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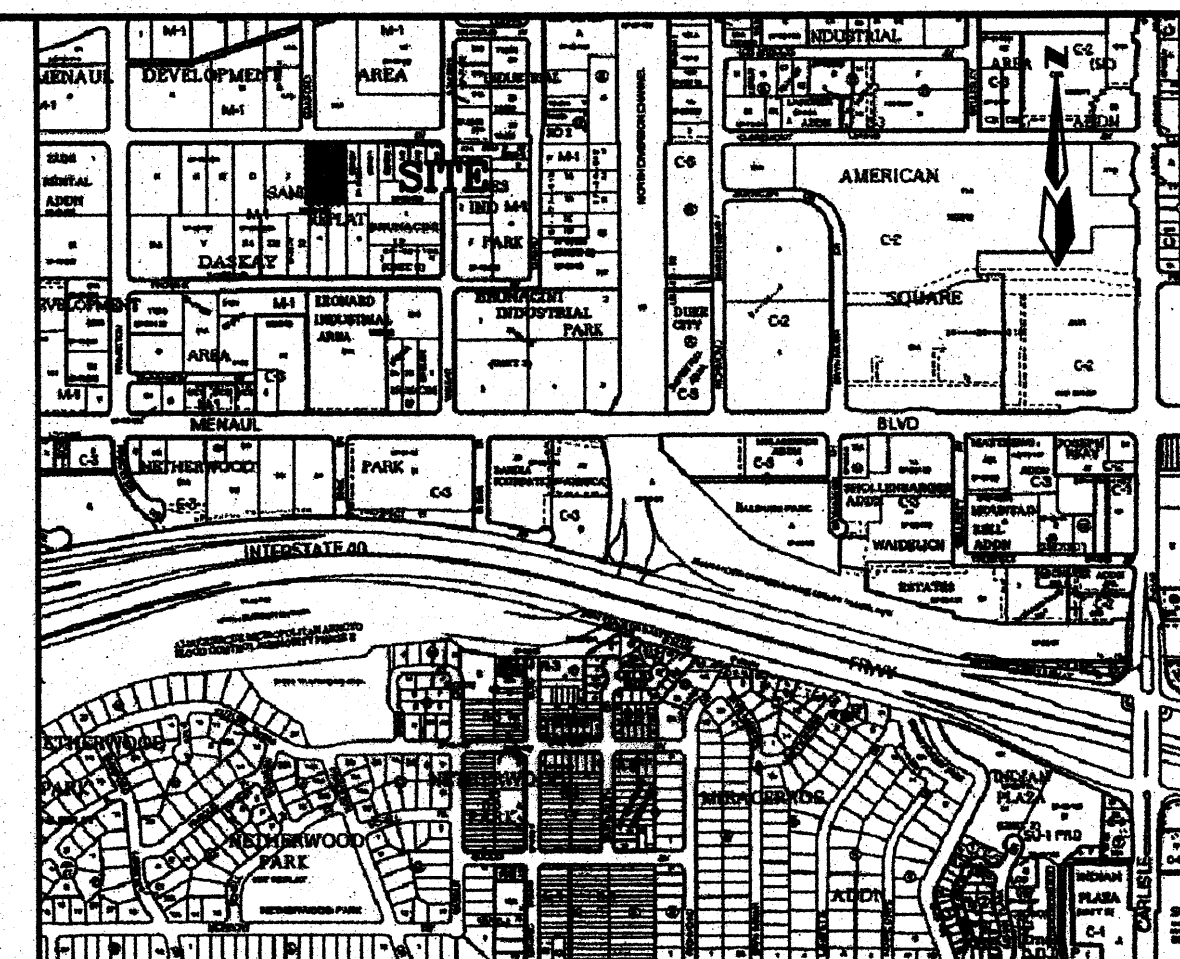
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- SITE DOES NOT LIE WITHIN A 100 YEAR FLOOD ZONE. REFER TO FIRM MAP #35001C0351G.
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NOTICE TO CONTRACTOR

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5.	Backfill compaction shall be according to Traffic / street use.
6.	Maintenance of these facilities shall be the responsibility of the Owner of the property served.
7.	Work on Arterial Street shall be Performed on a 24-hour Basis.

Approval	Name	Date
Inspector		



VICINITY MAP **ZONE MAP: H-16-Z**

TEMPORARY BENCHMARK

SANITARY SEWER MANHOLE RIM IN CLAREMONT AVENUE NE AS SHOWN.

ACS BENCHMARK

ACS MONUMENT "L-40-12" HAVING AN ELEVATION OF 5117.289 (NAVD 88-GRID).

LEGAL DESCRIPTION

LOT NUMBERED THREE (3), OF SANDOZA SUBDIVISION, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON MAY 27, 1980, IN BOOK C16, PAGE 169.

