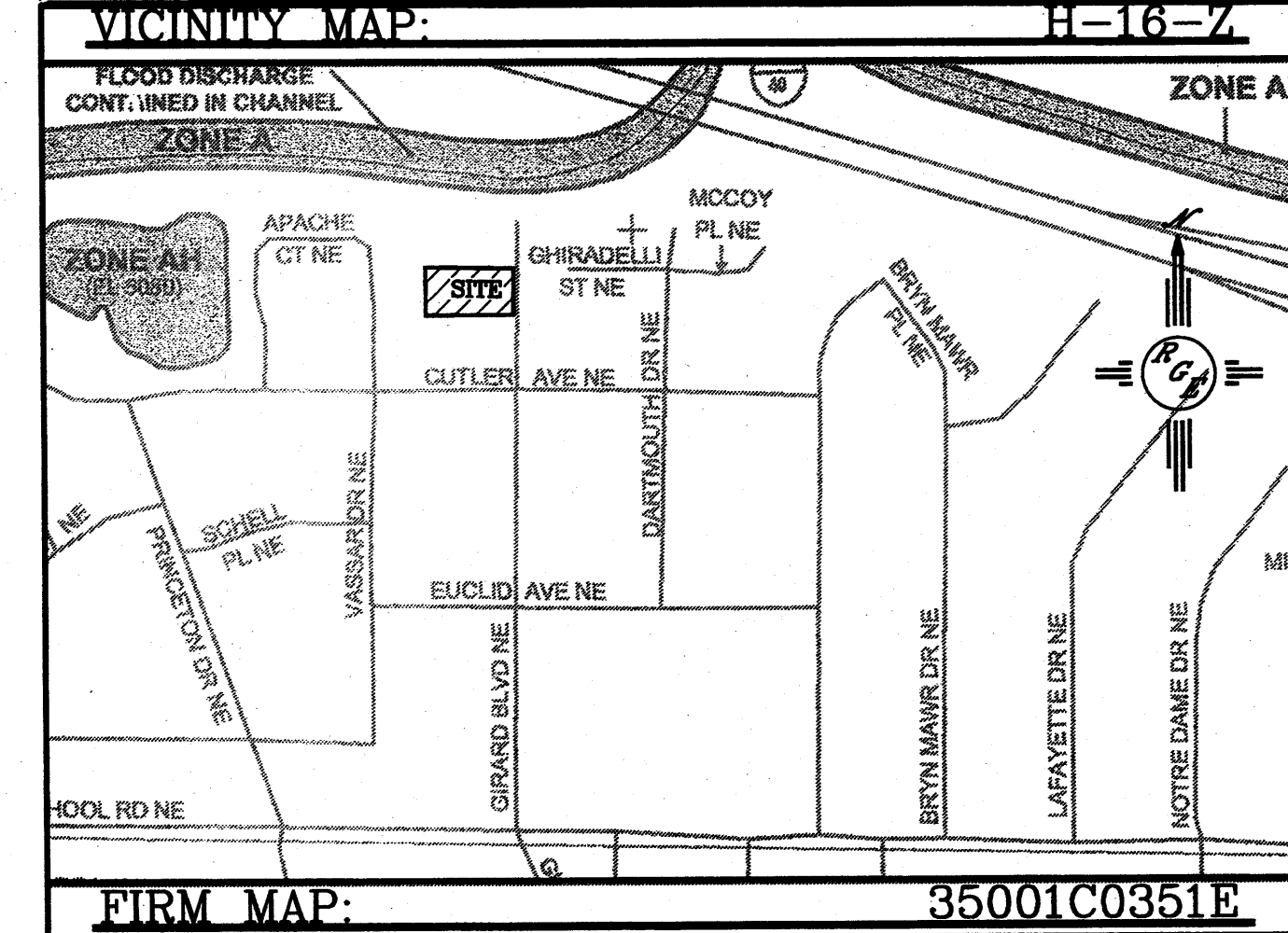
