

ENGINEER'S CERTIFICATION (HYDROLOGY) FOR PERMANENT CERTIFICATE OF OCCUPANCY

I, Steven K. Morrow, NMPE 13679, of the firm Brasher and Lorenz, Inc., hereby certify that this project has been graded and will drain in substantial compliance with and in accordance with the design intent of the approved plan dated 4-14-10. The record information edited onto the original design document has been obtained by Jake Arguelles NMPS 7472 of the firm Arguelles Land Surveying.

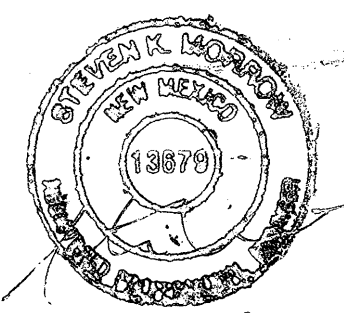
I further certify that I have personally visited the project site on 8-16-10 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Temporary Certificate of Occupancy.

The following work must be completed before a Permanent Certificate of Occupancy is granted:

1. Roof Drains must be connected to 12-inch PVC pipe on east side of property.
2. 25 feet of missing curb must be constructed in the rear parking lot.
3. Landscaping must be completed.

The record information presented herein is not necessarily complete and is intended only to verify substantial compliance of the grading and drainage aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

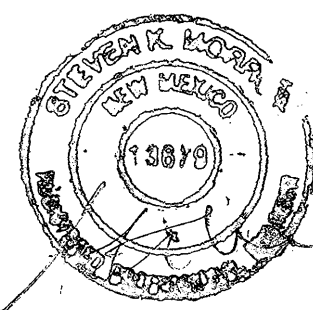
Steven K. Morrow, NMPE 13679
8-19-10
Date



ENGINEER'S CERTIFICATION (HYDROLOGY) FOR PERMANENT CERTIFICATE OF OCCUPANCY

All of the above items were completed.

Steven K. Morrow
8-25-10
Date



HYDROLOGY AS-BUILT
DATE OF SURVEY: AUGUST 13, 2010
DATE OF PLAN: 8-13-10
JOHN A. ARGUELLES JR. NMPS 7472
(505) 975-0918

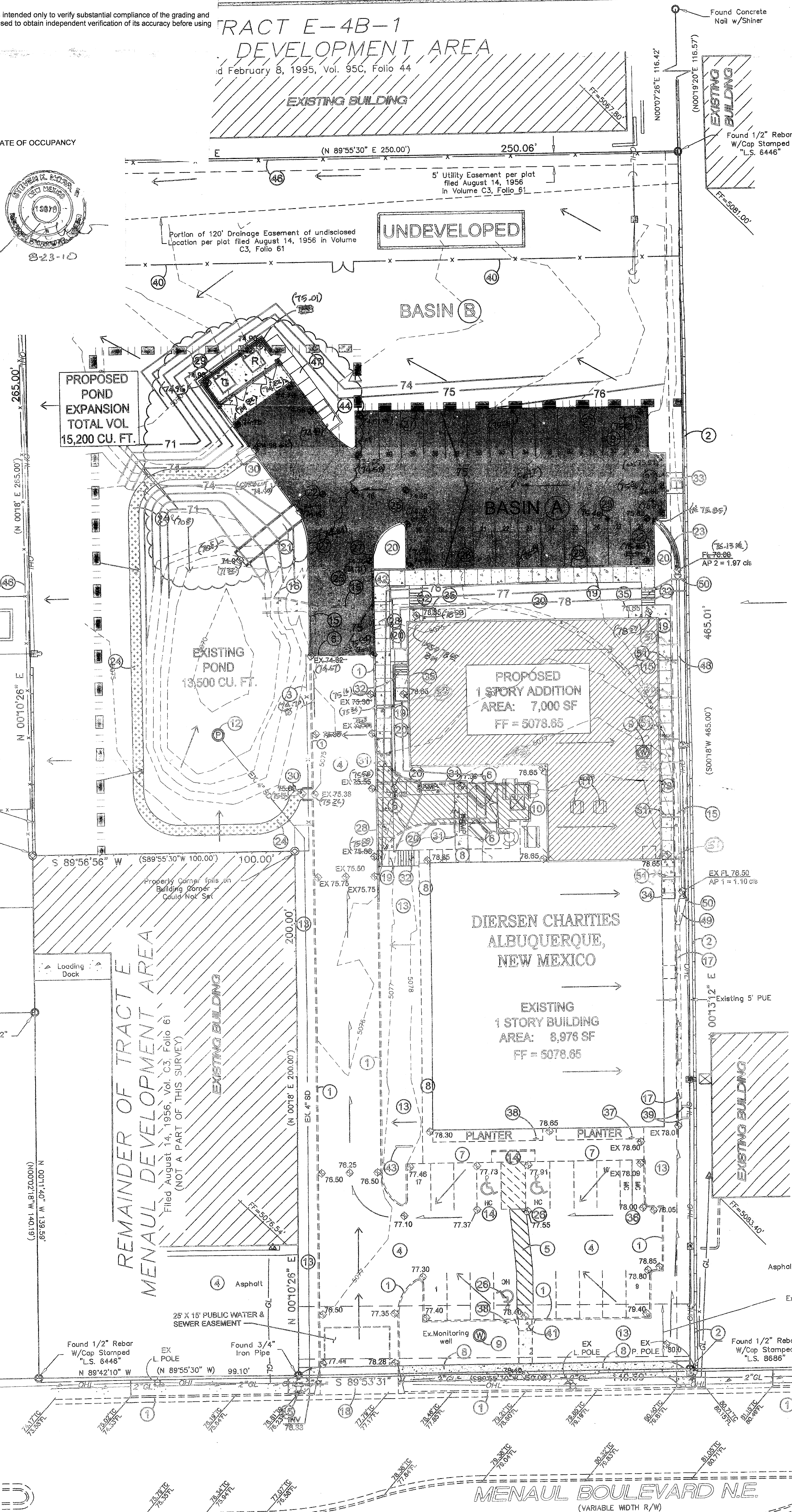
TRACT E-4B-2
MENAU DEVELOPMENT AREA
Filed February 8, 1995, Vol. 95C, Folio 44

WOODLAND AVENUE N.E.
(40' Dedicated R/W)

TRACT E-4C-3
MENAU DEVELOPMENT AREA
Filed July 26, 1991, Vol. 91C, Folio 156

TRACT E-4B-1
DEVELOPMENT AREA
Filed February 8, 1995, Vol. 95C, Folio 44

LOT E-1
LEONARD INDUSTRIAL AREA
Filed October 4, 1988, Vol. C37, Folio 115



GRADING AND DRAINAGE PLAN

PROJECT DESCRIPTION

Pursuant to the Drainage Ordinance for the City of Albuquerque and the Development Process Manual, this Drainage Report outlines the drainage management criteria for controlling developed runoff from the project site. The project consists of the Phase II development of the property for Diersen Charities. Paving, landscaping, utility, grading, and drainage improvements will be provided to support the project.

SITE DESCRIPTION

The project site is approximately 2.21 acres in size and located at 2331 Menau Boulevard N.E. The site is presently described as Tract F, Menau Development Area. The site is bounded on the north, east and west by developed industrial properties and on the south by Menau Boulevard. The property is presently partially developed. Existing improvements consist of an existing 8,976 s.f. building and parking, which covers approximately 0.93 acres. On-site topography slopes from southeast to northwest at approximately 2 percent. The northerly acreage consists of rugged unimproved ground. A concrete retaining wall exists along the east property line. An existing zero lot line building is located at the southwest corner of the site. Site topography results in a fill slope along the west property line.

EXISTING CONDITIONS

The southerly 0.93 acres drain to an existing onsite retention pond, the northerly 1.28 acres presently drain north and west from the developed portion to the northwest corner of the property. All excess runoff funnels to an exit point located approximately 80' south from the northwest property corner. Fill slopes exist along the north and west property boundaries, which are remnants of the Embudo Arroyo channel and drainage easement which has been abandoned by surrounding development. Undeveloped site runoff enters Tract E-4B-2 from 2.9 cu under existing conditions to 1.9 cu under developed conditions. Research of public records did not discover any official grading and drainage plans for Tract E-4B-2 that demonstrates the existence of downstream easements or improvements that would benefit the subject project.