STREET ADDRESS:

2402 CLAREMONT N.E.

LEGEND

- ⊙ EXISTING WATER METER
- ⊙ EXISTING WATER VALVE
- ⊙ EXISTING LIGHT POST
- ⊙ EXISTING ELECTRIC CABINET
- ⊙ EXISTING ELECTRIC METER
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- ⊙ EXISTING TOP OF CONCRETE ELEVATION
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- NEW FLOW DIRECTION ARROW
- NEW ROOF DRAIN FLOW ARROW
- NEW SPOT ELEVATION
- ▨ NEW ASPHALT PAVEMENT
- ▨ NEW LANDSCAPING
- ▨ NEW ROCK LINED SWALES
- ▨ NEW CONCRETE FLATWORK



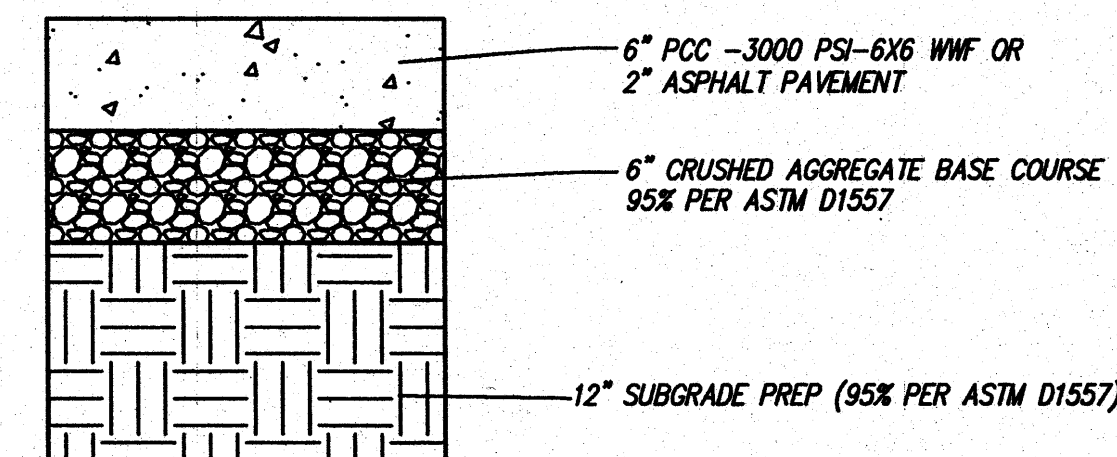
EXISTING SITE AND FLOW PATTERN

SCALE: 1" = 100'

DRAINAGE CALCULATIONS

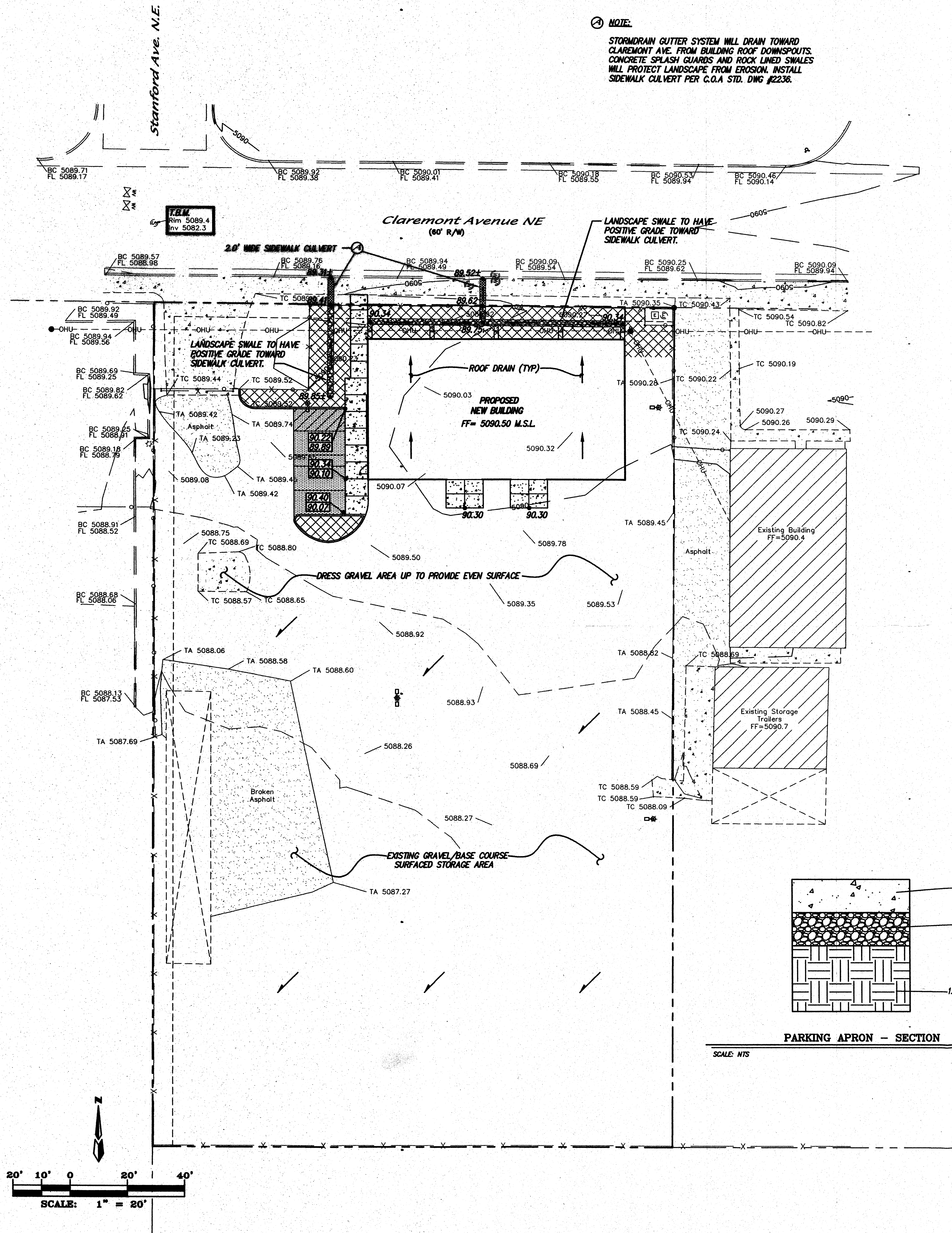
EXISTING	PROPOSED
AREA=.....1.2 AC. ±0.00187 SQ MI.	AREA=.....1.2 AC.
LAND TREATMENT C=.....100%	LAND TREATMENT C=.....91%
P(100-6)=.....2.35 IN.	LAND TREATMENT D=.....9%
T _c =.....10 MIN.	P(100-6)=.....2.35 IN.
Q(100)=.....1.78 cfs	T _c =.....10 MIN.
VOL(100)=.....0.095 ac. ft.	*Q(100)=.....1.92 cfs
	VOL(100)=.....0.105 ac. ft.

