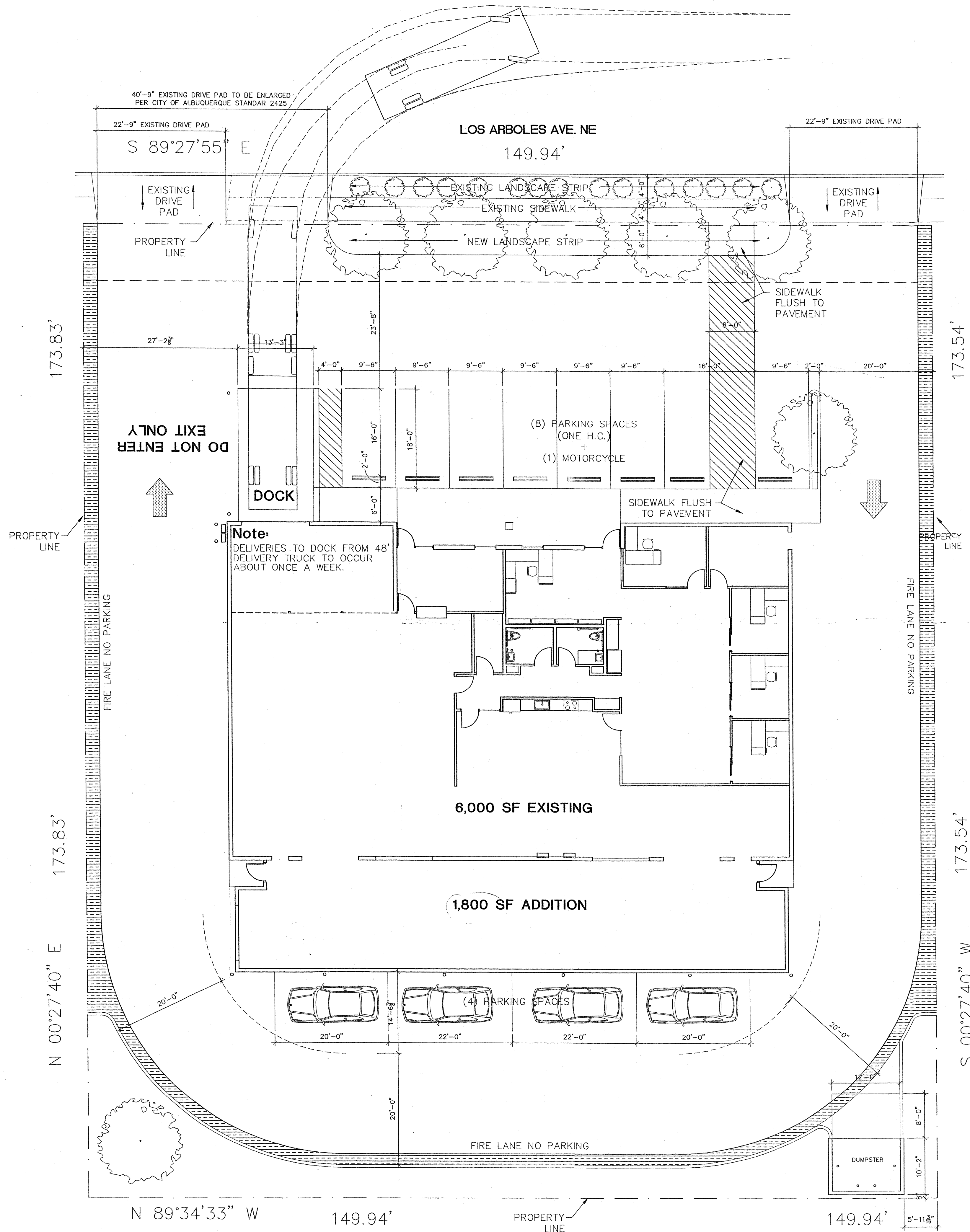




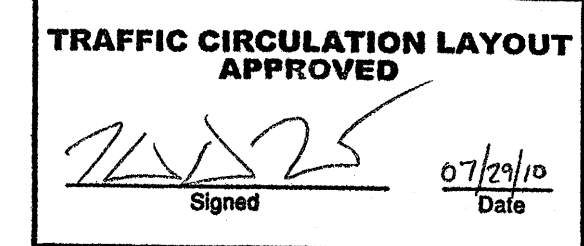
PROJECT DATA

PROJECT DESCRIPTION	TENANT IMPROVEMENT AND ADDITION
PROJECT	R&B COMMERCIAL SERVICE INC.
PROJECT ADDRESS	3110 Los Arboles NE Albuquerque, New Mexico 87106