PROPOSED CONDITIONS

As shown by the Plan, the project consists of the development of Phase II for Diersen Charities, Inc. Paving, landscaping, and drainage improvements will be constructed as necessary to support the project. The Plan shows the elevations and details required to properly grade and construct the recommended improvements. The direction of the drainage flows are given by flow arrows. Development will be limited to the middle 0.65 acres, with the northerly acreage remaining undeveloped. In order to contain the increased 100-year/10-day storm, the pond will drain by means of an existing sump pump designed to evacuate the pond within hours. The pump will discharge through an existing 4-inch storm drain to Menau Boulevard. The undeveloped acreage will continue to drain west into Tract E-4B-2, pending future development. Future development will be contingent on obtaining an adequate downstream outlet or reconfiguring the retention pond to accommodate a fully developed site. In the interim, development will reduce the peak flow rate discharging onto Tract E-4B-2 from 2.9 cu under existing conditions to 1.9 cu under developed conditions. Research of public records did not discover any official grading and drainage plans for Tract E-4B-2 that demonstrates the existence of downstream easements or improvements that would benefit the subject project.

TEMPORARY EROSION CONTROL PLAN

As required by EPA's Storm Water Pollution Prevention Plan is required that outlines the best management controls required to manage erosion and discharges from the site. The SWPPP and Notice of Intent will be available prior to construction per EPA requirements.

CALCULATIONS

The calculations contained herein define the 100-year/6-hour and 100-year/10-day design storms falling within the project area under existing and developed conditions. They hydrology is per "Chapter 22, Development Process Manual, Vol. 2", 1987 revision. Calculations are provided to demonstrate the capacity and function of all proposed storm drainage infrastructures.

KEYED NOTES

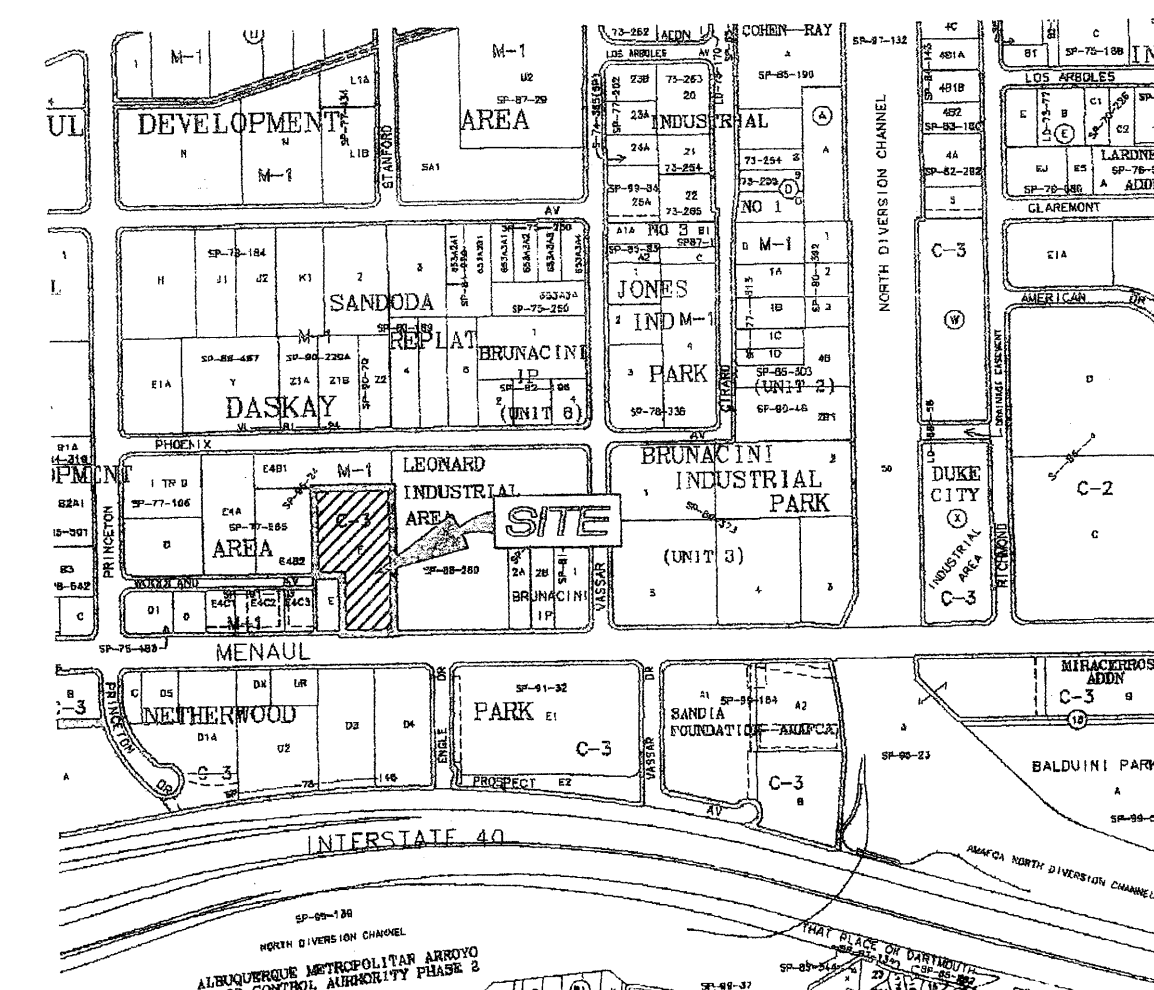
1. EXISTING STANDARD CURB & GUTTER.
2. EXISTING CONCRETE RETAINING WALL.
3. EXISTING CHAINLINK FENCE TO BE REMOVED.
4. EXISTING ASPHALT PAVEMENT.
5. EXISTING 8' WIDE PEDESTRIAN WAY, RESTRIPTED AT 8' WIDE MIN. PER CODE. ENSURE ADJACENT SPACES ARE 8' 5" WIDE MIN.
6. EXISTING 8" CONCRETE CURB TO BE REMOVED.
7. EXISTING 8" TURNING SIDEWALK.
8. EXISTING 8" SIDEWALK.
9. EXISTING MONITORING WELL TO BE CLOSED. SEE SITE UTILITY PLAN.
10. EXISTING REFUSE ENCLOSURE TO BE REMOVED.
11. EXISTING PICNIC TABLES TO BE RELOCATED.
12. EXISTING 4" W. M. WET WELL AND SUMP PUMP.
13. EXISTING LANDSCAPING.
14. EXISTING ACCESSIBLE RAMP AND PARKING SPACE.
15. EXISTING 24" WIDE VALLEY GUTTER TO BE REMOVED.
16. DEMO BACK TO 20' SOUTH OF N.E. CORNER EXISTING BUILDING.
17. EXISTING CONCRETE POND RUNDOWN TO BE REMOVED.
18. EXISTING 24" WIDE VALLEY GUTTER TO REMAIN.
19. EXISTING DRIVEWAY.
20. NEW 8" SIDEWALK.
21. NEW LANDSCAPING.
22. PROVIDE 24" CURB BLOCKOUT FOR DRAINAGE.
23. CONSTRUCT 24" WIDE VALLEY GUTTER PER DETAIL PIC4.
24. CONSTRUCT 4" WIDE CRUSHER FINE TRAIL AROUND POND.
25. NEW LIGHT DUTY ASPHALT PAVING PER DETAIL PIC4.
26. NEW HANDICAP PARKING SPACE STRIPED AND PAINTED WITH INTERNATIONAL SYMBOL PER CODE.
27. NEW 6" HEADER CURB PER DETAIL PIC4.
28. NEW 8" TURNING SIDEWALK PER DETAIL PIC4.
29. NEW REFUSE CONTAINER ENCLOSURE. SEE SHT SP 1.1 G = REFUSE, R = RECYCLE.
30. NEW ACCESSIBLE RAMP AND PER DETAIL PIC4.
31. NEW 8" WIDE ACCESSIBLE RAMP PER DETAIL JIC4.
32. NEW CONCRETE STAIRS SEE SHT SP 1.1.
33. NEW TRANSFORMER, BOLLARDS AND PAD SEE SHT SP 1.1.
34. EXTEND 3" SIDEWALK SOUTH TO PROVIDE EXISTING LANDING AT EXISTING ROOF ACCESS LADDER.
35. PROVIDE EXISTING AREA OF SAFE REFUGE ADJACENT TO LANDING AT HANDDOOR.
36. EXISTING PARKING SPACE TO BE RESTRIPTED TO PROVIDE 2 MOTORCYCLE PARKING SPACES.
37. INSTALL MOTORCYCLE PARKING ONLY SIGNAGE PER DETAIL JIC4.
38. INSTALL HVC PARKING INTERNATIONAL SIGNAGE PER DETAIL JIC4.
39. EXISTING BICYCLE RACKS (2).
40. INSTALL 6" HIGH BLACK VINYL COATED 9 GA. CHAIN LINK FENCE.
41. EXISTING 2" ACCESSIBLE RAMP AND 5' SIDEWALK FOR DETAILS.
42. NEW ACCESSIBLE RAMP PER DETAIL JIC4.
43. NEW BICYCLE RACK. SEE ARCHITECTURAL SITEPLAN FOR DETAILS.
44. NEW 6" WIDE UNIDIRECTIONAL ACCESSIBLE RAMP PER DET. JIC4.
45. EXISTING 6" CHAINLINK FENCE TO REMAIN.
46. EXISTING FIRE HYDRANT.
47. NEW 8" WIDE CONCRETE SIDEWALK.
48. INSTALL 12" CMP CULVERT AT S = 0.40%.
49. CONSTRUCT CONCRETE VALLEY GUTTER TRANSITION FROM SECTION FIC4 TO KIC4 OVER 10.1 F.
50. INSTALL 12" CMP END SECTION. (END SECTION DETAIL)
51. CONNECT DOWNSPOUTS TO 12" CMP TYP. SEE ROOF PLAN FOR EXACT NUMBER AND LOCATION.
52. 24" RAMP ADDED.
53. 8" INCH SIDEWALK ADDED.

