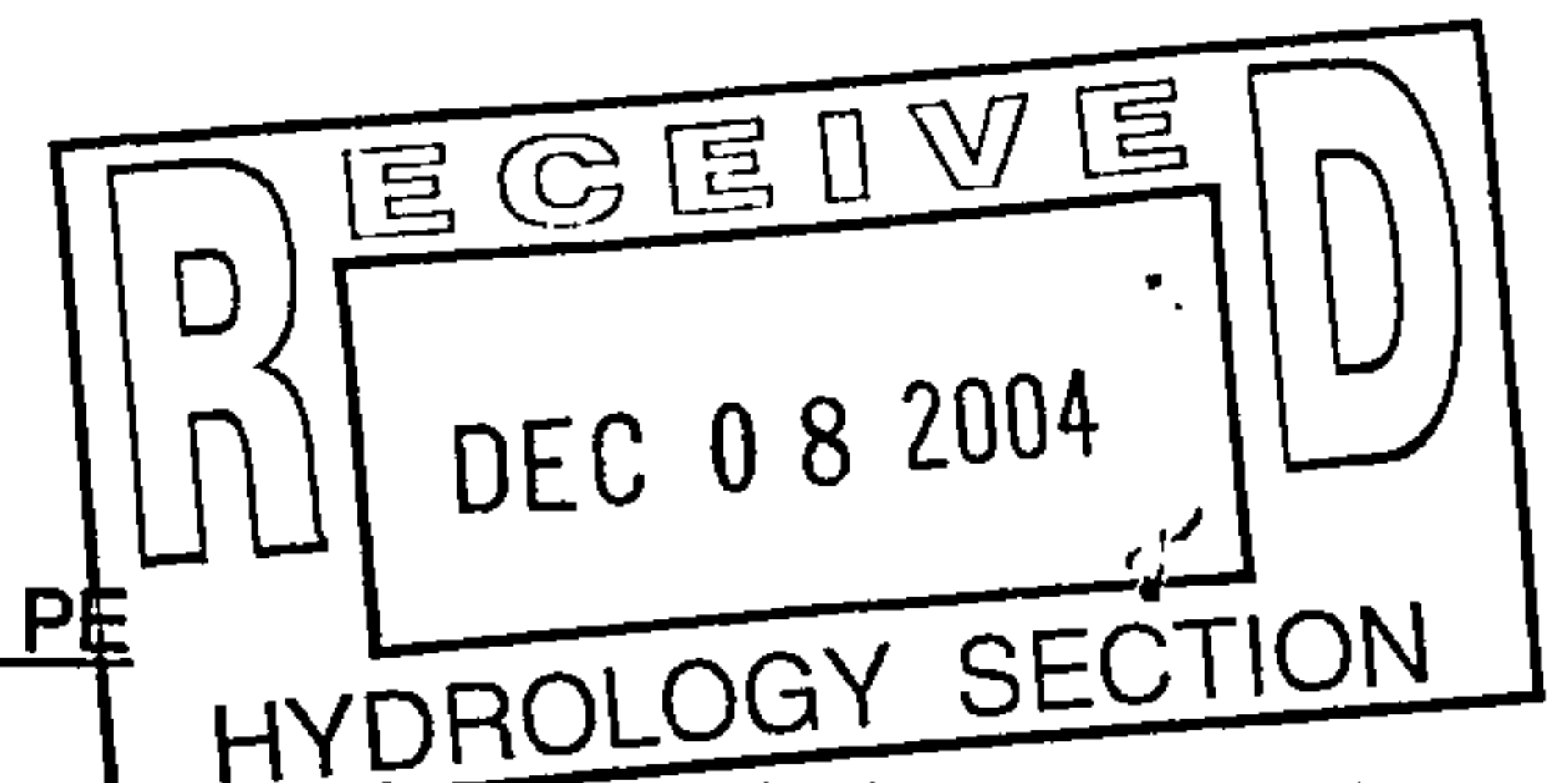
- ☐ SIA / FINANCIAL GUARANTEE RELEASE  
☐ PRELIMINARY PLAT APPROVAL  
☐ S. DEV. PLAN FOR SUB'D. APPROVAL  
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL  
☐ SECTOR PLAN APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ FOUNDATION PERMIT APPROVAL  
☒ BUILDING PERMIT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY (PERM.)  
☐ CERTIFICATE OF OCCUPANCY (TEMP.)  
☐ GRADING PERMIT APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ WORK ORDER APPROVAL  
☐ OTHER (SPECIFY)

## WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☒ YES  
☐ NO  
☐ COPY PROVIDED

DATE SUBMITTED: DECEMBER 7, 2004

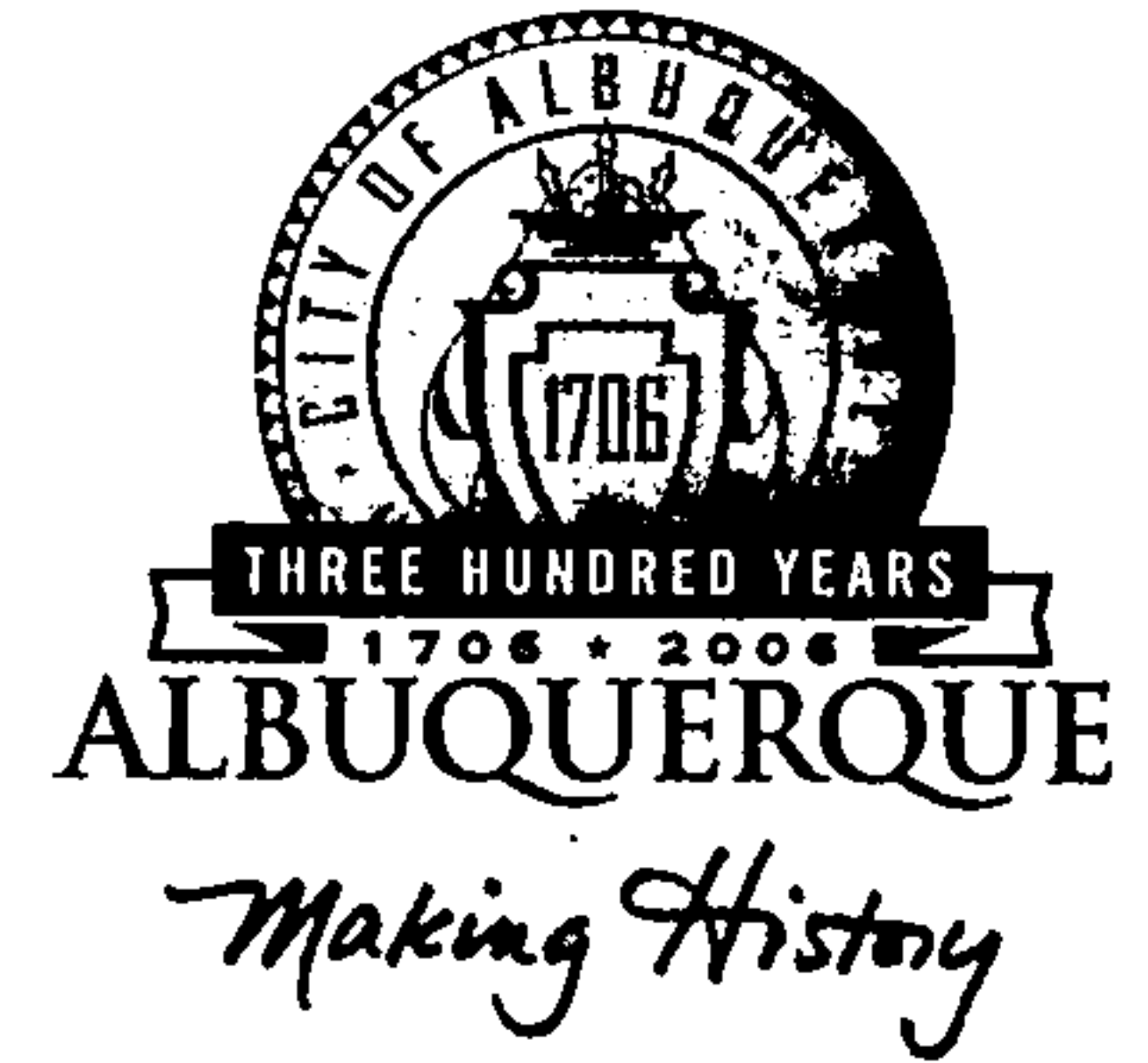
BY: DENNIS LORENZ, PE



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

# CITY OF ALBUQUERQUE



December 30, 2004

Dennis Lorenz, PE  
Brasher & Lorenz, Inc.  
2201 San Pedro NE, Bldg. 1  
Albuquerque, NM 87110

**Re: Diersen Charities Grading and Drainage Plan**  
**Engineer's Stamp dated 12-15-04 (H16/D137)**

Dear Mr. Lorenz,

Based upon the information provided in your submittal dated 12-15-04, the above referenced plan is approved for Building Permit and SO#19 Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

This project requires a National Pollutant Discharge Elimination System (NPDES) permit. Refer to the attachment that is provided with this letter for details. If you have any questions please feel free to call the Municipal Development Department, Hydrology section at 768-3654 (Charles Caruso).

A separate permit is required for construction within City R/W. A copy of this approval letter must be on hand when applying for the excavation permit.

Also, prior to Certificate of Occupancy release, Engineer Certification of the grading plan per the DPM checklist will be required.

If you have any questions, you can contact me at 924-3986.

Sincerely,

Bradley L. Bingham, PE  
Principal Engineer, Planning Dept.  
Development and Building Services

C: Chuck Caruso, DMD  
file



# DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: DIERSEN CHARITIES

DRB #: \_\_\_\_\_

EPC#: \_\_\_\_\_

ZONE MAP/DRG. FILE #: H-16 - 1137

WORK ORDER#: \_\_\_\_\_

LEGAL DESCRIPTION: TRACT 'F', MENAUL DEVELOPMENT AREA

CITY ADDRESS: 2331 MENAUL BOULEVARD NE

ENGINEERING FIRM: BRASHER & LORENZ, INC.

