

SITE INFORMATION

PARKING: 32 UNITS @ 1.5 PER UNIT = 48 SPACES REQUIRED.
48 SPACES PROVIDED (INCLUDING 3 ADA SPACES).

GROSS SITE SF: 46,555 SF

BUILDING FOOTPRINT: 12,500 SF
LAUNDRY BUILDING FOOTPRINT: 270 SF
TOTAL: 12,770

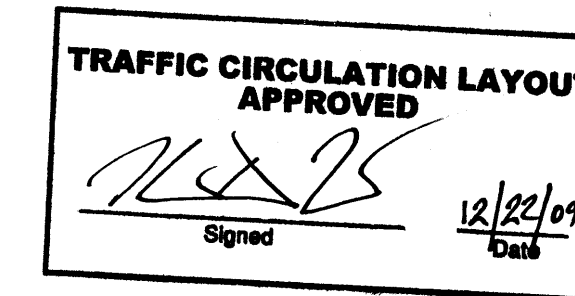
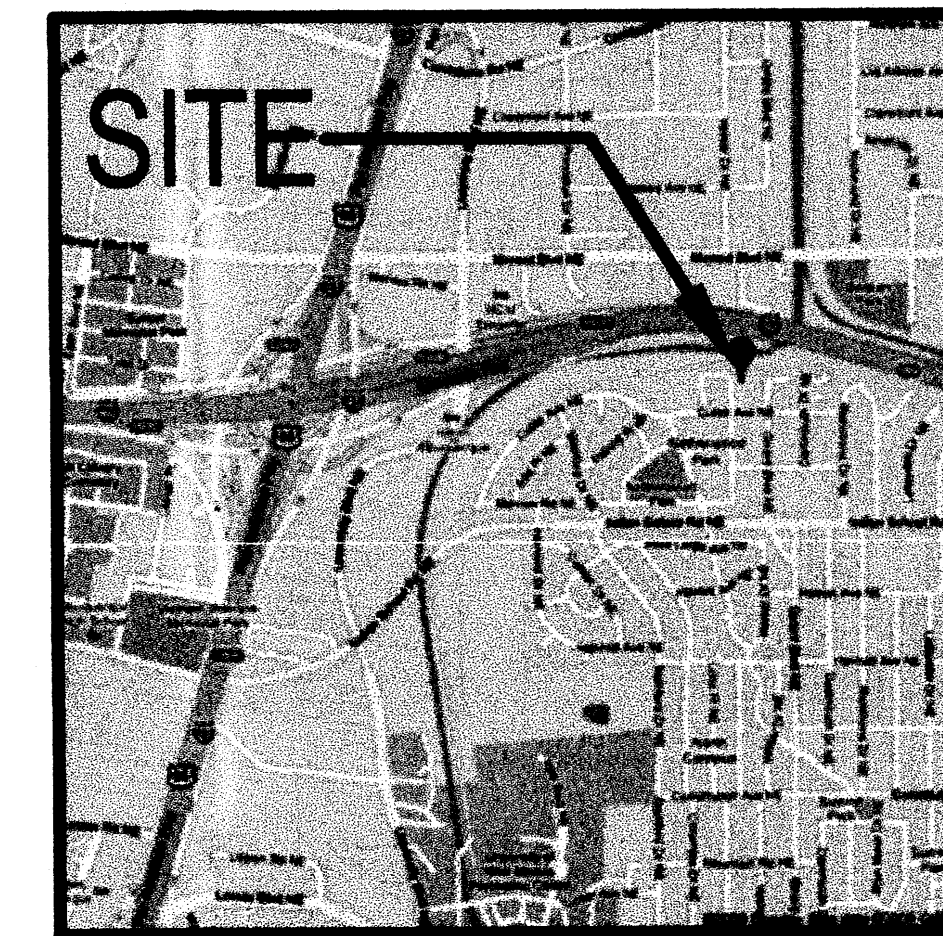
REQUIRED PARKING AREA: 16,850 SF