LEGEND

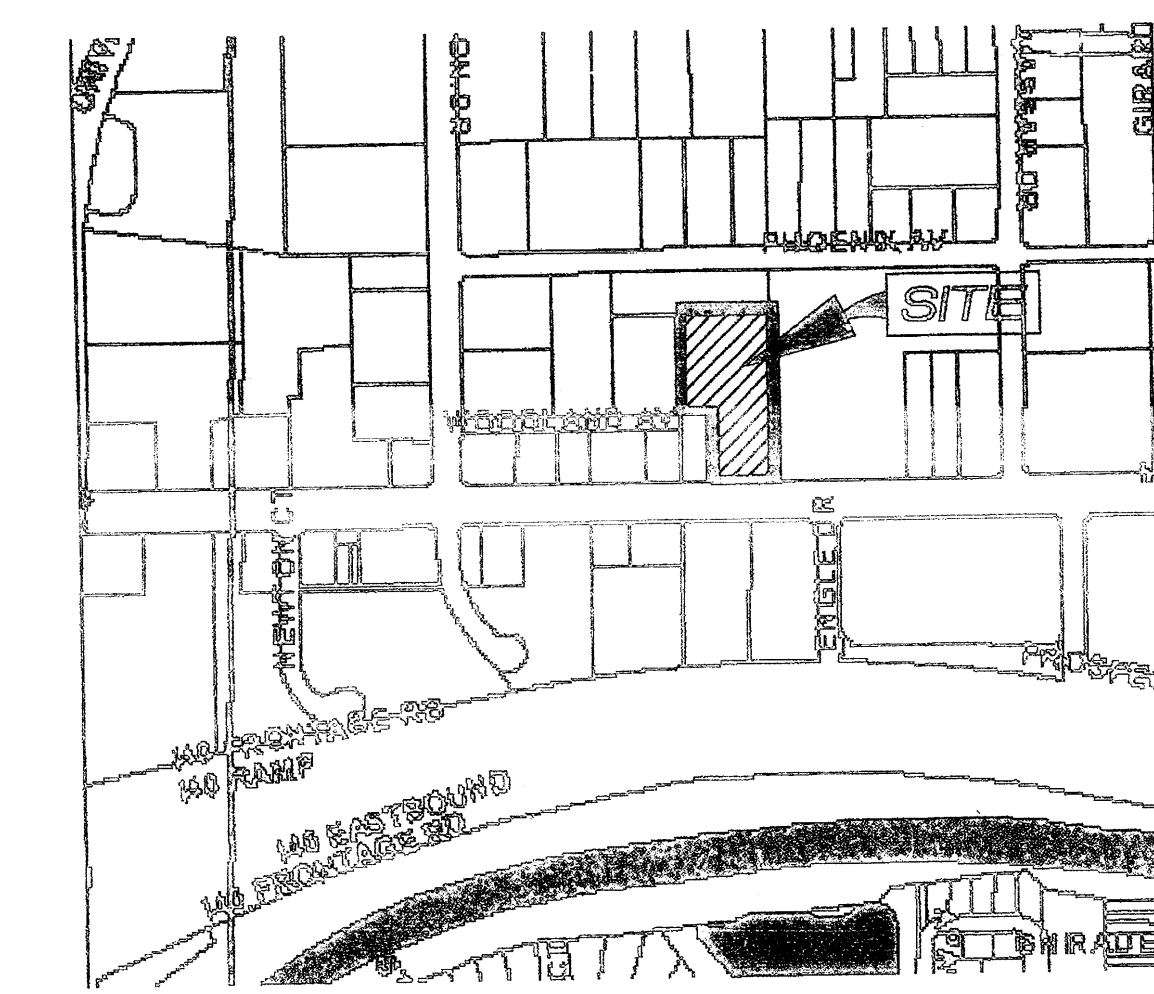
- ⊙ GAS METER
- ⊙ MONITOR WELL
- ⊙ TRANSFORMER
- ⊙ LIGHT POLE
- ⊙ SANITARY SEWER MANHOLE
- ⊙ GUY WIRE
- ⊙ WATER VALVE
- ⊙ POWER POLE
- ⊙ POWER POLE W/FEED
- ⊙ CONCRETE AREA
- SAS— SANITARY SEWER LINES
- W— WATER LINES
- G— GAS LINES
- OH— OVERHEAD UTILITY LINES
- X— FENCE
- BLOCK WALL
- ⊙ X EXISTING SPOT ELEVATION
- ⊙ X PROPOSED SPOT ELEVATION
- ← DIRECTION OF FLOW
- SWALE
- PROPOSED CONTOURS
- EXISTING CONTOURS
- DRAINAGE BASIN DIVIDE

DRAINAGE PLAN NOTES

1. All earthwork, construction, trenching, and paving construction shall be in accordance with the Geotechnical Evaluation for Diersen Charities, Albuquerque, NM, by Vinnyard & Assoc., Dated 9-29-04.
2. This Plan recommends positive drainage away from all structures to prohibit ponding at runoff which may cause structural settlement. Future alteration of grades adjacent to the proposed structures is not recommended.
3. Irrigation within 10 feet of any proposed structure is not recommended. Introduction of irrigation water into subsurface soils adjacent to the structure could cause settlement.
4. This Plan is prepared to establish on-site drainage and grading criteria only. BLI assumes no responsibility for subsurface analysis, foundation/structure design, or utility design.
5. Local codes may require all footings to be placed in natural undisturbed soil. If the Contractor plans to place footings on engineered fill, a certification by a registered Professional Engineer will be required. If the contractor wishes BLI to prepare the Certification, we must be notified PRIOR to placement of the fill.
6. BLI recommends that the Owner obtain the services of a Geotechnical Engineer to test and inspect all earthwork aspects of the project.
7. The property boundary shown on this Plan is given for information only to describe the project limits. Property boundary information shown herein does not constitute a boundary survey. A boundary survey performed by a licensed New Mexico Registered Professional Surveyor is recommended prior to construction.
8. All spot elevations are top of pavement unless noted otherwise.
9. The contractor must obtain proper permitting prior to any work within public right of way.



LOCATION MAP H16



FIRM PANEL 35001C0351E

PROJECT DATA

SITE MAPPING:
PROPERTY SURVEY AND TOPOGRAPHY BY JAKE ARGUELLES JR., NMPS 7472, DECEMBER 21, 2009

PROPERTY ADDRESS:
2331 MENAU BOULEVARD N.E.
ALBUQUERQUE, NM 87110

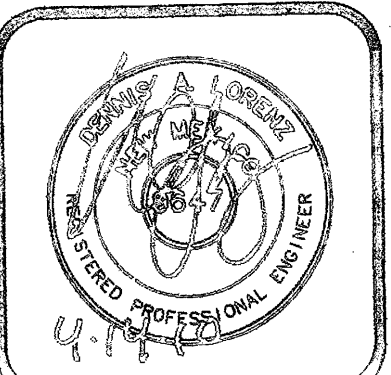
LEGAL DESCRIPTION:
TRACT F-1, MENAU DEVELOPMENT AREA (BEING A REPLAT OF TRACT F, MENAU DEVELOPMENT AREA)

FLOOD ZONE DETERMINATION:
THE SUBJECT PROPERTY APPEARS TO LIE WITHIN FLOOD ZONE "X", (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN), AS SHOWN ON FLOOD INSURANCE RATE CHANCE FLOODPLAIN, MAP NO. 35001C0351E, EFFECTIVE DATE: NOVEMBER 19, 2003.