LEGAL DESCRIPTION	PARCEL B, DUCK CITY INDUSTRIAL AREA.
ZONING	C-3
UNIFORM PROPERTY CODE	101605934342810428

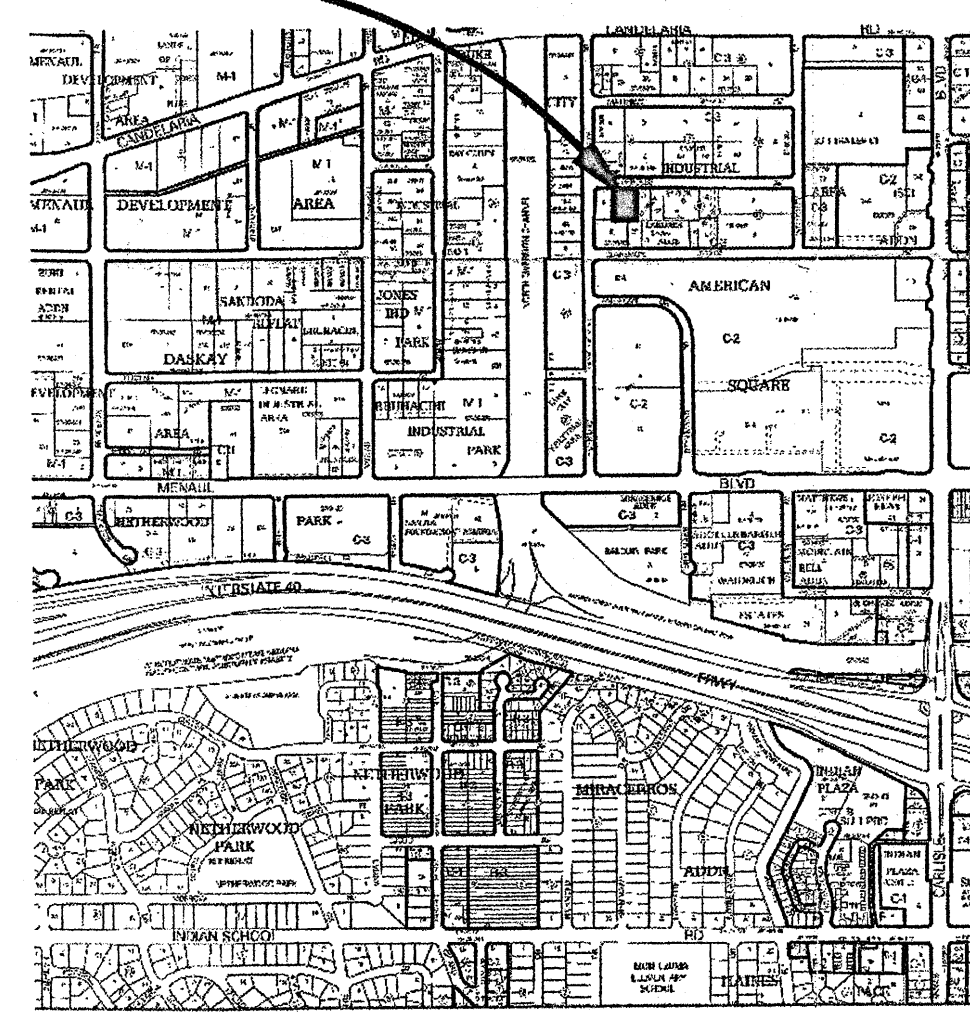
PARKING SPACES

6000 SF WAREHOUSE	: 3 SPACES
1,800 SF OFFICE	: 9 SPACES

TOTAL : 12 SPACES + 1 MOTORCYCLE
(1 DESIGNATED HC SPACE)