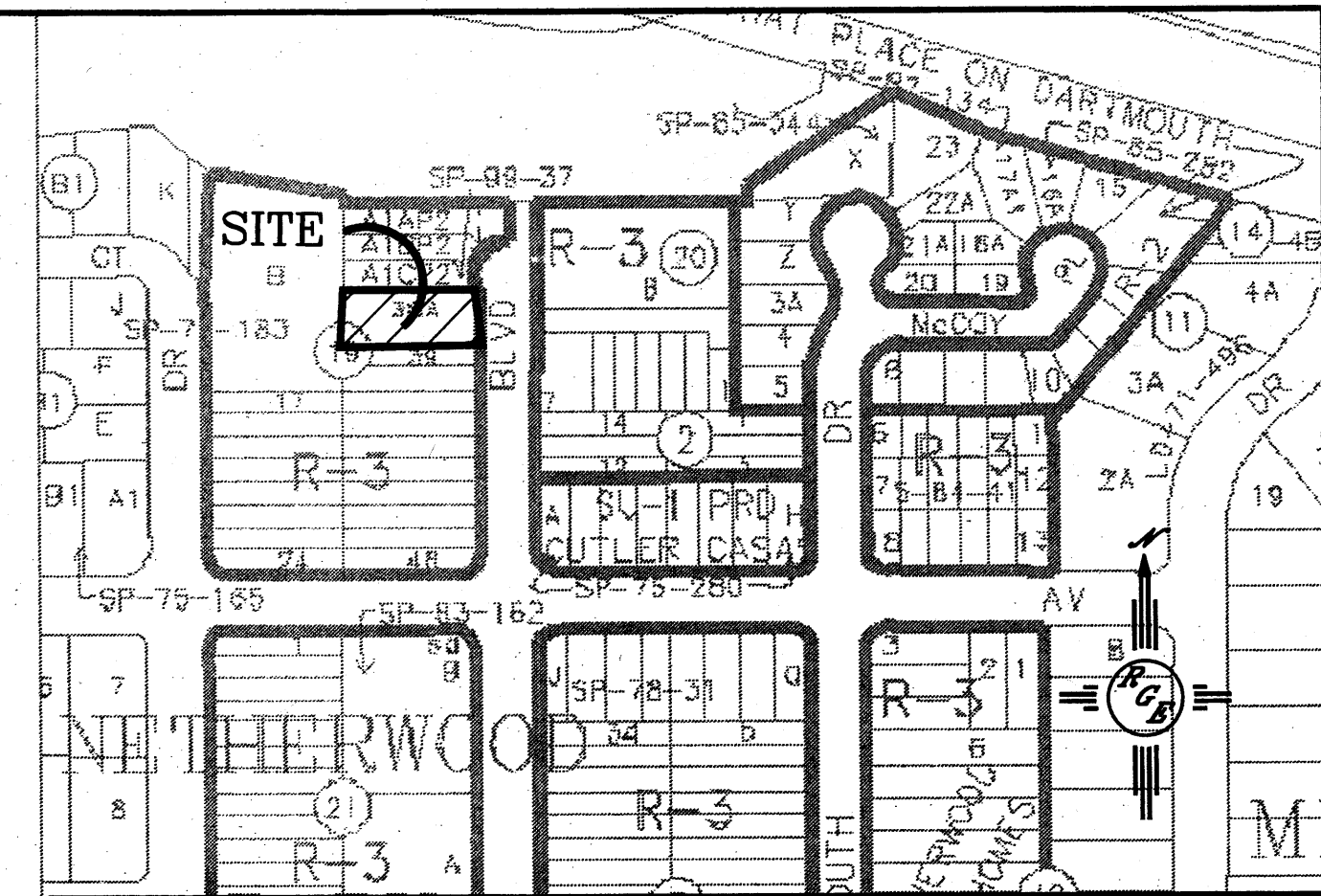