PROJECT HYDROLOGY DIERSEN CHARITIES									
ZONE	2								
PERIOD	2.36								
P 10 DAY	3.95								
DEVELOPED (EXISTING):									
BASIN	AREA (ac)	A (ac)	B (ac)	C (ac)	D (ac)	E	G (cfs)	VOL (ac ft)	V 10 DAY (ac ft)
A	1.28	0.00	0.00	0.75	0.54	1.54	0.1608	0.1608	0.2876
B	0.92	0.00	0.00	0.92	0.00	1.13	2.00	0.0000	0.0000
DEVELOPED (PROPOSED):									
BASIN	AREA (ac)	A (ac)	B (ac)	C (ac)	D (ac)	E	G (cfs)	VOL (ac ft)	V 10 DAY (ac ft)
A	1.56	0.00	0.00	0.83	0.82	1.72	0.38	0.2201	0.2480
B	0.85	0.00	0.00	0.85	0.00	1.13	1.98	0.0000	0.0000

REVISIONS			BY
NO.	DATE	REMARKS	
1	4/14/10	REVISIONS TO ADDRESS CODE COMMENTS	DAL

BRASHER & LORENZ
ARCHITECTS, P.C.
555 WEST SECOND ST., SUITE 201, LEXINGTON, KY 40508 (606) 333-4969



BRASHER & LORENZ
CONSULTING ENGINEERS
2201 San Pedro NE Building 1 Suite 1200
Albuquerque, New Mexico 87110
PH: 505-885-8888 FAX: 505-885-1468

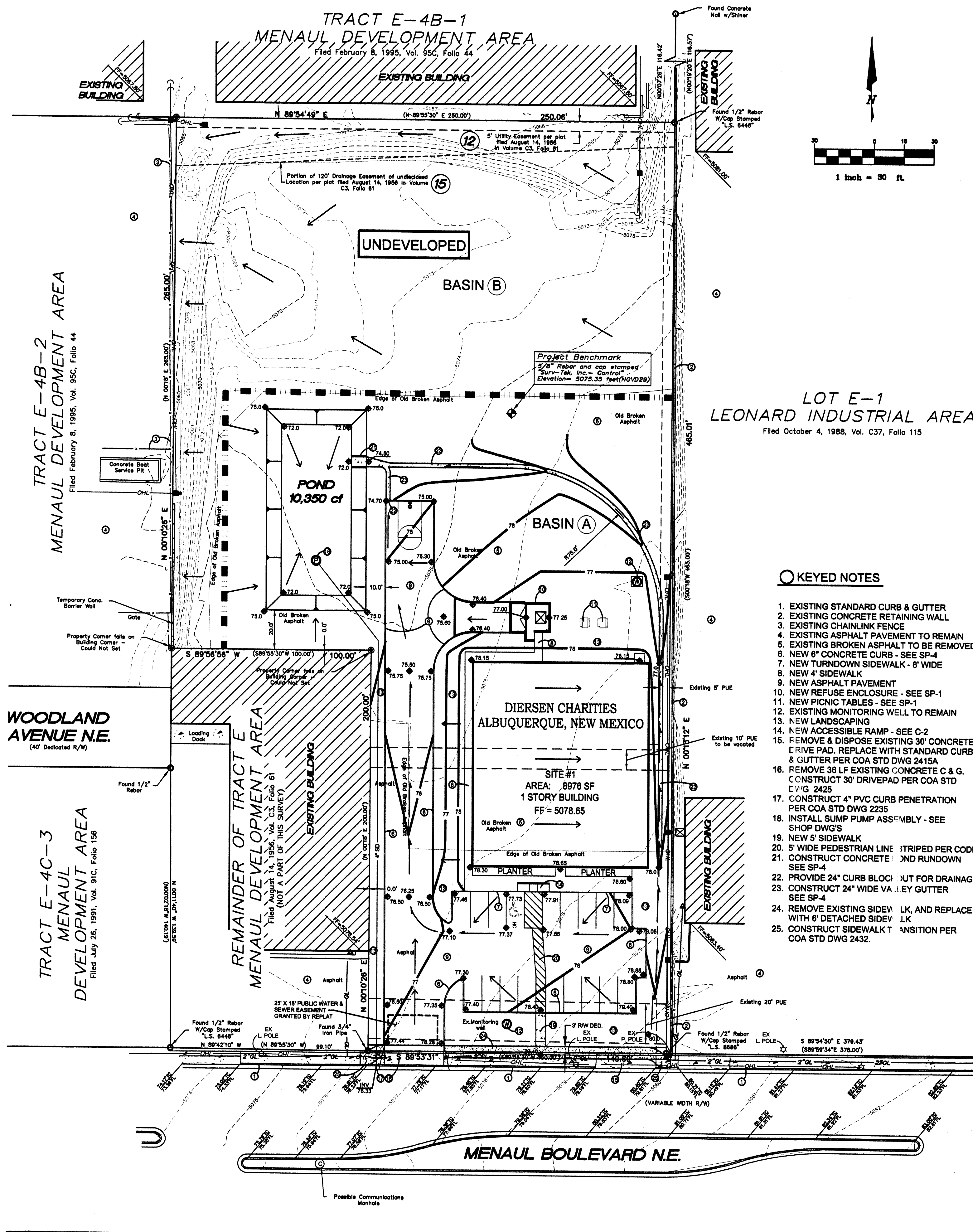
GRADING AND
DRAINAGE PLAN

DIERSEN CHARITIES, INC.
ALBUQUERQUE
PHASE II
2331 MENAU BLVD. N.E.
ALBUQUERQUE, NEW MEXICO 87107

Date: 1/19/10
Comm. No.: 0956
Drawn By: MVT
Checked By: DAL
Revisions:
NO.10 CITY COMMENTS

C2 OF 4

RECEIVED
AUG 23 2010
HYDROLOGY
SECTION



LEGEND

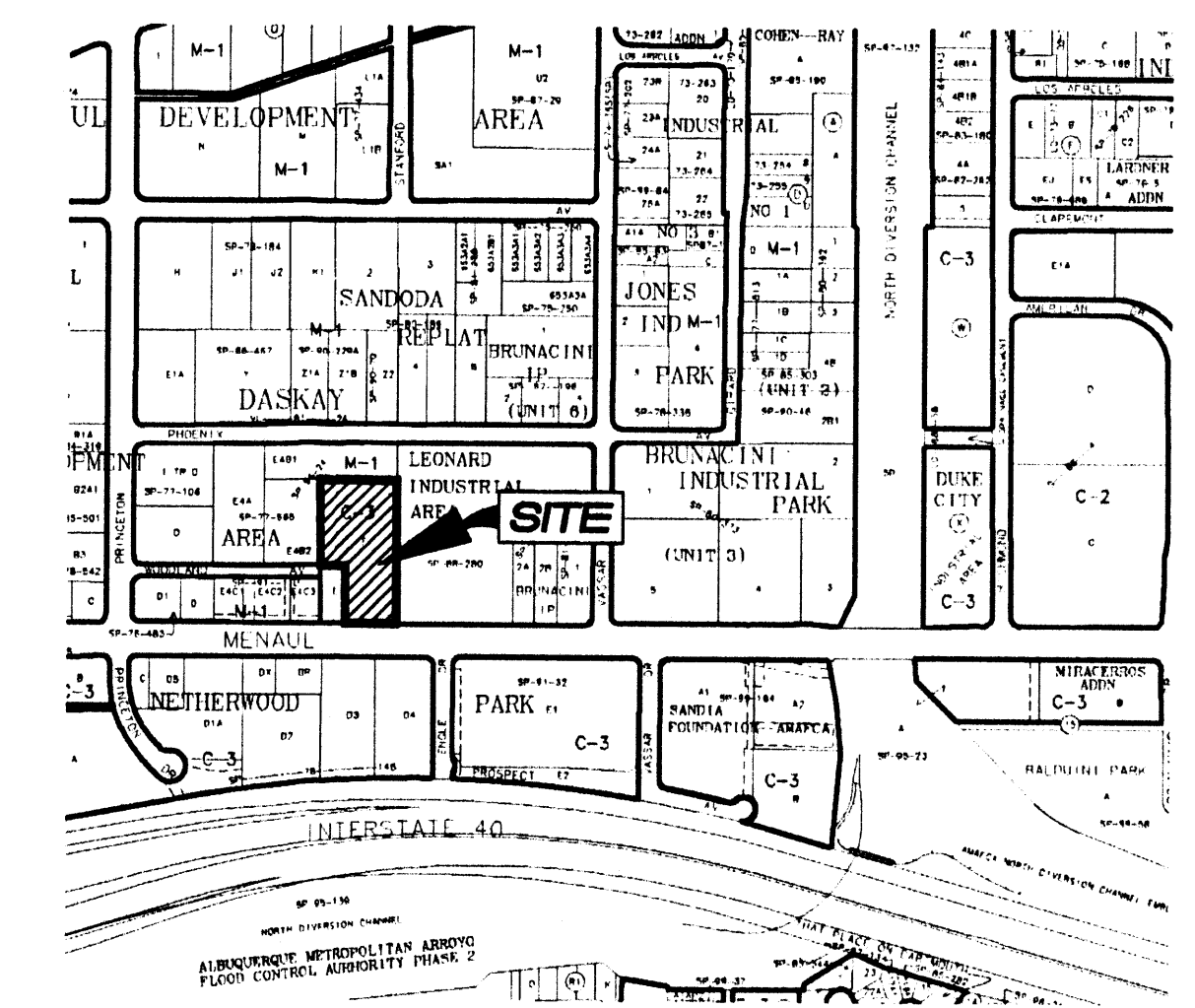
- ▲ GAS METER
- ⊙ MONITOR WELL
- ⊠ TRANSFORMER
- ☆ LIGHT POLE
- ⊙ SANITARY SEWER MANHOLE
- GUY WIRE
- WATER VALVE
- POWER POLE
- POWER POLE W/FEED
- CONCRETE AREA
- SAS — SANITARY SEWER LINES
- WL — WATER LINES
- GL — GAS LINES
- OHL — OVERHEAD UTILITY LINES
- X — FENCE
- BLOCK WALL
- 02.5 X EXISTING SPOT ELEVATION
- 01.5 • PROPOSED SPOT ELEVATION
- DIRECTION OF FLOW
- DRAINAGE SWALE
- 78 — PROPOSED CONTOURS
- 5078 — EXISTING CONTOURS
- DRAINAGE BASIN DIVIDE