SITE

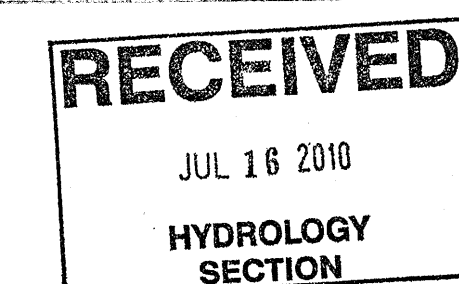


VICINITY MAP

ALL WHEELCHAIR RAMPS LOCATED
WITHIN THE PUBLIC RIGHT OF WAY
MUST HAVE TRUNCATED DOMES.

Public Infrastructure shown
on these plans for information
only and not part of approval.
Separate DRC/Permit approval
and Work Order required.

MAR 31 2011



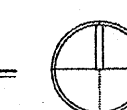
TRAFFIC CIRCULATION
LAYOUT SITE PLAN

R+B COMMERCIAL
SERVICE INC.

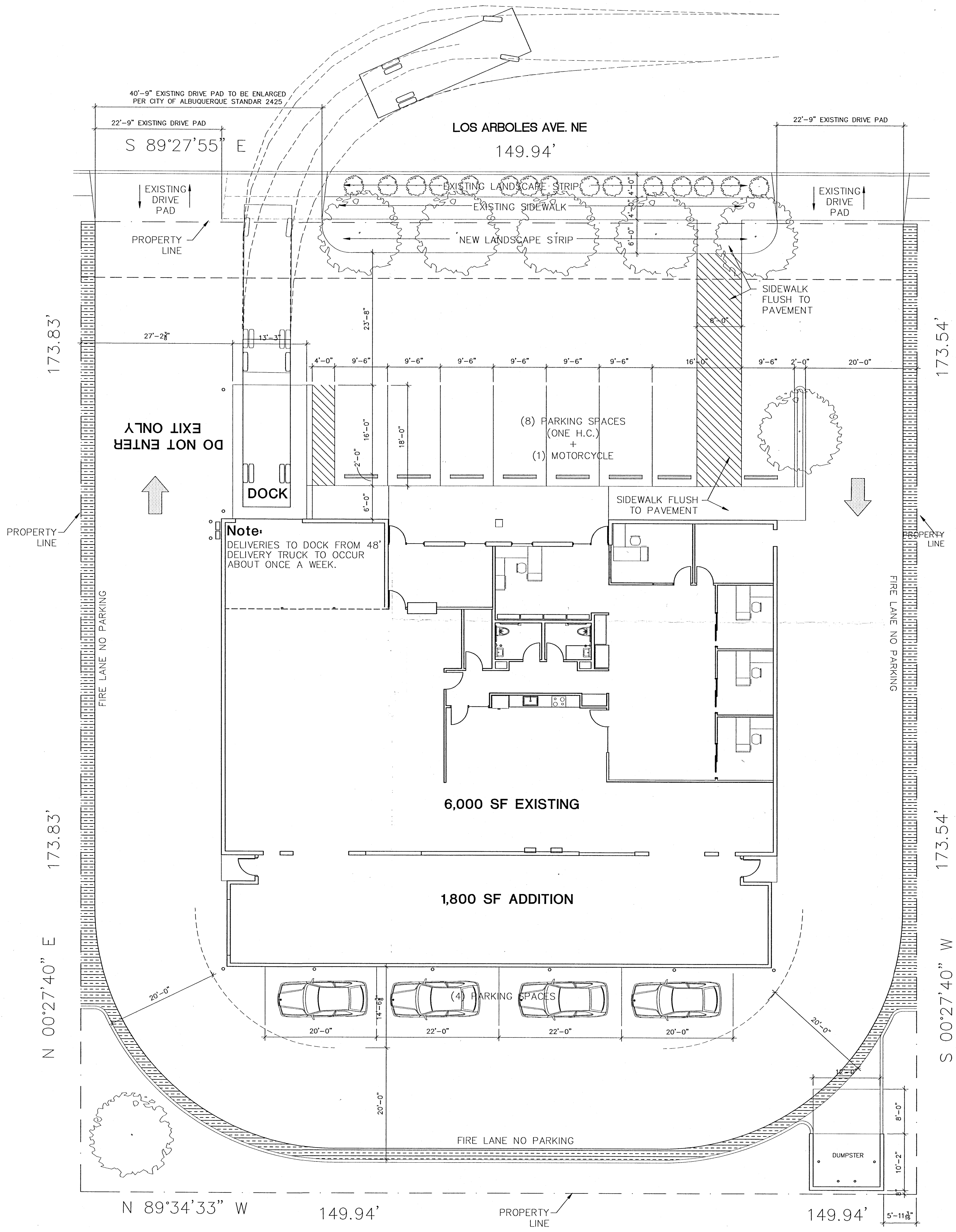
3110 LOS ARBOLES NE
ALBUQUERQUE, NM 87106