*FLOW INCREASE OF 0.14 cfs IS NEGLIGIBLE - FLOW WILL CONTINUE TO EXIT PROPERTY VIA AN EXISTING DRIVE PAD AT CLAREMONT AVE N.E. & 2 SIDEWALK CULVERTS



PARKING APRON - SECTION

SCALE: NTS



McDade-Woodcock Building
GRADING & DRAINAGE PLAN

dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505)828-2200, FAX (505)797-9539

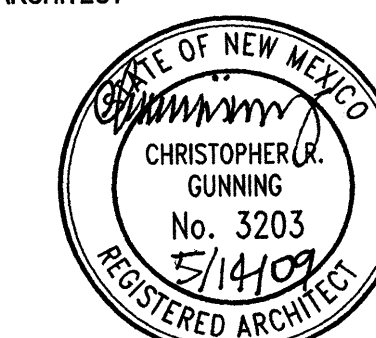
Designed: DMG	Drawn: DER	Checked: DMG	Sheet 1 of 1
Scale: 1" = 1'	Date: 3/27/2009	Job: A08071	



**Dekker
Perich
Sabatini**

7601 Jefferson NE Suite 100
Albuquerque, NM 87109
505 761-9700
fax 761-4222
dps@dpsdesign.org

ARCHITECT



ENGINEER

PROJECT

**McDade Woodcock
Warehouse Building**
Claremont Ave.
Albuquerque, New Mexico

GENERAL NOTES

- ONLY NEW WORK TO BE DONE ON SITE IS THE CONSTRUCTION OF THE STORAGE BUILDING.
- NEW PROPOSED BUILDING IS A STORAGE FACILITY FOR THE MCDADE WOODCOCK INCORPORATED BUSINESS WHICH HAS ITS MAIN OFFICE LOCATED ON THE ADJACENT PARCEL TO THE EAST. PARKING FOR EMPLOYEES ARE ALSO LOCATED ON THIS PARCEL.

KEYED NOTES

- EXISTING LIGHT POLE
- EXISTING SIDEWALK
- EXISTING LANDSCAPED AREA
- EXISTING UTILITY AREA
- EXISTING TRUCK AND MATERIAL SITE STORAGE
- NEW CONCRETE DRIVE PAD APRON
- NEW CONCRETE PAD
- EXISTING MAIN BUILDING ENTRY
- NEW CONCRETE SPLASH BLOCK LOCATED AT EVERY DOWNSPOUT TYP.
- EXISTING GATED ENTRY INTO SITE
- EXISTING PARKING AREA
- EXISTING FIRE HYDRANT
- 8' WIDE CONCRETE PEDESTRIAN SIDEWALK UP TO PERIMETER FENCE. EXTEND 6' SIDEWALK TO WALK ADJACENT TO CLAREMONT AVE. PROVIDE 3' WIDE GATE AT FENCE.
- 8.5x18' ACCESSIBLE PARKING SPACE, SIGN MOUNTED TO FACE OF BUILDING.
- TYPICAL 8.5x18' PARKING SPACE.
- 8' WIDE CONCRETE SIDEWALK.
- EXTENT OF ASPHALTIC PAVING IN PARKING AREA.
- 4x18' MOTORCYCLE PARKING SPACE, SIGN MOUNTED TO FACE OF BUILDING.
- TRASH BIN LOCATION; ROLLED OUT FROM SECURED LOCATION TO PREVENT UNLAWFUL DUMPING.