LEGEND

GENERAL NOTES:	
---	EXISTING CURB & GUTTER
---	PROPOSED CURB & GUTTER
---	BOUNDARY LINE
---	EASEMENT
---	PROPOSED SIDEWALK
---	PROPOSED PERIMETER WALL
---	PROPOSED RETAINING WALL
---	EXISTING CONTOUR
---	EXISTING INDEX CONTOUR
---	FLOW ARROW
---	SLOPE TIE
---	PROPOSED SPOT ELEVATION
---	EXISTING SPOT ELEVATION
---	CENTERLINE
---	RIGHT-OF-WAY
---	LOT LINES
---	SETBACK LINE
---	PROPOSED ASPHALT
---	PROPOSED 6" COBBLES



LEGAL DESCRIPTION:

LOT 38A, BLK 19, NEATHERWOOD PARK

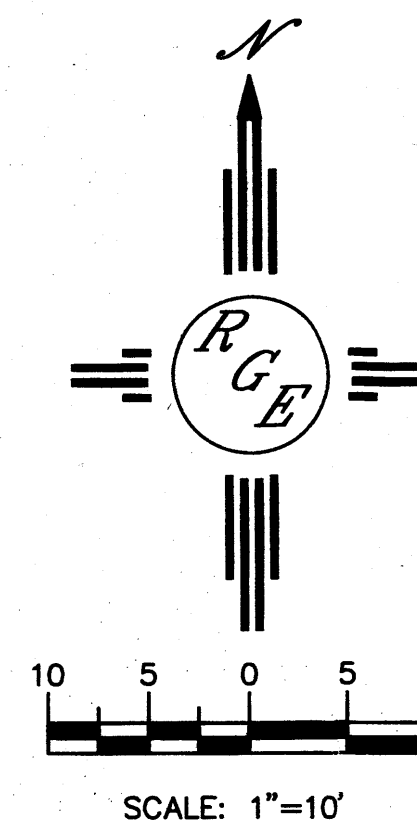
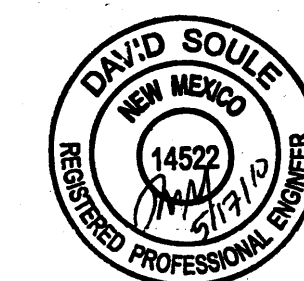
NOTES:

1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.
2. ALL CURB AND GUTTER TO BE STANDARD PER COA STD DWG #2415A UNLESS OTHERWISE NOTED.

EROSION CONTROL NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.

I David Soule, NMPE 14522, of the firm Rio Grande Engineering, hereby certify that this project has been graded and will drain in substantial compliance with and in accordance with the design intend of the approved plan dated 9/15/09. The record information edited on the original design document has been performed by me or under my direct supervision and is true and correct to the best of my knowledge and belief. The as-built survey was provided by David Vigil, 8911. The certification is submitted in support of a request for Permanent certificate of Occupancy. The record information presented heron is not necessarily complete and intended only to verify substantial compliance of the grading and drainage aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose.