TRAFFIC CIRCULATION LAYOUT SITE PLAN

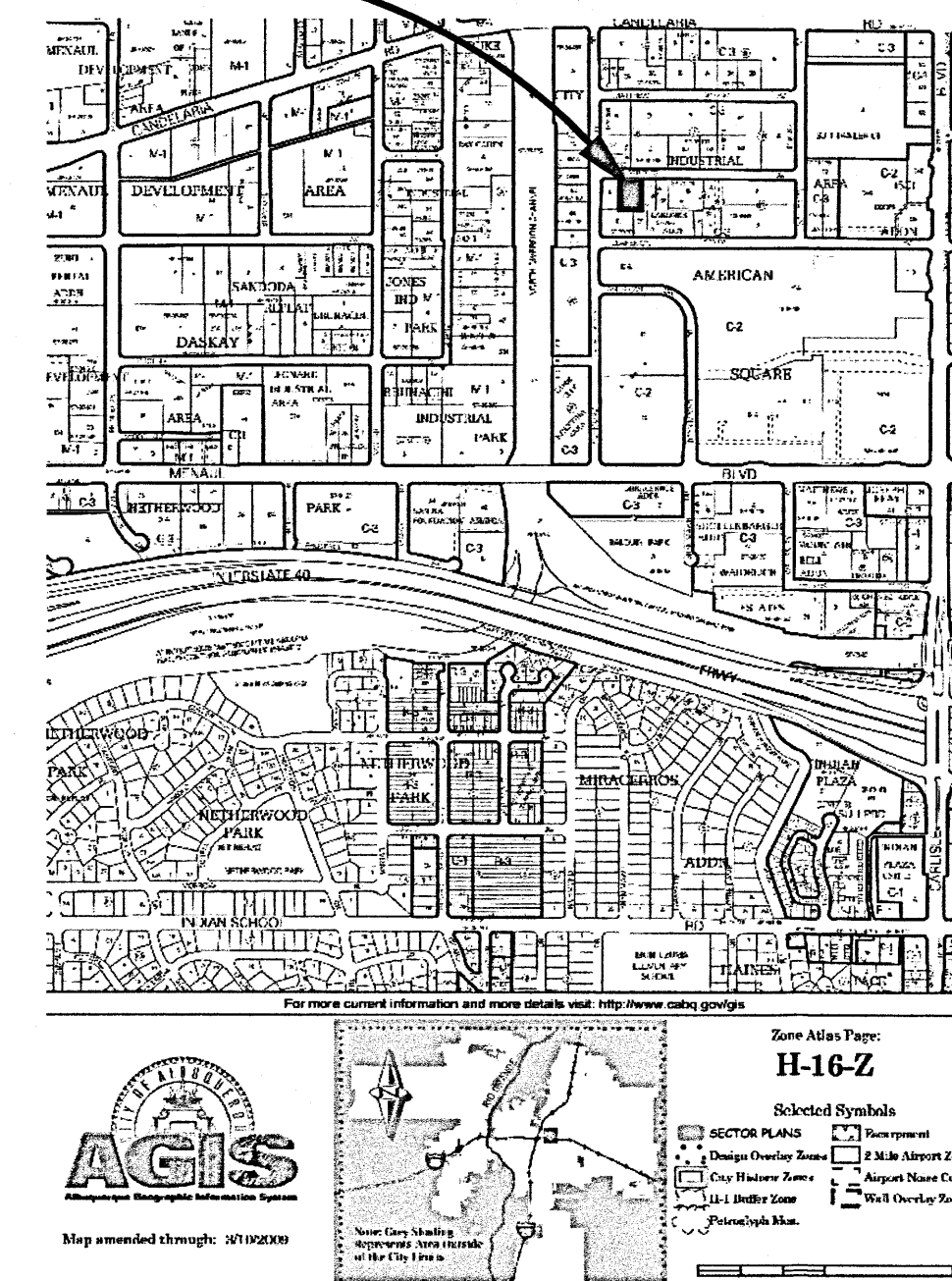
scale: 1" = 10'-0"