KEYED NOTES

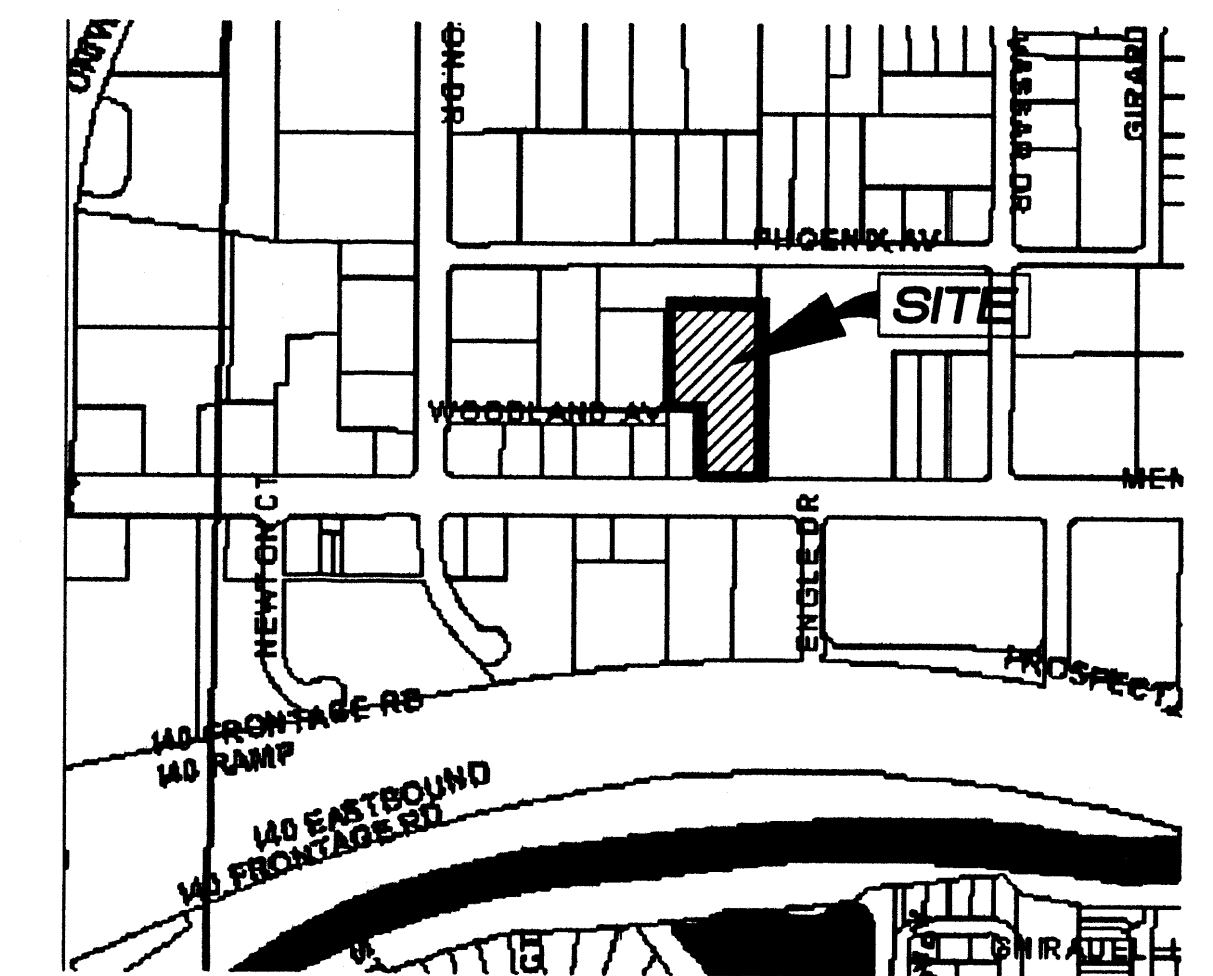
- EXISTING STANDARD CURB & GUTTER
- EXISTING CONCRETE RETAINING WALL
- EXISTING CHAINLINK FENCE
- EXISTING ASPHALT PAVEMENT TO REMAIN
- EXISTING BROKEN ASPHALT TO BE REMOVED
- NEW 6" CONCRETE CURB - SEE SP-4
- NEW TURNDOWN SIDEWALK - 8' WIDE
- NEW 4' SIDEWALK
- NEW ASPHALT PAVEMENT
- NEW REFUSE ENCLOSURE - SEE SP-1
- NEW PICNIC TABLES - SEE SP-1
- EXISTING MONITORING WELL TO REMAIN
- NEW LANDSCAPING
- NEW ACCESSIBLE RAMP - SEE C-2
- REMOVE & DISPOSE EXISTING 30" CONCRETE DRIVE PAD. REPLACE WITH STANDARD CURB & GUTTER PER COA STD DWG 2415A
- REMOVE 36 LF EXISTING CONCRETE C & G. CONSTRUCT 30' DRIVEPAD PER COA STD DWG 2425
- CONSTRUCT 4" PVC CURB PENETRATION PER COA STD DWG 2235
- INSTALL SUMP PUMP ASSEMBLY - SEE SHOP DWGS
- NEW 5' SIDEWALK
- 5' WIDE PEDESTRIAN LINE STRIPED PER CODE
- CONSTRUCT CONCRETE RAMP RUNDOWN SEE SP-4
- PROVIDE 24" CURB BLOCK OUT FOR DRAINAGE
- CONSTRUCT 24" WIDE VALLEY GUTTER SEE SP-4
- REMOVE EXISTING SIDEWALK AND REPLACE WITH 6" DETACHED SIDEWALK
- CONSTRUCT SIDEWALK TRANSITION PER COA STD DWG 2432

DRAINAGE PLAN NOTES

- All earthwork, compaction, trenching, and paving construction shall be in accordance with the Geotechnical Evaluation for Diersen Charities, Albuquerque, NM. By Vinyard & Assoc., Dated 9-29-04.
- This Plan recommends positive drainage away from all structures to prohibit ponding of runoff which may cause structural settlement. Future alteration of grades adjacent to the proposed structures is not recommended.
- Irrigation within 10 feet of any proposed structure is not recommended. Introduction of irrigation water into subsurface soils adjacent to the structure could cause settlement.
- This Plan is prepared to establish on-site drainage and grading criteria only. BLI assumes no responsibility for subsurface analysis, foundation/structural design, or utility design.
- Local codes may require all footings to be placed in natural undisturbed soil. If the Contractor plans to place footings on engineered fill, a certification by a registered Professional Engineer will be required. If the contractor wishes BLI to prepare the Certification, we must be notified PRIOR to placement of the fill.
- BLI recommends that the Owner obtain the services of a Geotechnical Engineer to test and inspect all earthwork aspects of the project.
- The property boundary shown on this Plan is given for information only to describe the project limits. Property boundary information shown hereon does not constitute a boundary survey. A boundary survey performed by a licensed New Mexico Registered Professional Surveyor is recommended prior to construction.
- All spot elevations are top of pavement unless noted otherwise.
- The contractor must obtain proper permitting prior to any work within public right of way.