LEGEND

— x — x — x — x — x EXISTING CHAIN LINK PERIMETER FENCE

— — — — — PROPERTY LINE

— — — — — SETBACK LINE

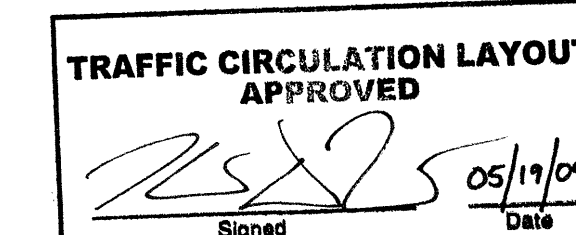
— ELEC — ELEC — ELEC — ELEC — ELEC OVERHEAD POWER LINE

EXISTING CONDITIONS

PARKING

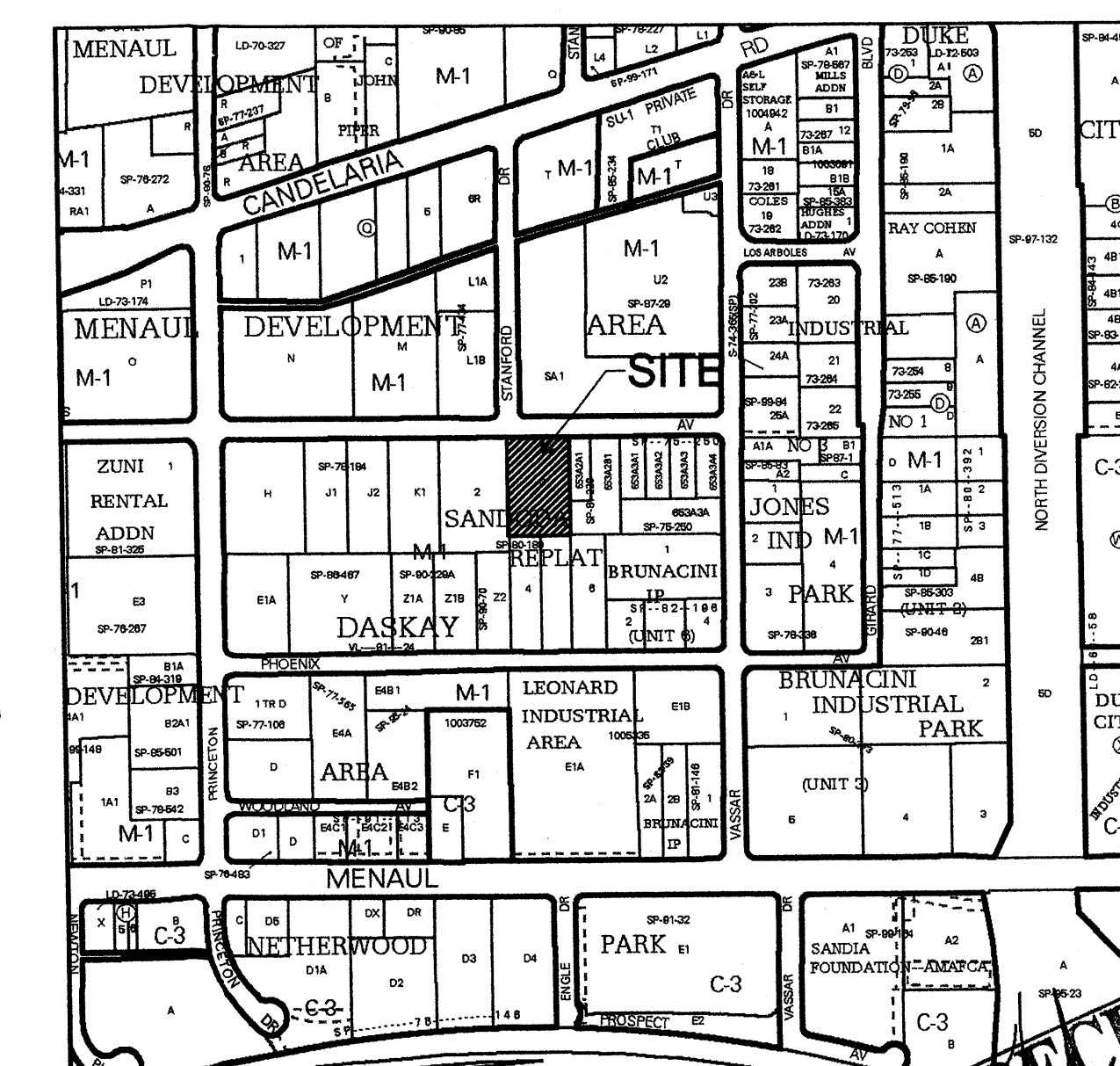
REQUIRED: 1 PARKING SPACE/2000 S.F. (WAREHOUSE)
= 3 PARKING SPACES
MOTORCYCLE: (1-25) SPACES = 1 MOTORCYCLE SPACE
HANDICAP: (1-25) SPACES = 1 HC SPACE; VAN ACCESSIBLE

PROVIDED: 1 PARKING SPACE/2000 S.F. (WAREHOUSE)
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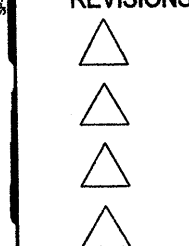
ALL WHEELCHAIR RAMPS LOCATED
WITHIN THE PUBLIC RIGHT OF WAY
MUST HAVE TRUNCATED DOMES.