CAUTION:
EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER

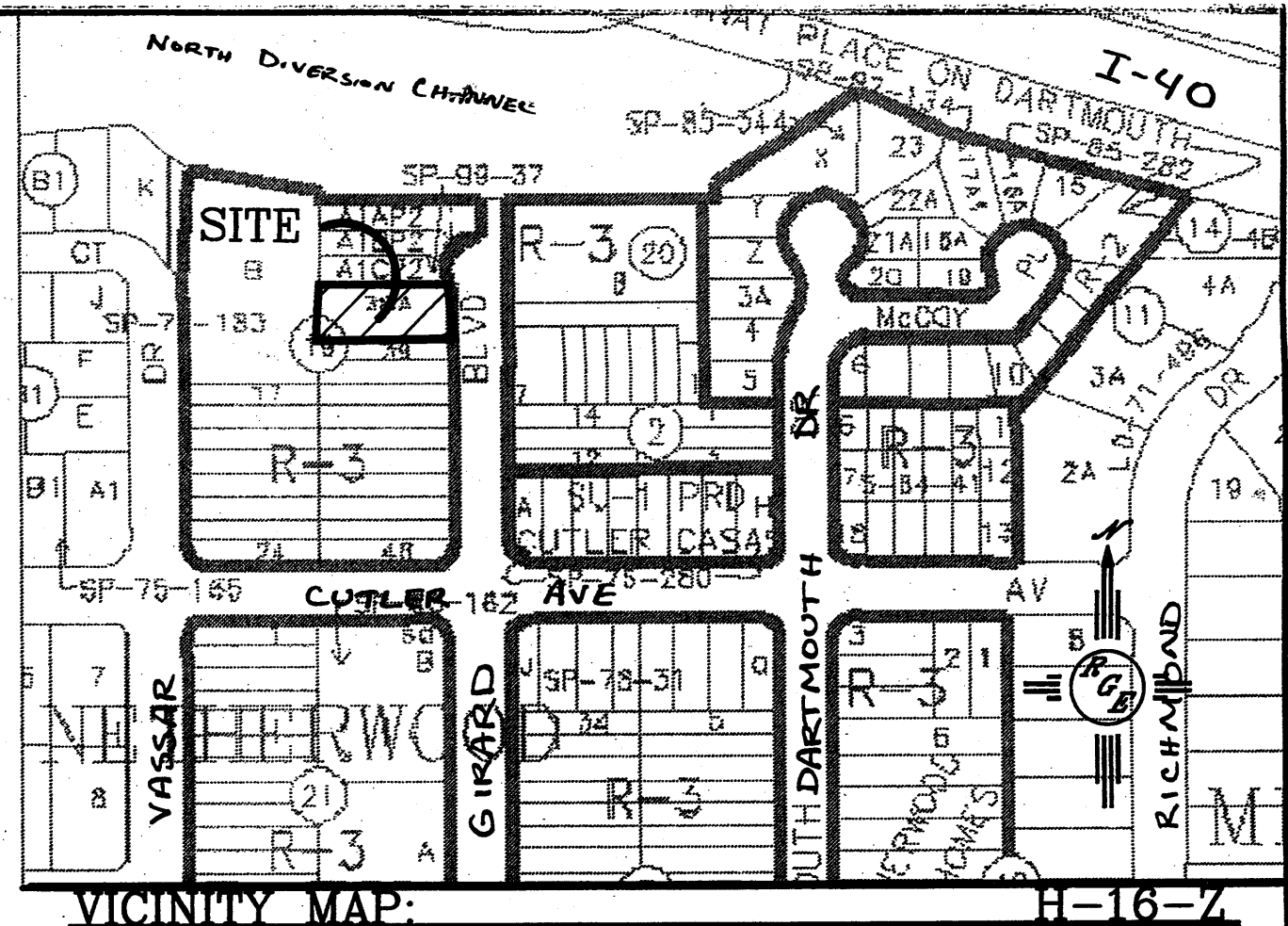
RECEIVED
MAY 17 2010
HYDROLOGY SECTION

ROUGH GRADING APPROVAL

ENGINEER'S SEAL	GIRARD TOWNHOMES GRADING AND DRAINAGE PLAN	DRAWN BY WCHJ
		DATE 9-10-09
		2009-LAYOUT-9-09-09
		SHEET #
DAVID SOULE P.E. #14522	Rio Grande Engineering 1606 CENTRAL AVENUE SE SUITE 201 ALBUQUERQUE, NM 87106 (505) 872-0999	JOB # 2929