LOCATION MAP H16 NTS



FIRM PANEL 35001C0351E NTS

SITE MAPPING

Property survey and topography by Surv-Tek, Inc. October 2004

PROPERTY ADDRESS

2331 Menaul Boulevard NE
Albuquerque, New Mexico 87107

LEGAL DESCRIPTION

Tract lettered "E" of Menaul Development Area, a Subdivision of the City of Albuquerque, New Mexico, as the same is shown and designated on the plat thereof, filed in the office of the County Clerk of Bernalillo County, New Mexico, on August 14, 1956, in Map Book C3, Folio 61.

FLOOD ZONE DETERMINATION

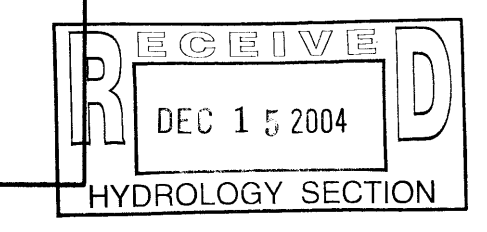
The subject property appears to lie within Flood Zone "X", (Areas determined to be outside the 0.2% annual chance floodplain), as shown on Flood Insurance Rate Map No. 35001C0351 E, effective date: November 19, 2003.

DRAINAGE FACILITIES WITHIN CITY RIGHT-OF-WAY NOTICE TO CONTRACTOR

- AN EXCAVATION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION", 1986 EDITION, AS AMENDED THROUGH UPDATE NO. 7.
- THREE WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234 FOR THE LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
- MAINTENANCE OF THE FACILITY SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY BEING SERVED.
- WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

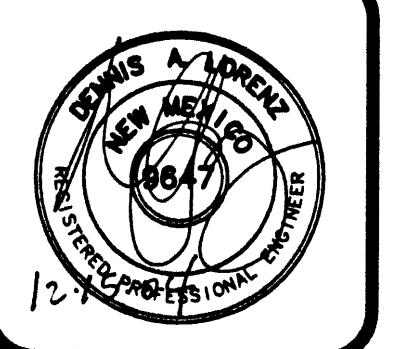
APPROVALS

INSPECTOR _____ DATE _____



WIMMIS & ASSOCIATES ARCHITECTS, PSC
535 WEST SECOND ST. SUITE 201,
LEXINGTON, KY 40508 (659)233-4989

BRASHER & LORENZ
CONSULTING ENGINEERS
2001 East Highway 100, Suite 100
PO Box 588-0008 Fort Collins, CO 80521-0008