Public Infrastructure shown
on these plans for information
only and not part of approval.
Separate DRG/Permit approval
and Work Order required.



VICINITY MAP

REVISIONS



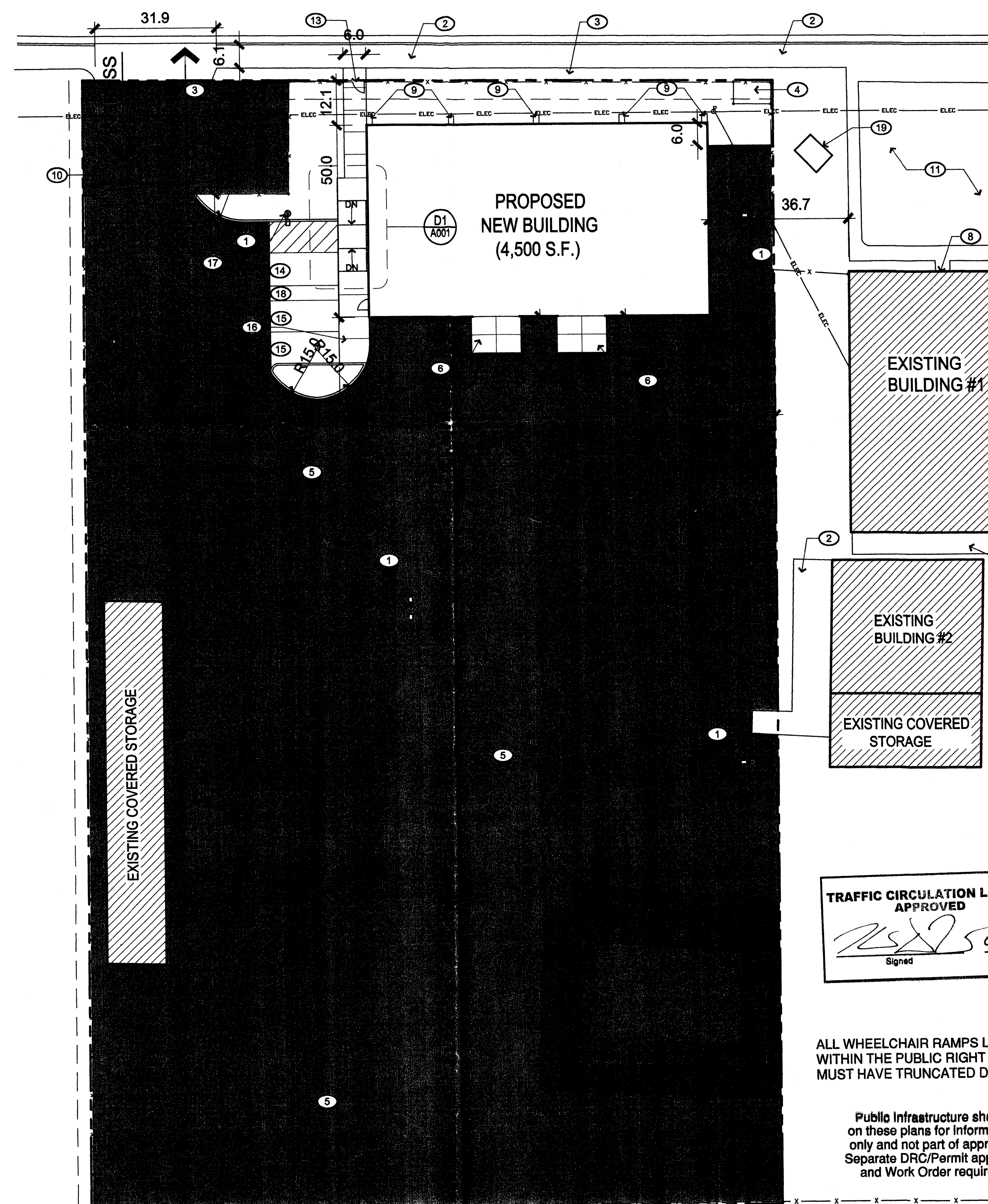
DRAWN BY: KK
REVIEWED BY: CG
DATE: 04/29/2009
PROJECT NO.: 08-0096
DRAWING NAME:



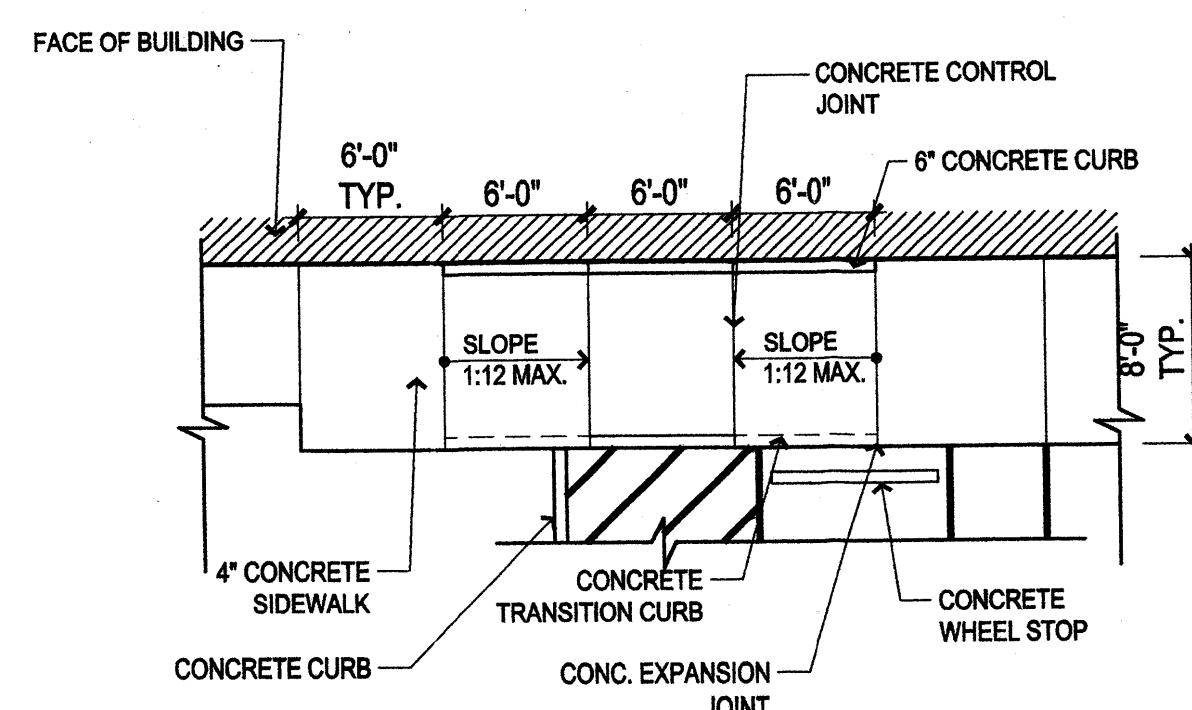
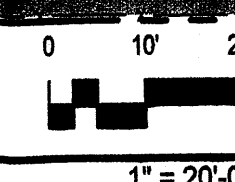
A001
OF

STANFORD AVE. NE

CLAREMONT AVE. NE



SITE PLAN



ENLARGED PLAN

1/8" = 1'-0"

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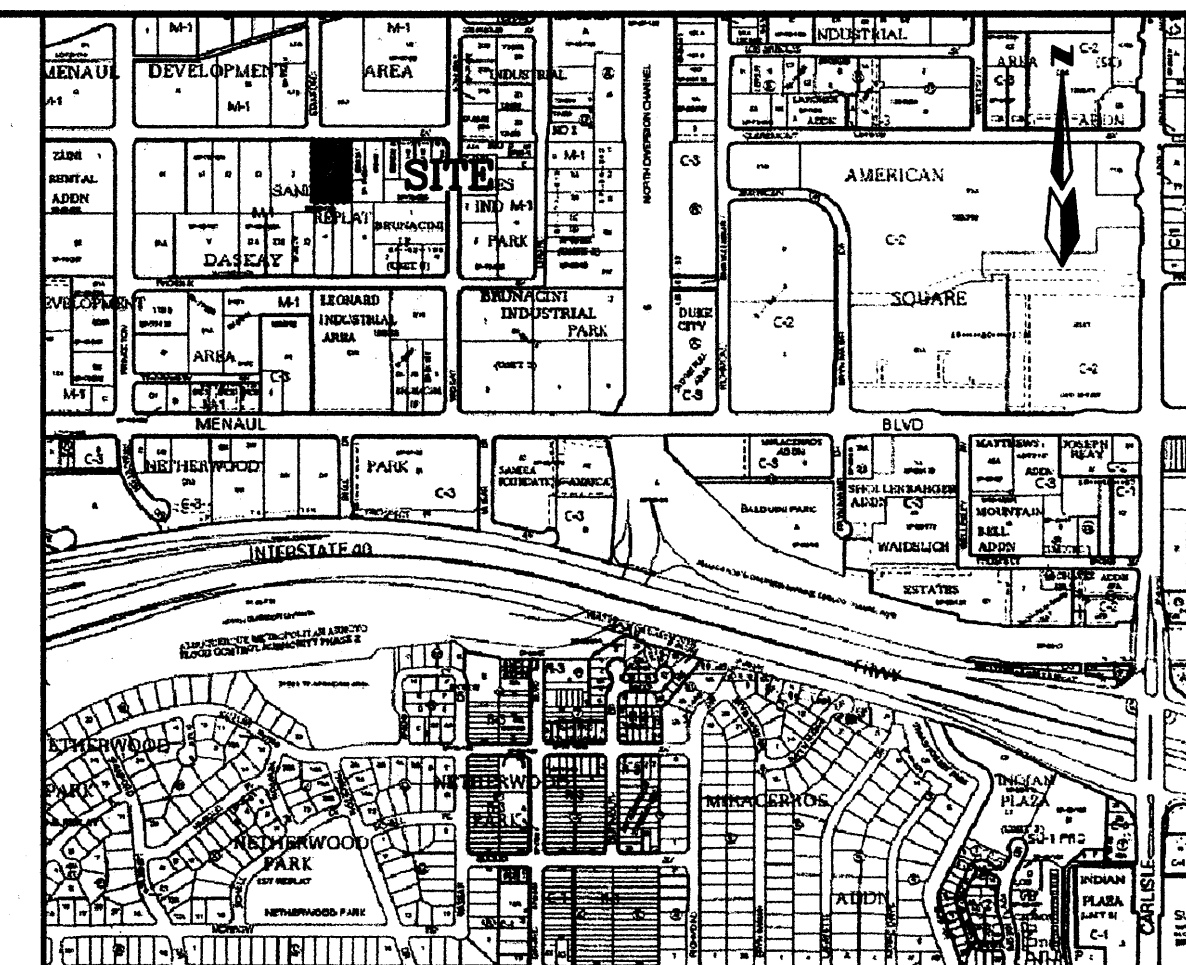
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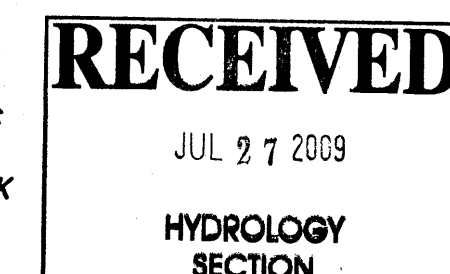
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Designed: DMG	Drawn: DER	Checked: DMG	Sheet 1 of 1
Scale: 1" = 1'	Date: 3/27/2009	Job: A08071	