REQUIRED OPEN SPACE R-3 (250 SF / UNIT): 8,000 SF
PROVIDED: 12,700+ SF

PARK AREA: 3,600 SF
1ST FLOOR WALKWAYS: 1,200 SF
2ND FLOOR BALCONIES / WALKWAYS: 2,300 SF
COMMUNITY GARDEN: 5,600 SF

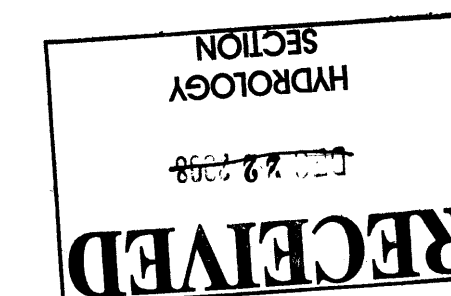
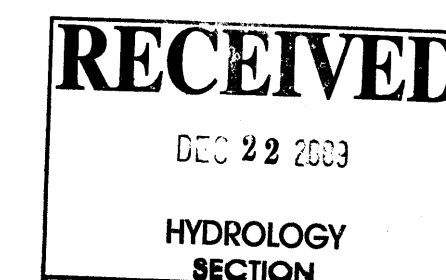
NET LOT AREA: 16,935 SF
REQUIRED LANDSCAPING (15% NET LOT AREA): 2540.25 SF
EXISTING NATIVE LANDSCAPING EXCEEDS REQUIREMENTS

VICINITY MAP



Public infrastructure shown on these plans for information only and not part of approval. Separate DRC/Permit approval and Work Order required.

ALL WHEELCHAIR RAMPS LOCATED WITHIN THE PUBLIC RIGHT OF WAY MUST HAVE TRUNCATED DOMES.



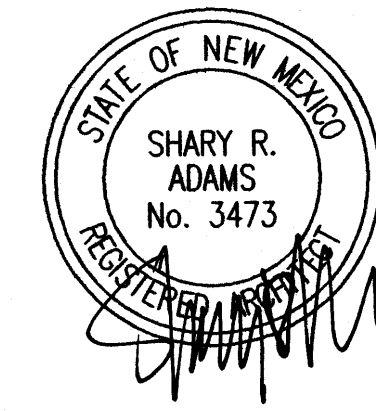
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CONSULTANTS

Architect Engineer



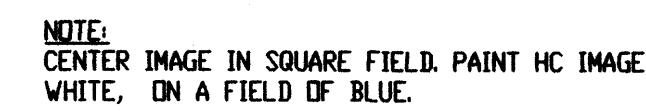
1920 VASSAR
EXTERIOR
REMODEL
1920 VASSAR NE
ALBUQUERQUE, NM

MARK	DATE	DESCRIPTION
ISSUE:	PERMIT SET	
PROJECT NO:	0931	
CAD DWG FILE:	0931-A102.DWG	
DRAWN BY:	CAD	
CHECKED BY:	PROJECT ARCH	
DATE:	12/20/2009	

SHEET TITLE

SITE PLAN

AS-101



PAYMENT STRIPING TYP. TRAFFIC ARROW TYP.

NOTE:
USE NON-REFLECTIVE WHITE PAINT, TYP. BUT USE YELLOW PAINT ON CONCRETE OR OTHER SURFACES WHERE WHITE PAINT DOES NOT PROVIDE SUFFICIENT CONTRAST.

A cross-sectional diagram of a pile foundation. The pile is a 6-inch diameter steel pipe filled with concrete. The pile is 4'-0" high above the ground. The pile is painted. The pile is embedded in a 6-inch concrete slab with 6x6x6 reinforcing bars and a medium broom finish. The slab is 2'-0" wide. The pile is 2'-0" in diameter. The pile is embedded in a concrete slab 4" thick. The pile is embedded in a gravel base 4" thick. The pile is embedded in a concrete slab 4" thick. The pile is embedded in a gravel base 4" thick.

- 6" DIAM. STEEL PIPE FILLED WITH W/CONC.
- PAINTED
- 6" CONCRETE SLAB W/ 6x6/6x6 REINFORCING W/ MEDIUM BROOM FINISH. 4000 PSI
- CONCRETE, 4000 PSI
- MIN.
- GRAVEL BASE
- 4'-0"
- 2'-0"
- 2'
- 4"
- 4"

GABION WALL - 8" STEEL I-BEAMS VERTICAL COLUMNS AND 4x4 METAL MESH FILLED WITH ROCK TO MATCH PROPOSED BOUNDARY WALL.

6'-0"

1/2" EXPANSION JOINT.

6" CONCRETE SLAB - SEE ENCLOSURE DETAIL.

#4 @ 48" VERT & 2-#4 HORIZ

3-#4 CONT. & #4 TRANSVERSE @ 48" O.C.

EQ. EQ.

1'-6"

10 1/4"

NOTE:

1. BOTTOM OF FOOTING TO BE 1'-0" BELOW FROST LINE, EXISTING UNDISTURBED GRADE, OR COMPACTED FINISH GRADE, WHICHEVER IS GREATER.

2. FABRICATE ALL SIGN PANELS OF 16 GA. ALUM.

3. POST MOUNT: USE NON-CORROSIVE 3/8" MACHINE BOLTS W/ WASHERS, 2 PER SIGN.

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