EDWARD FITZGERALD ARCHITECTS 121 JEFFERSON STREET NE ALBUQUERQUE, NEW MEXICO 8 7 1 0 8 TEL 505.268.9055 FAX 505.268.2696	date: 7/16/2010 drawn by: TP
	A1.1
	8 sequence no. of 30



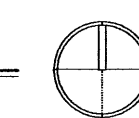
SITE



VICINITY MAP

TRAFFIC CIRCULATION LAYOUT
SITE PLAN

scale: 1" = 10'-0"



LOS ARBOLES AVE. NE

LEGAL DESCRIPTION

TRACT B, BLOCK E, DUKE CITY INDUSTRIAL AREA

PERMANENT BENCHMARK

ACS 15-H16 ELEVATION 5113.205 (NAVD 1988)

DRAINAGE CERTIFICATION

I, JEAN J. BORDENAVE, INMELS NO. 5110, OF THE FIRM BORDENAVE DESIGNS, HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADDED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED SEPTEMBER 23, 2010. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY ME OR UNDER MY DIRECT SUPERVISION AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATE OF OCCUPANCY.

EXCEPTIONS AND/OR QUALIFICATIONS: CURBS ALONG THE STREETSIDE LANDSCAPING HAS BEEN EXPANDED WITH MORE DRAIN ACCESS POINTS. THIS CHANGE HAS NO EFFECT ON THE DRAINAGE SCHEME OF THE ORIGINAL DRAINAGE PLAN.

THE RECORD INFORMATION PRESENTED ON THE EDITED DESIGN DOCUMENT IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THE EDITED DESIGN DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSES.