EXISTING SITE AND FLOW PATTERN

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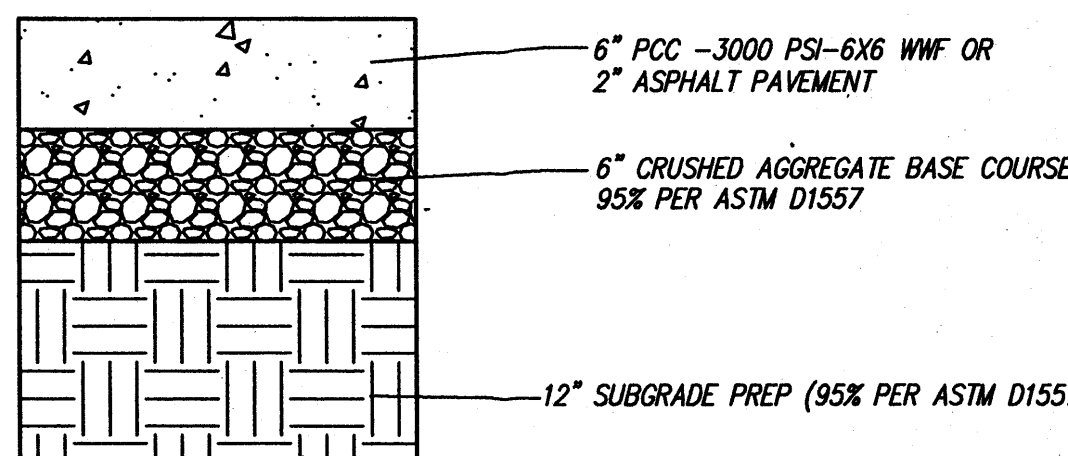
SCALE: NTS

DRAINAGE CERTIFICATION

I, MARK GOODWIN, NMPE 8848, OF THE FIRM MARK GOODWIN & ASSOCIATES, P.A. HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 3/27/2009. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY WILL PLOTNER, JR., NMPS 7719, OF THE FIRM CARTESIAN SURVEYS. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 7/24/2009, AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR GRADING CERTIFICATION APPROVAL.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