LEGEND

- EXISTING CURB & GUTTER
- PROPOSED EDGE OF ASPHALT
- BOUNDARY LINE
- CENTERLINE
- RIGHT-OF-WAY
- LOT LINES



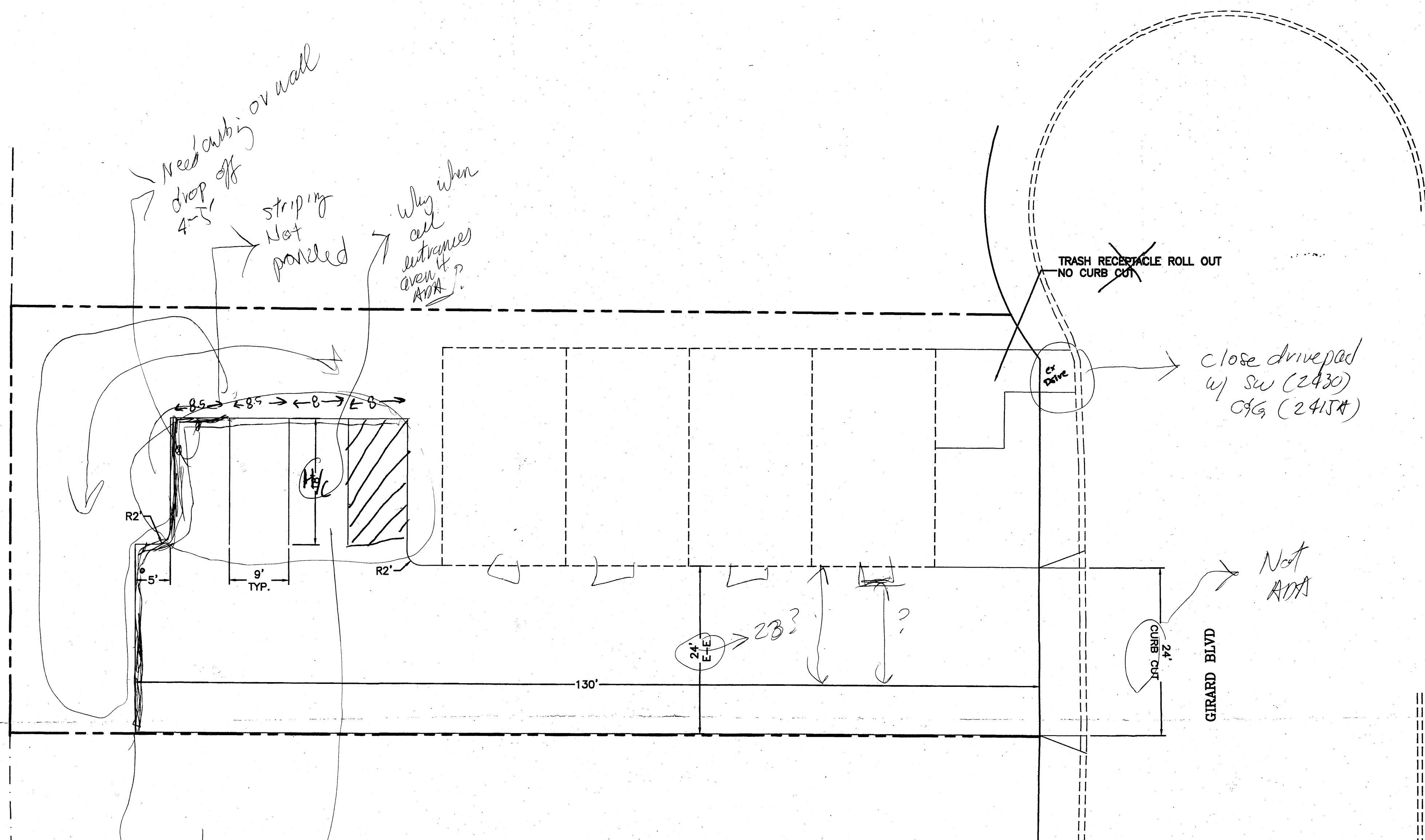
LEGAL DESCRIPTION:

LOT 38A, BLK 19, NEATHERWOOD PARK

SITE DATA:

NUMBER OF UNITS: 4 UNITS (950 SF-2BD/2BA)
PARKING REQUIRED: 6 SPACES (1.5 SPACES PER UNIT)
PARKING PROVIDED: 7 SPACES TOTAL
1 SPACES PER GARAGE/1 SPACE
ONSITE SPACE PER UNIT

*NOTE-NO UNIT SHALL BE HC ACCESSIBLE



I David Soule, NMPE 14522, of the firm Rio Grande Engineering, hereby certify that this project has been graded and will be constructed in substantial compliance with and in accordance with the design intend of the approved TCL plan dated 9/15/09. The record information edited on the original design document has performed by me or under my direct supervision and is true and correct to the best of my knowledge and belief. The as-built survey was provided by David Vigil, 8911. The certification is submitted in support of a request for Permanent Certificate of Occupancy. The record information presented heron is not necessarily complete and intended only to verify substantial compliance of the Traffic Circulation aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose.