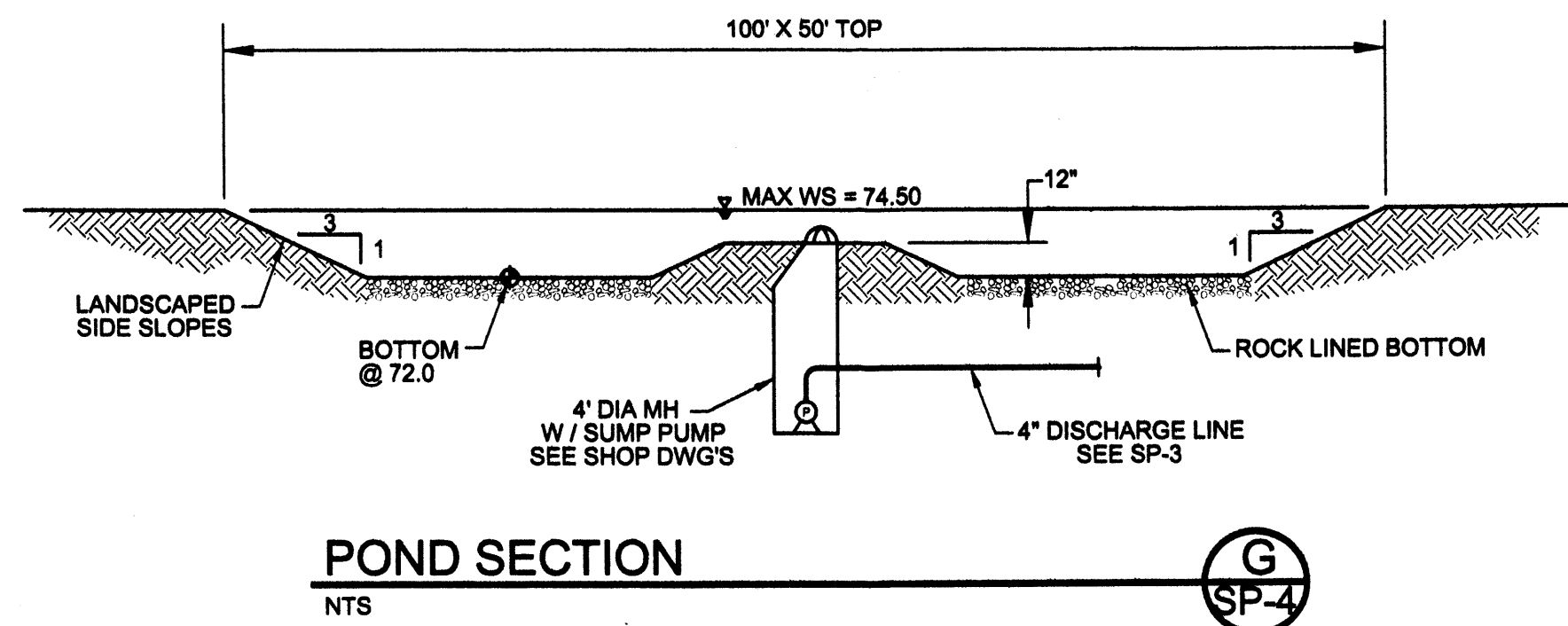
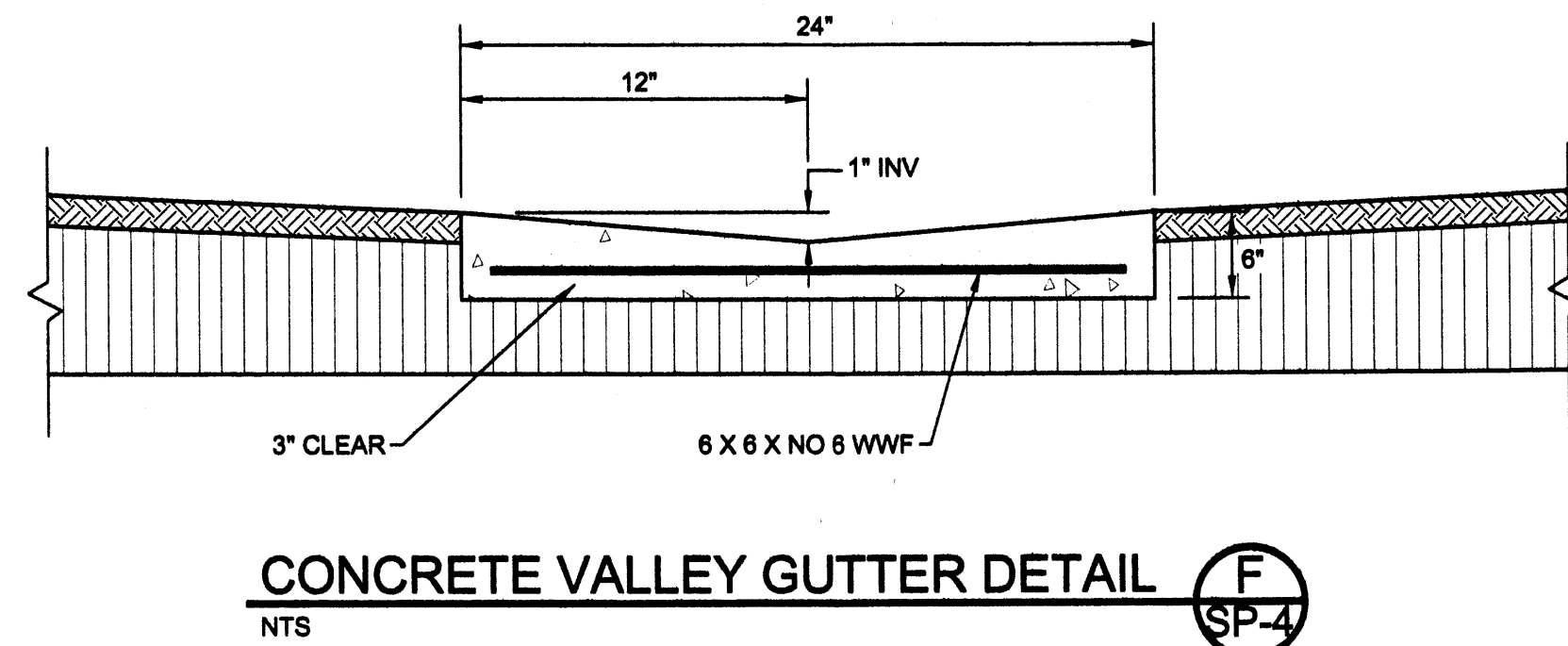
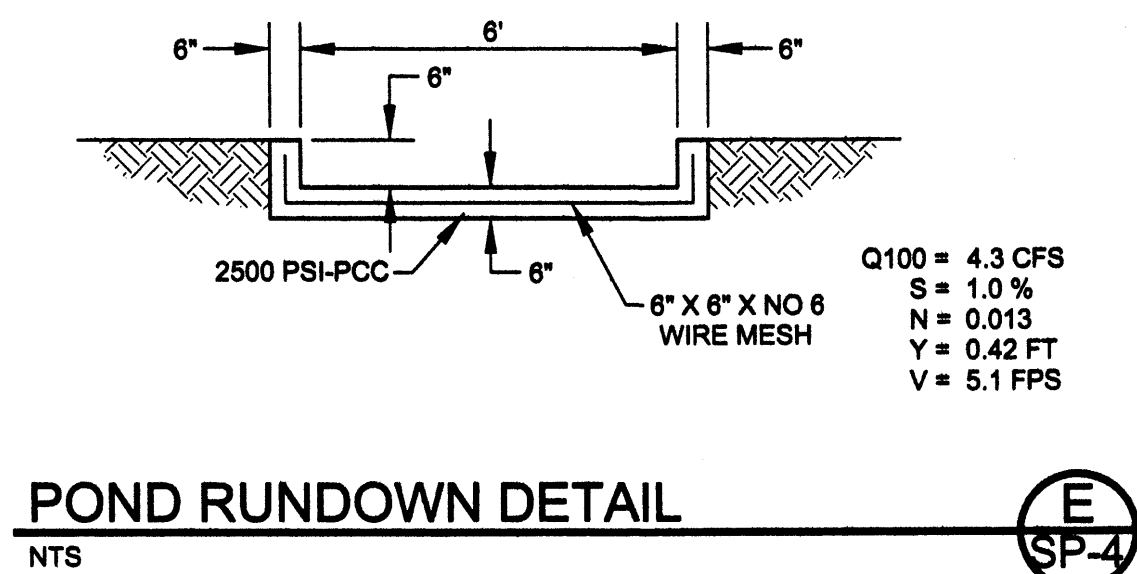
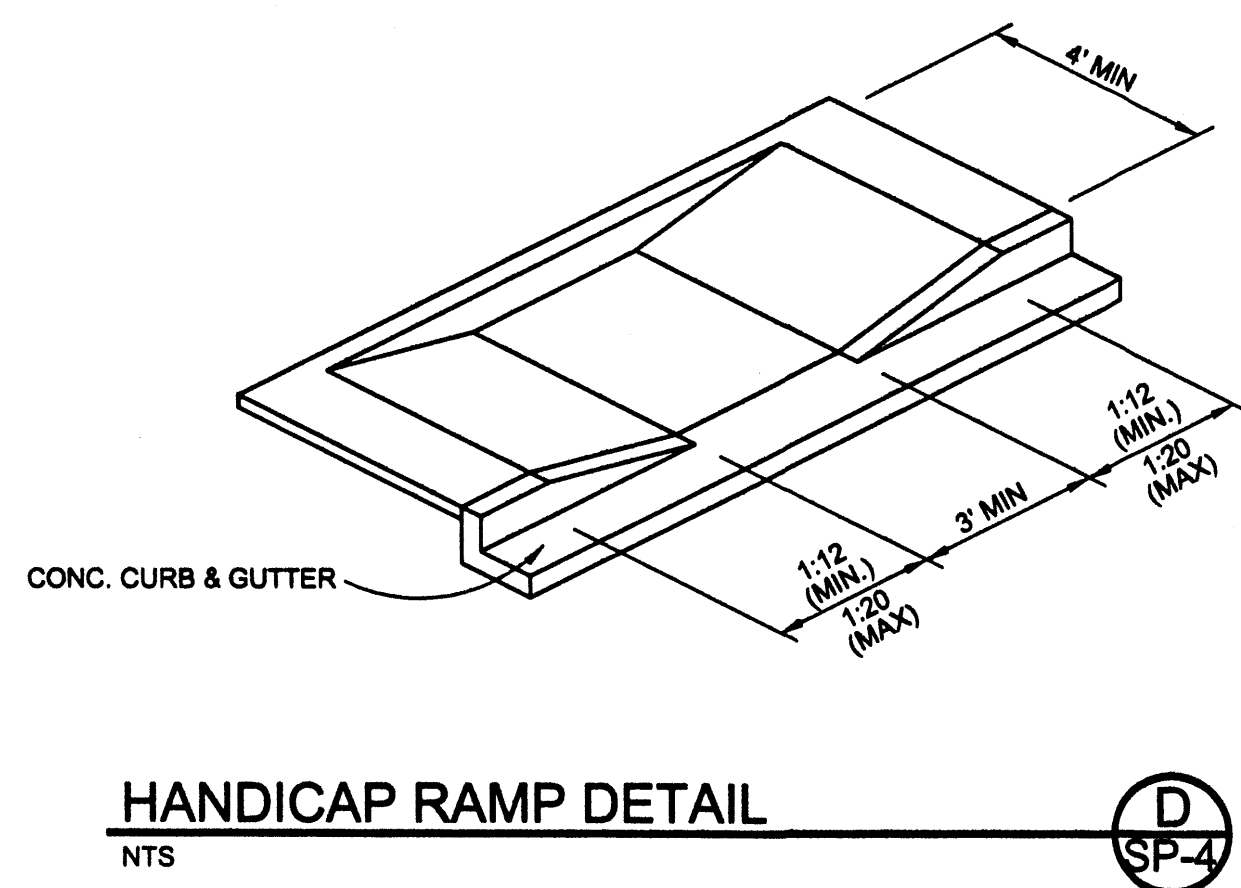
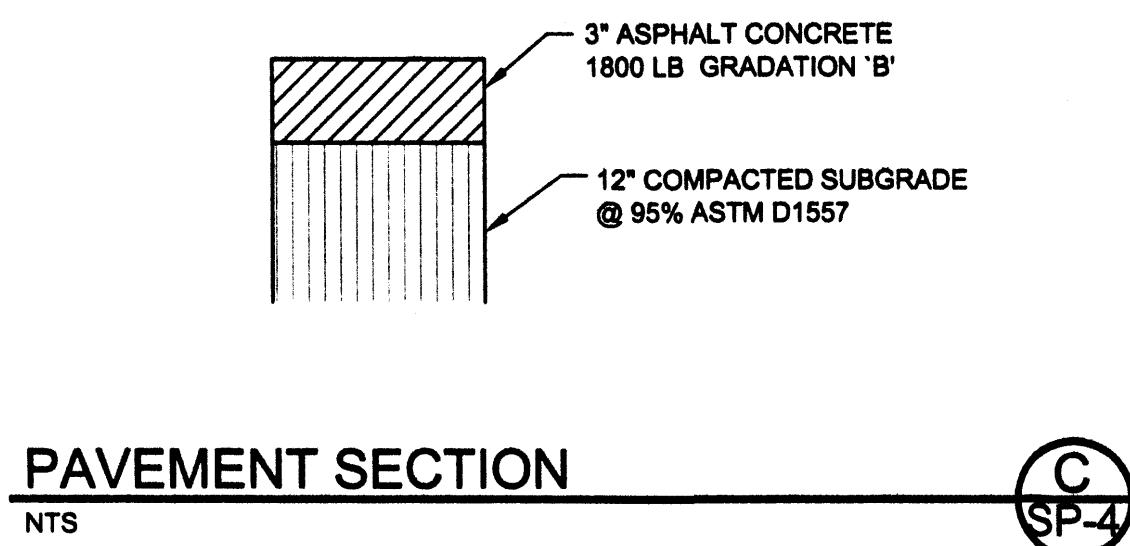
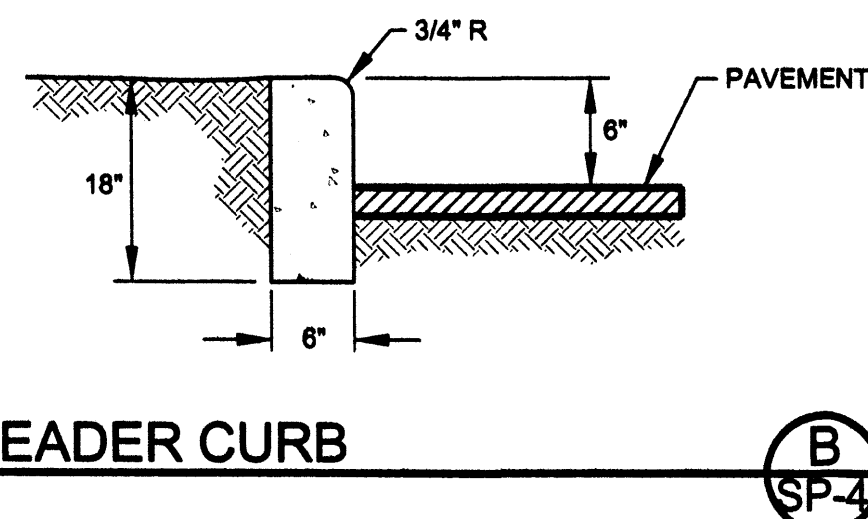
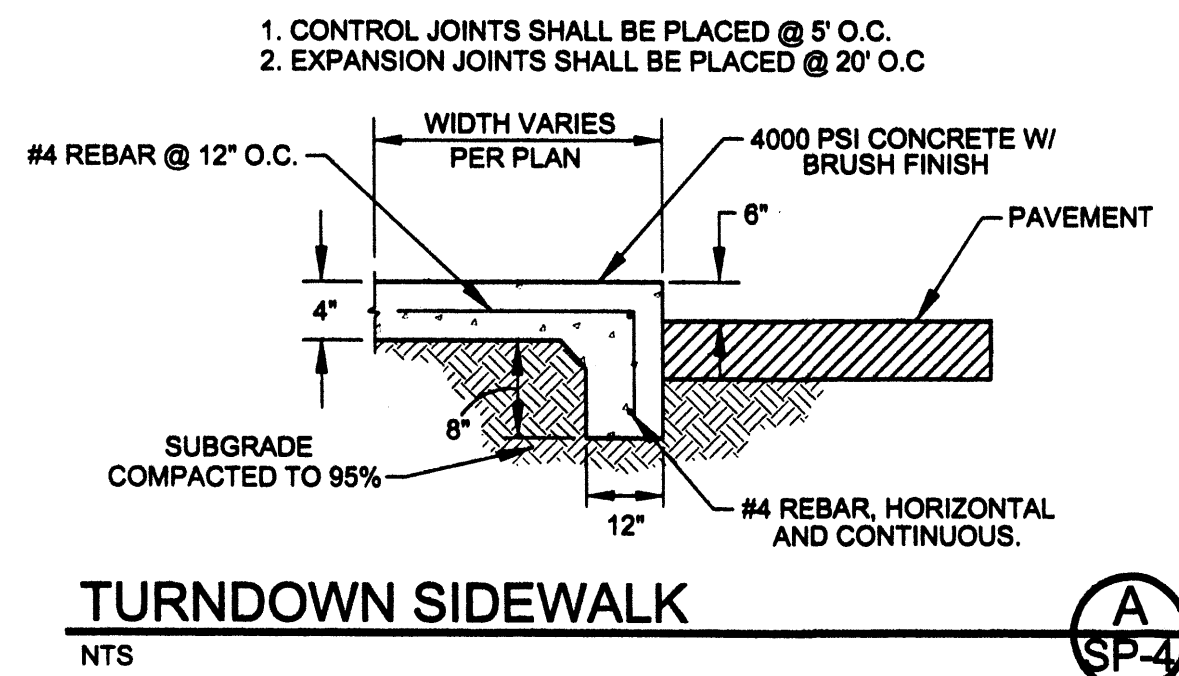