MARK GOODWIN NMPE 8848
DATE 7/24/09



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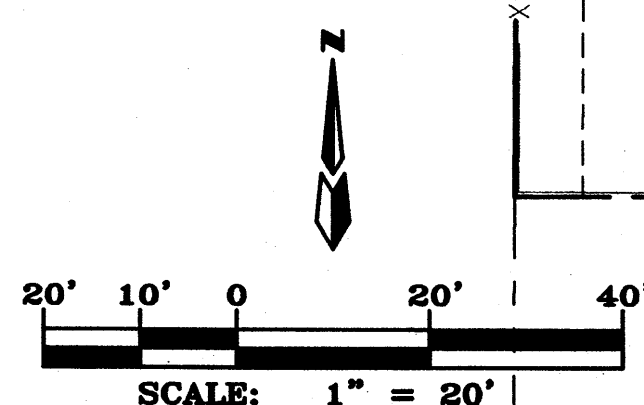
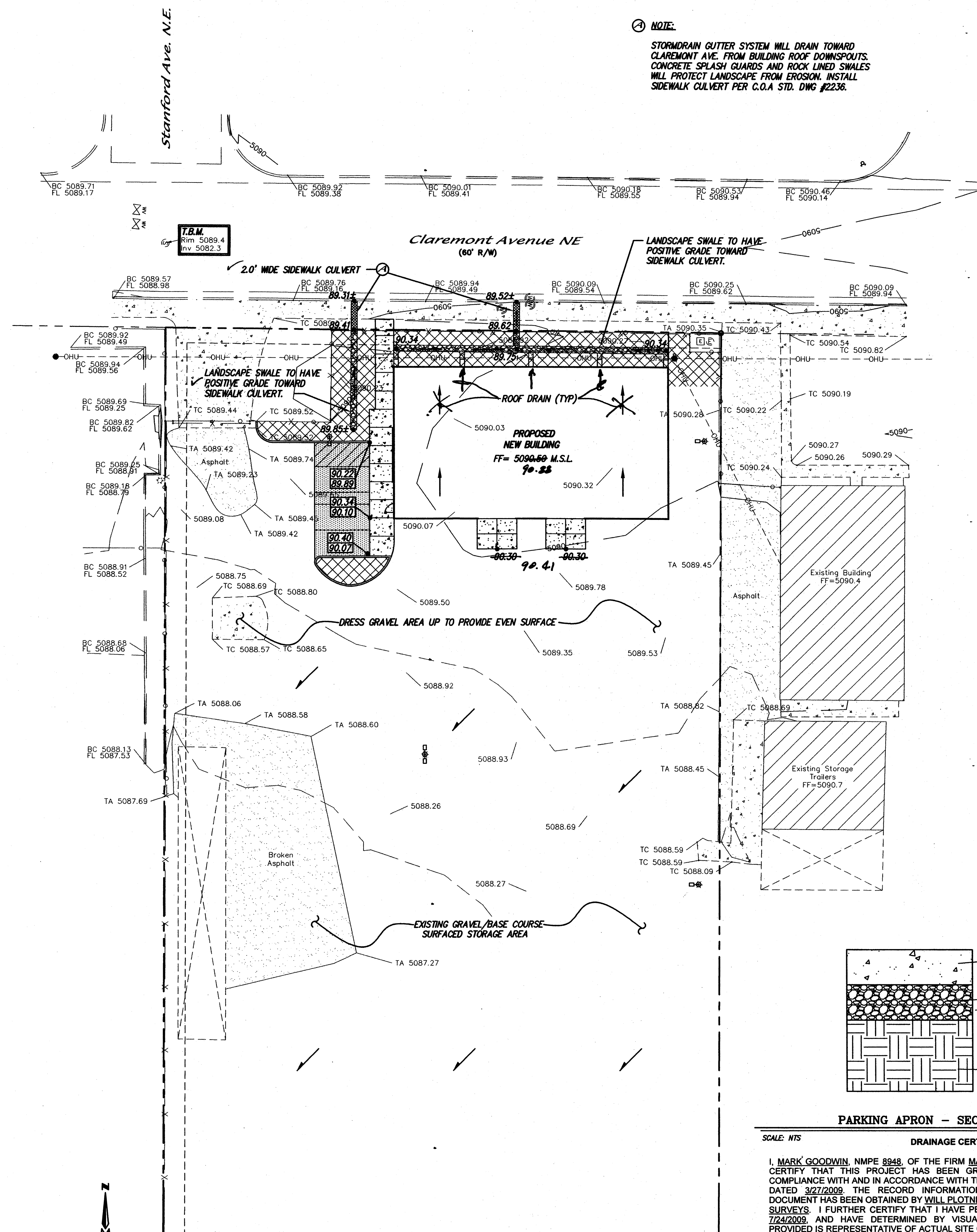
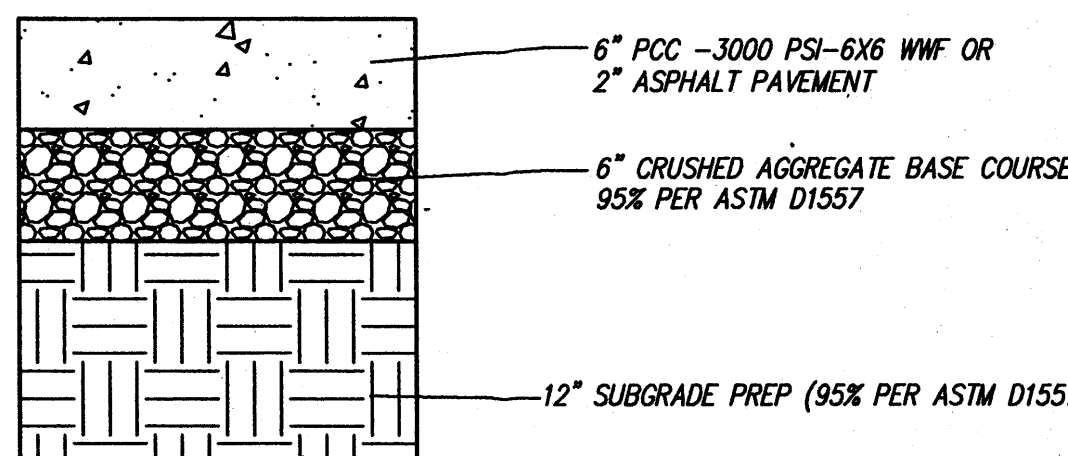
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