ALL WHEELCHAIR RAMPS LOCATED WITHIN THE PUBLIC RIGHT OF WAY MUST HAVE TRUNCATED DOMES.

Public Infrastructure shown on these plans for information only and not part of approval. Separate DRC/Permit approval and Work Order required.

RECEIVED

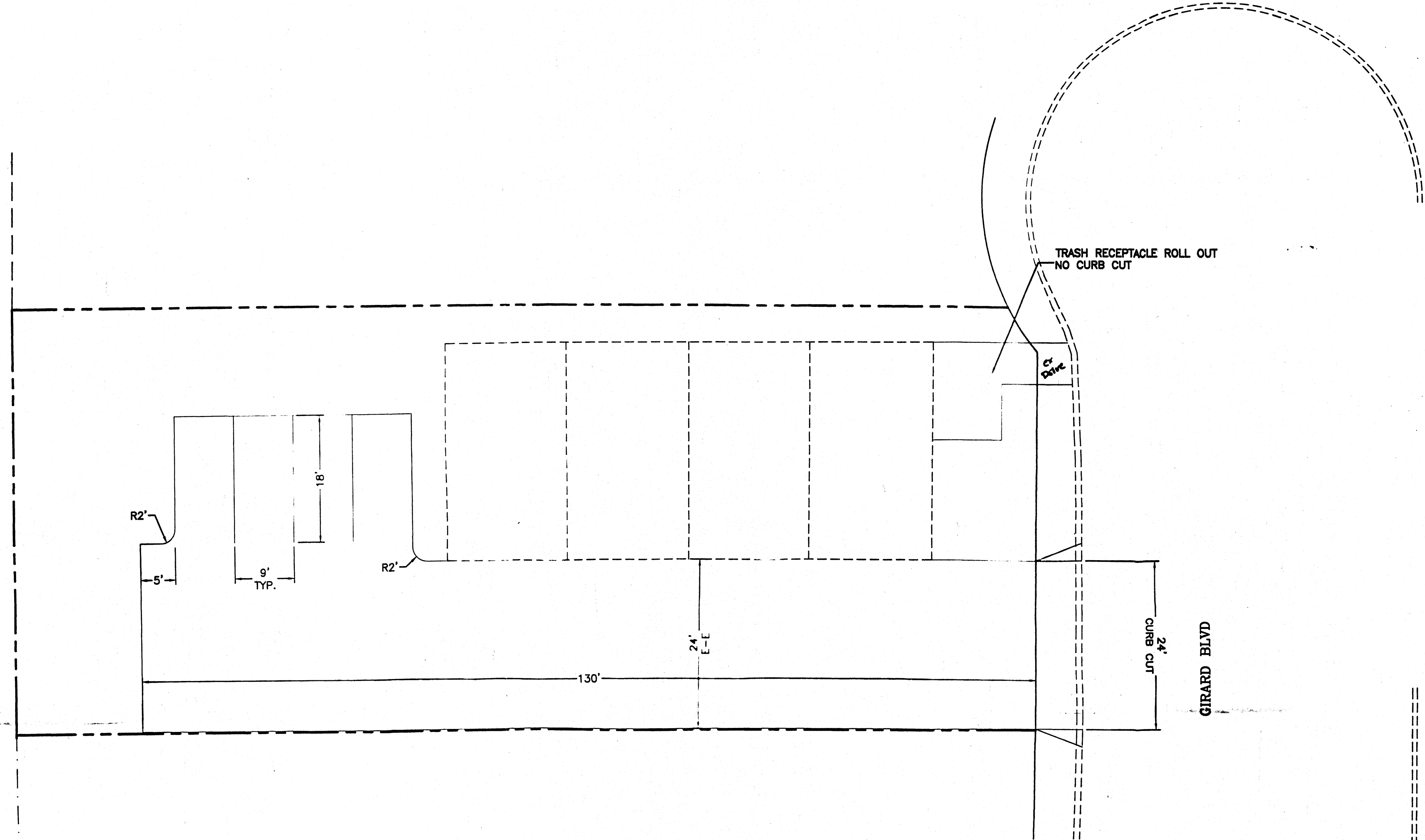
SEP 15 2009

HYDROLOGY SECTION

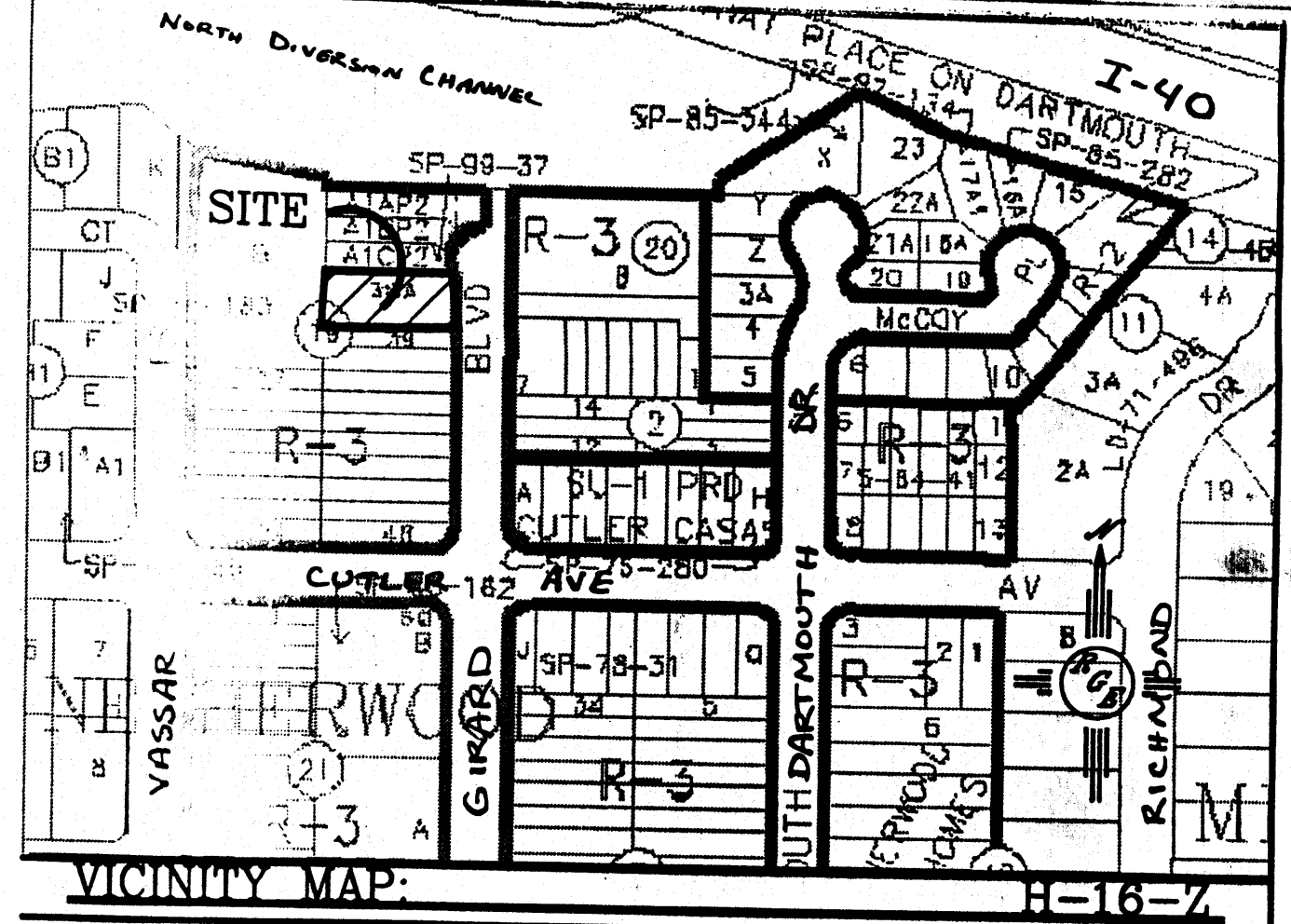
TRAFFIC CIRCULATION LAYOUT APPROVED
Signed: [Signature]
Date: 9/15/09