KEYED NOTES

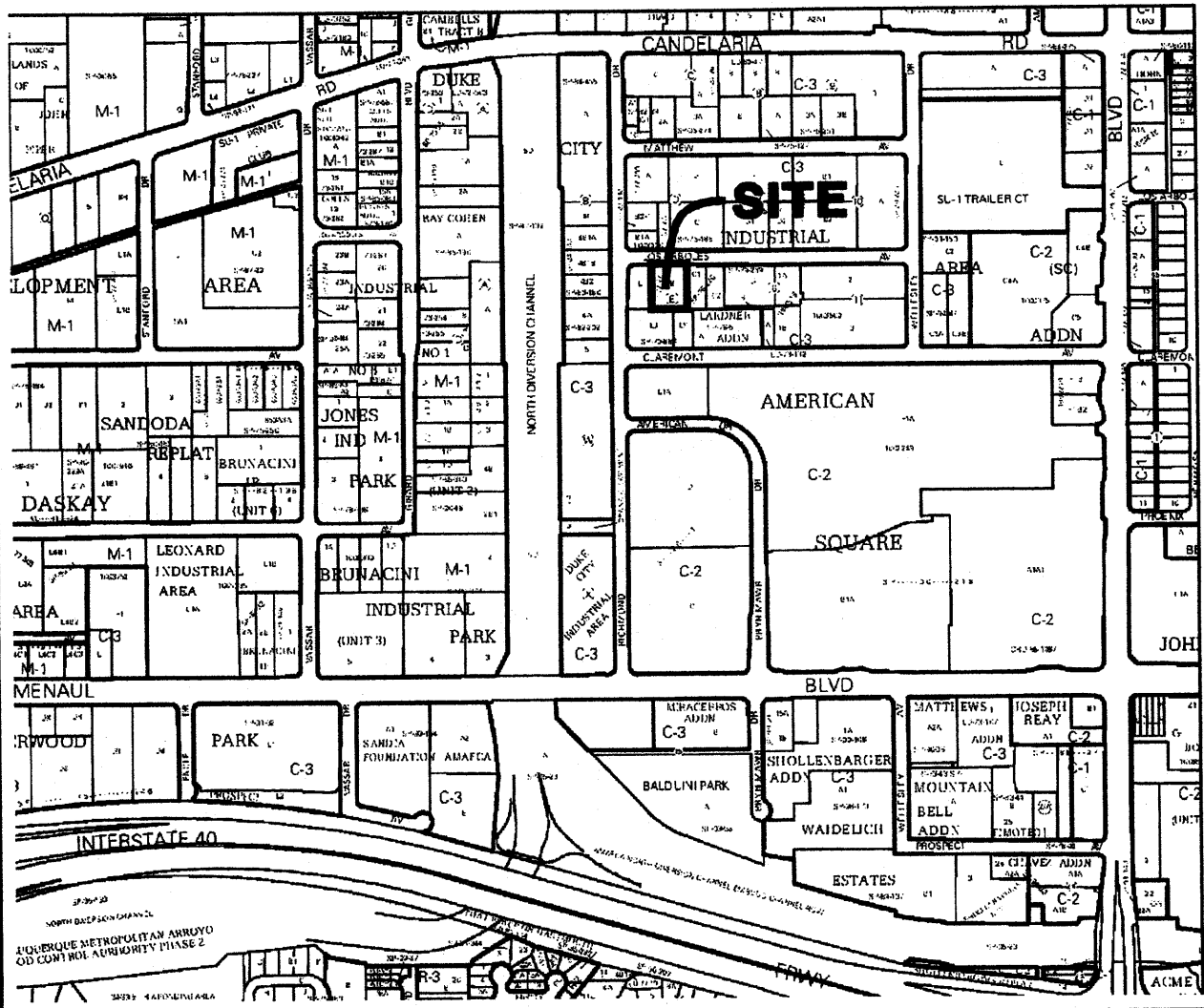
- HEADER CURB. SEE DETAIL SHEET C1.3
- LOW HEADER CURB. SET TOP OF CURB 2" BELOW ADJACENT HEADER CURB AT BACK OF SIDEWALK.
- VALLEY GUTTER. SEE DETAIL SHEET C1.3.
- TURNDOWN SIDEWALK. SEE DETAIL SHEET C1.3.
- SIDEWALK. SEE ARCHITECTURAL FOR DETAILS.
- ASPHALT PAVEMENT - LIGHT DUTY. SEE DETAIL SHEET C1.3.
- ASPHALT PAVEMENT - HEAVY DUTY. SEE DETAIL SHEET C1.3.
- REFUSE ENCLOSURE. SEE ARCHITECTURAL FOR DETAILS.
- TRUCK DOCK w/ 8" DIAM. CAST IRON AREA DRAIN (NO OUTLET). PORTABLE SUMP PUMP CAPACITY TO BE IN EXCESS OF 0.3 GPM AT 5' OF HEAD.
- NEW RETAINING WALL. SEE STRUCTURAL.
- EXISTING RETAINING WALL. TO REMAIN.
- EXISTING FENCE. TO REMAIN.
- EXISTING FENCE. REMOVE.
- EXISTING DRIVE PAD. TO REMAIN.
- EXISTING DRIVE PAD. WIDEN TO EAST PER SITE PLAN USING COA STD. DET. 2425.
- SLOPE ASPHALT TO MAINTAIN STABILITY OF EXISTING CMU RETAINING WALL.