GRADING AND DRAINAGE PLAN

**SITE DEVELOPMENT
& FOUNDATION PLANS
DIERSEN CHARITIES, INC.
ALBUQUERQUE
2331 MENAUL BLVD. N.E.
ALBUQUERQUE, NEW MEXICO 87107**

Date: 11/10/04
Comm. No.: 04548
Dwn. By: RM
Chkd By: DAL
Revisions:

Sheet No.
SP-3
OF



PROJECT HYDROLOGY									
DIERSON CHARITIES									
ZONE:	2								
P ₂ HOUR	2.35								
P ₁₀ DAY	3.95								
UNDEVELOPED:									
BASIN	AREA (ac)	A (ac)	B (ac)	C (ac)	D (ac)	E	Q (cfs)	VOL (ac ft)	V 10 DAY (ac ft)
SITE	2.21	0.00	0.00	0.83	1.38	1.75	9.1	0.3223	0.5083
DEVELOPED (PROPOSED):									
BASIN	AREA (ac)	A (ac)	B (ac)	C (ac)	D (ac)	E	Q (cfs)	VOL (ac ft)	V 10 DAY (ac ft)
A	1.29	0.00	0.00	0.75	0.54	1.54	4.9	0.1656	0.2376
B	0.92	0.00	0.00	0.92	0.00	1.13	2.9	0.0866	0.0866

GRADING AND DRAINAGE PLAN

PROJECT DESCRIPTION

Pursuant to the Drainage Ordinance for the City of Albuquerque and the Development Process Manual, this Drainage Report outlines the drainage management criteria for controlling developed runoff from the project site. The project consists of the development of the property for Diersen Charities. Paving, landscaping, utility, grading, and drainage improvements will be provided to support the project.

SITE DESCRIPTION

The project site is approximately 2.21 acres in size and located at 2331 Menaul Boulevard NE. The site is presently described as Tract F, Menaul Development Area. The site is bounded on the north, east and west by developed industrial properties and on the south by Menaul Boulevard. The property is presently partially developed. Existing improvements consist of old asphalt pavement, which covers approximately 1.3 acres. The site has historically operated as a storage lot for various commercial vehicles. No buildings are present on the site. On-site topography slopes from southeast to northwest at approximately 2 percent. The southerly 1.3 acres is covered with worn asphalt pavement. The northerly acreage consists of rugged unpaved ground. A concrete retaining wall exists along the east property line. An existing zero lot line building is located at the southwest corner of the site. Site topography results in a fill slope along the west property line.

EXISTING CONDITIONS

The site is presently drains north and west from Menaul to the northwest corner of the property. All excess runoff funnels to an exit point located approximately 60' south from the northwest property corner. Fill slopes exist along the north and west property boundaries, which are remnants of the Embudo Arroyo channel and drainage easement which has been abandoned by surrounding development. Site runoff enters Tract E-4B-2 and is conveyed south to Woodland Avenue. No off-site flows enter the site.

As shown by FIRM panel 35001C0351E, the project site is not located within a designated 100-year flood hazard zone.

PROPOSED CONDITIONS

As shown by the Plan, the project consists of the development of the property for Diersen Charities, Inc. Paving, landscaping, and drainage improvements will be constructed as necessary to support the project. The Plan shows the elevations and details required to properly grade and construct the recommended improvements. The direction of the drainage flows are given by flow arrows.

Development will be limited to the southerly 1.3 acres, with the northerly acreage remaining undeveloped. In order to reduce the impact on downstream properties, the development (Basin "A") will drain to a retention pond, sized to contain the 100-year/10-day storm. The pond will drain by a sump pump designed to evacuate the pond within 96-hours. The pump will discharge through a 4-inch storm drain to Menaul Boulevard. The undeveloped acreage will continue to drain west into Tract E-4B-2, pending future development. Future development will be contingent on obtaining an adequate downstream outfall or reconfiguring the retention pond to accommodate a fully developed site. In the interim, development will reduce the peak flowrate discharging onto Tract E-4B-2 from 9.1 cfs under existing conditions to 2.9 cfs under developed conditions. Research of public records did not discover any official grading and drainage plans for Tract E-4B-2 that demonstrate the existence of downstream easements or improvements that would benefit the subject project.

TEMPORARY EROSION CONTROL PLAN

As required by EPA a Storm Water Pollution Prevention Plan is required that outlines the best management controls required to manage erosion and discharges from the site. The SWPPP and Notice of Intent will be available prior to construction per EPA requirements.

CALCULATIONS

The calculations contained herein define the 100-year/6-hour and 100-year/10-day design storms falling within the project area under existing and developed conditions. They hydrology is per "Chapter 22, Development Process Manual, Vol. 2", 1997 revision. Calculations are provided to demonstrate the capacity and function of all proposed storm drainage infrastructures.

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GRADING AND DRAINAGE PLAN

SITE DEVELOPMENT
& FOUNDATION PLANS
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