RECEIVED
MAY 17 2010
HYDROLOGY SECTION

ENGINEER'S SEAL	GIRARD TOWNHOMES	DRAWN BY WCUJ
	TRAFFIC CONTROL LAYOUT	DATE 9-10-09
	 Rio Grande Engineering 1806 CENTRAL AVENUE SE ALBUQUERQUE, NM 87106 (505) 872-0899	2009-LAYOUT-0-08-09
DAVID SOULE P.E. #14522		SHEET #
		JOB # 2929



- LEGEND**
- ===== EXISTING CURB & GUTTER
 - PROPOSED EDGE OF ASPHALT
 - BOUNDARY LINE
 - CENTERLINE
 - RIGHT-OF-WAY
 - LOT LINES



LEGAL DESCRIPTION:
LOT 38A, BLK 19, NEATHERWOOD PARK

SITE DATA:

NUMBER OF UNITS	4 UNITS (950 SF-280/28A)
PARKING REQUIRED	6 SPACES (1.5 SPACES PER UNIT)
PARKING PROVIDED	8 SPACES TOTAL
	1. SPACES PER GARAGE/1 SPACE
	ONSITE SPACE PER UNIT

*NOTE-NO UNIT SHALL BE HC ACCESSIBLE

ALL WHEELCHAIR RAMPS LOCATED WITHIN THE PUBLIC RIGHT OF WAY MUST HAVE TRUNCATED DOMES.

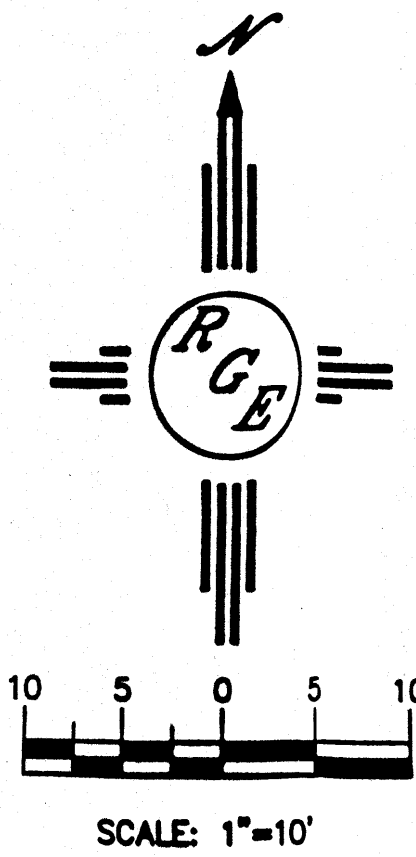
Public Infrastructure shown on these plans for information only and not part of approval. Separate DRC/Permit approval and Work Order required.

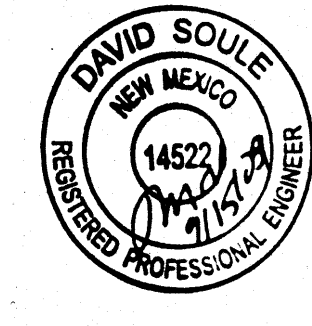
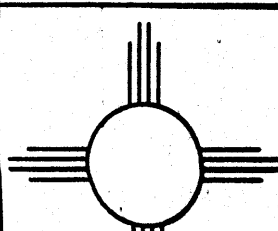
TRAFFIC CIRCULATION LAYOUT APPROVED

Signed: *[Signature]* 9/23/09
Date

RECEIVED
SEP 15 2009
HYDROLOGY SECTION

RECEIVED
SEP 15 2009
HYDROLOGY SECTION



ENGINEER'S SEAL  DAVID SOULE P.E. #14522	GIRARD TOWNHOMES	DRAWN BY WCVJ
	TRAFFIC CONTROL LAYOUT	DATE 9-10-09
	 Rio Grande Engineering 1806 CENTRAL AVENUE SE SUITE 201 ALBUQUERQUE, NM 87108 (505) 872-0888	SHEET # 2829