LEGEND

TBM	TEMPORARY BENCHMARK
FF	FINISH FLOOR
FG	FINISH GRADE
FL	FLOWLINE
TA	TOP OF ASPHALT
TCP	TOP OF CONCRETE
TC	TOP OF CURB
TP	TOP OF EARTH PAD
TS	TOP OF SIDEWALK
TW	TOP OF WALL
FH	FIRE HYDRANT
WM	WATER METER
WV	WATER VALVE
MH	MANHOLE
CB	CATCH BASIN GRATE
GM	GAS METER
GV	GAS VALVE
LP	LIGHT POLE
PP	POWER POLE
GW	GUY WIRE
PED	ELEC. OR TEL. PEDESTAL
RD	ROOF DRAINAGE POINT

FEMA FLOODPLAIN BOUNDARY
DRAINAGE BASIN BOUNDARY
EROSION SETBACK LINE
EXISTING CONTOUR
PROPOSED CONTOUR
EXISTING SPOT ELEVATION
PROPOSED SPOT ELEVATION
RECORD SPOT ELEVATION

VICINITY MAP NO. H-16



FEMA FIRM PANEL NO. 351



GRADING NOTES

- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT THE NEW MEXICO ONE CALL SYSTEM AT 260-1990 FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH THE APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- ALL CONSTRUCTION WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE STANDARDS AND PROCEDURES.

EROSION CONTROL NOTES

- THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO PUBLIC RIGHT-OF-WAY OR PRIVATE PROPERTY. THIS CAN BE ACHIEVED BY THE CONSTRUCTION OF TEMPORARY SOIL BERMS OR SILT FENCES AT PROPERTY LINES AND WETTING SOIL TO PREVENT IT FROM BLOWING. IF THE SITE IS CONTROLLED BY A SWPPP PLAN, EROSION CONTROL SHALL BE ACCOMPLISHED ACCORDING TO THE PLAN.
- THE CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY SO THAT THE EXCAVATED MATERIAL IS NOT SUSCEPTIBLE TO BEING WASHED DOWN THE STREET.
- THE CONTRACTOR SHALL SECURE THE APPROPRIATE BARRICADING, TOP SOIL DISTURBANCE AND EXCAVATION PERMITS FROM THE CITY PRIOR TO BEGINNING CONSTRUCTION.

no.	date	remarks	by

project title
R & B COMMERCIAL
3108 LOS ARBOLES AVE. NE
ALBUQUERQUE, NM

sheet title
GRADING & DRAINAGE PLAN

sheet date 09/21/10	design by JJB	project no. 1010
------------------------	------------------	---------------------

sheet
C1.2

BORDENAVE DESIGNS
P.O. BOX 91194, ALBUQUERQUE, NM 87199
(505)823-1344 FAX (505)821-9105