ADDRESS: 2201 SAN PEDRO NE BLDG 1, SUITE 1200

CITY, STATE: ALBQ, NM

CONTACT: D. LORENZ

PHONE: 888-6088

ZIP CODE: 87110

OWNER: DIERSEN CHARITIES

ADDRESS: UNKNOWN

CITY, STATE: NA

CONTACT: UNKNOWN

PHONE: NA

ZIP CODE: NA

ARCHITECT: WILMES ARCHITECTS, INC

ADDRESS: 535 WEST SECOND ST, SUITE 201

CITY, STATE: LEXINGTON, KENTUCKY

CONTACT: KEN PARR

PHONE: 859-233-4989

ZIP CODE: 40508

SURVEYOR: SURV-TEK

ADDRESS: 9384 VALLEY VIEW DR

CITY, STATE: ALBQ, NM

CONTACT: R. HUGG

PHONE: 897-3366

ZIP CODE: 87114

CONTRACTOR: HART CONSTRUCTION

ADDRESS: 2919 SECOND ST NW

CITY, STATE: ALBQ, NM

CONTACT: R. GONZALES

PHONE: 345-4001

ZIP CODE: 87102

## CHECK TYPE OF SUBMITTAL:

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- ☐ DRAINAGE PLAN 1<sup>st</sup> SUBMITTAL, *REQUIRES TCL or equal*
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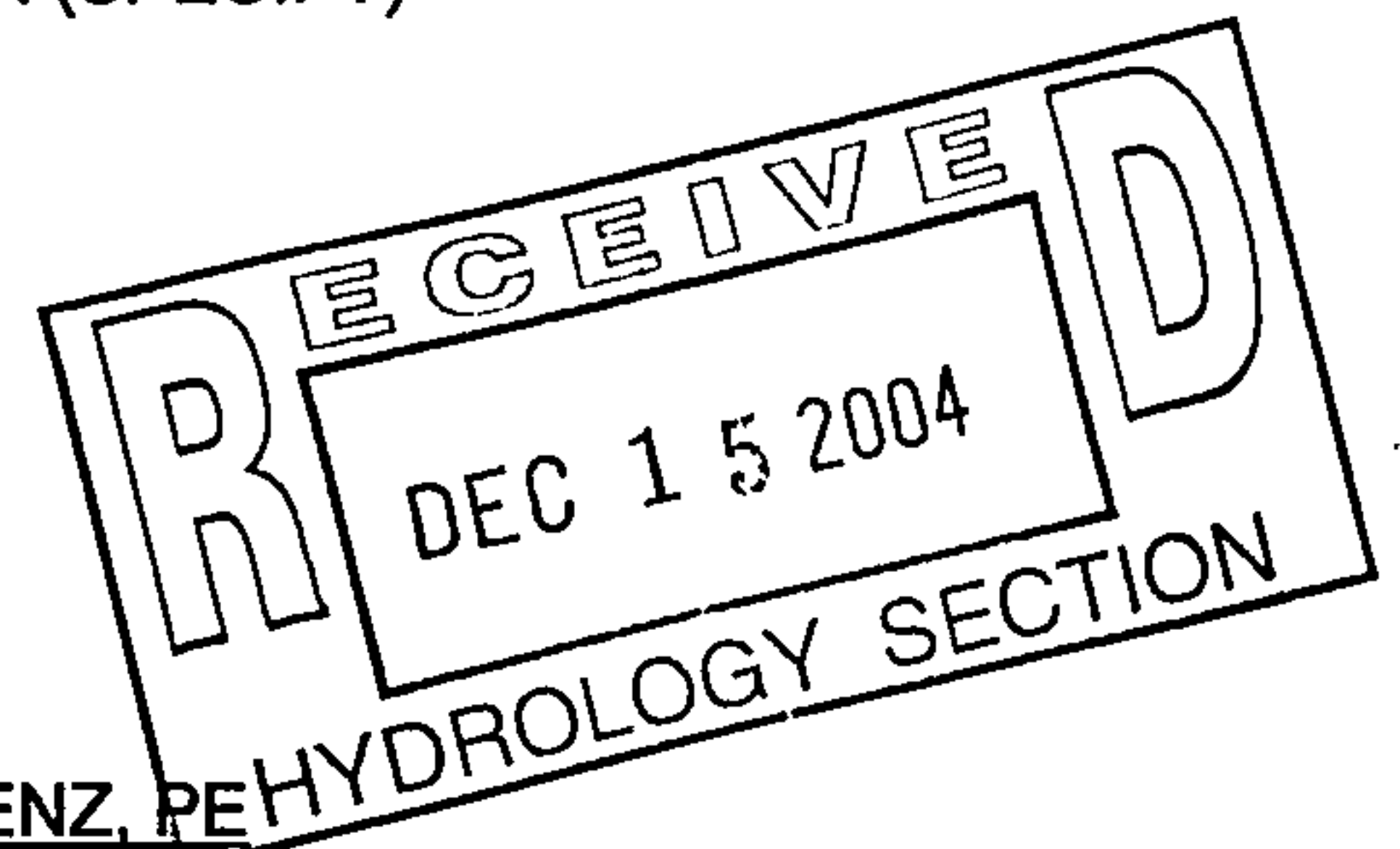
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- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

## WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☒ YES
- ☐ NO
- ☐ COPY PROVIDED

DATE SUBMITTED: DECEMBER 15, 2004

BY: DENNIS LORENZ



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