

Mayor Richard J. Berry

November 29, 2017

David Soule, PE
Rio Grande Engineering
1606 Central SE Suite 201
Albuquerque, NM 87106

Re: Matthew Drive Storage Addition
3309 Matthew Dr. NE
Request Permanent C.O. - Accepted
Engineer's Stamp dated: 9-28-16 (H16D147)
Certification dated: 11-27-17

Dear Mr. Soule,

PO Box 1293

Based on the Certification received 11/27/2017, the site is acceptable for release of Certificate of Occupancy by Hydrology.

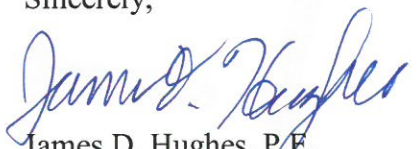
Albuquerque

If you have any questions, you can contact me at 924-3695 or Rudy Rael at 924-3977.

NM 87103

Sincerely,

www.cabq.gov


James D. Hughes, P.E.
Principal Engineer, Hydrology
Planning Department

RR/JDH
C: email



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: _____ **Building Permit #:** _____ **City Drainage #:** _____

DRB#: _____ **EPC#:** _____ **Work Order#:** _____

Legal Description: _____

City Address: _____

Engineering Firm: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Owner: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Architect: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Other Contact: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Check all that Apply:

DEPARTMENT:

- ☐ HYDROLOGY/ DRAINAGE
☐ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ ARCHITECT CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY
- ☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR
- ☐ PRE-DESIGN MEETING
☐ OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: ☐ Yes ☐ No

DATE SUBMITTED: _____ **By:** _____

COA STAFF: _____ ELECTRONIC SUBMITTAL RECEIVED: _____

NORTHEAST PORTION OF
BLOCK 8
DUKE CITY INDUSTRIAL AREA

WESTERLY 120' OF NORTHERLY 180'
BLOCK 9
DUKE CITY INDUSTRIAL AREA

TRACT 2
BLOCK 9
DIVISION OF LANDS OF ESTATE OF ANITA O CARR
DUKE CITY INDUSTRIAL AREA

EROSION CONTROL NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.

Weighted E Method MATTHEW STORAGE ADDITION

Existing Developed Basins

Basin	Area (sf)	Area (acres)	Treatment A %	Treatment B %	Treatment C %	Treatment D %	100-Year, 6-hr. Weighted E (ac-ft)	Volume (ac-ft)	Flow cfs	10-day Volume (ac-ft)
EXISTING	21642	0.497	0%	0.0%	0.000	82.0%	0.4074	1.308	0.054	1.70
PROPOSED	21642	0.497	0%	0.0%	0.065	60.0%	0.2981	1.352	0.056	1.71

Equations:

Weighted E = $E_a \cdot A_a + E_b \cdot A_b + E_c \cdot A_c + E_d \cdot A_d$ / (Total Area)

Volume = Weighted E * Total Area

Flow = $Q_a \cdot A_a + Q_b \cdot A_b + Q_c \cdot A_c + Q_d \cdot A_d$

Where for 100-year, 6-hour storm (zone 2)

$E_a = 0.53$
 $E_b = 0.78$
 $E_c = 1.13$
 $E_d = 2.12$

$Q_a = 1.56$
 $Q_b = 2.28$
 $Q_c = 3.14$
 $Q_d = 4.7$

FIRST FLUSH REQUIREMENT

165,5613 CUBIC FEET REQUIRED
370 CUBIC FEET PROVIDED

RETAIN WATER FROM NEW CONSTRUCTION
338,3366 CUBIC FEET -100YEAR, 10 DAY

SIDE WALK CULVERT CAPACITY
2.95X2X(67)*1.5= 3.23 CFS

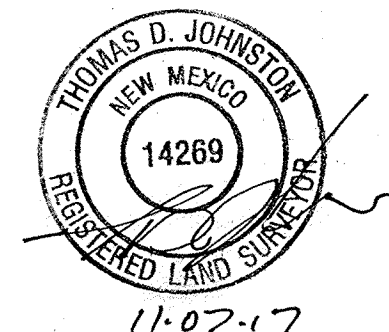
NARRATIVE

THIS SITE IS A DEVELOPMENT OF AN EXISTING SITE. THE ADDITION WILL OCCUR IN A LOCATION THAT IS CURRENTLY HARD PACKED GRAVEL, THE NET INCREASE IN FLOW RATE SHALL BE DUE TO THE ADDITION OF LANDSCAPING. THE INCREASED VOLUME FOR A 10-DAY EVENT WILL BE RETAINED ONSITE. THIS VOLUME EXCEEDS THE FIRST FLUSH REQUIREMENT. THE SITE DRAINAGE WILL BE CONVEYED TO THE RIGHT OF WAY VIA A 2' SIDEWALK CULVERT

GRADING AS-BUILT PERFORMED

BY WAYJOHN SURVEYING INC.

ON NOV. 7, 2017



PRIVATE DRAINAGE IMPROVEMENT IN PUBLIC ROW NOTICE TO CONTRACTORS (SPECIAL ORDER "SO-19")

1. AN EXCAVATION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL, DIAL "811" (OR 505-260-1990.) FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.
8. PRIOR TO POURING CONCRETE, CONTRACTOR SHALL NOTIFY THE STORM DRAIN INSPECTOR, Jason Rodriguez at 235-8016 prior to pouring and after pouring

APPROVAL	NAME:	DATE:
INSPECTOR		

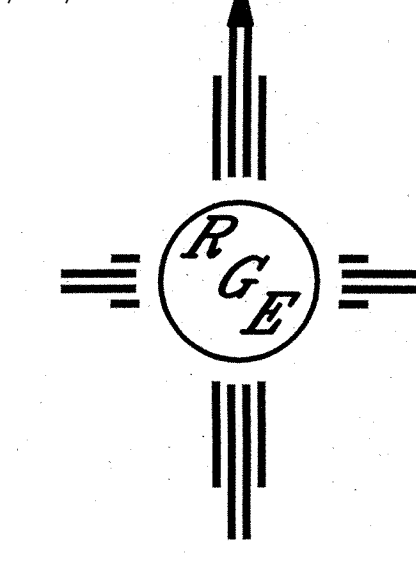
I David Soule, NMPE 14522, of the firm Rio Grande Engineering, hereby certify that this project has been graded and will drain in substantial compliance with and in accordance with the design intend of the approved plan dated 2/28/16. The record information edited on the original design document has been performed by me or under my direct supervision and is true and correct to the best of my knowledge and belief. The as-built survey was provided by THOMAS JOHNSTON #14269. The certification is submitted in support of a request for PERMANENT CERTIFICATE OF OCCUPANCY. The record information presented herein is not necessarily complete and intended only to verify substantial compliance of the grading and drainage aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

CAUTION:

EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.

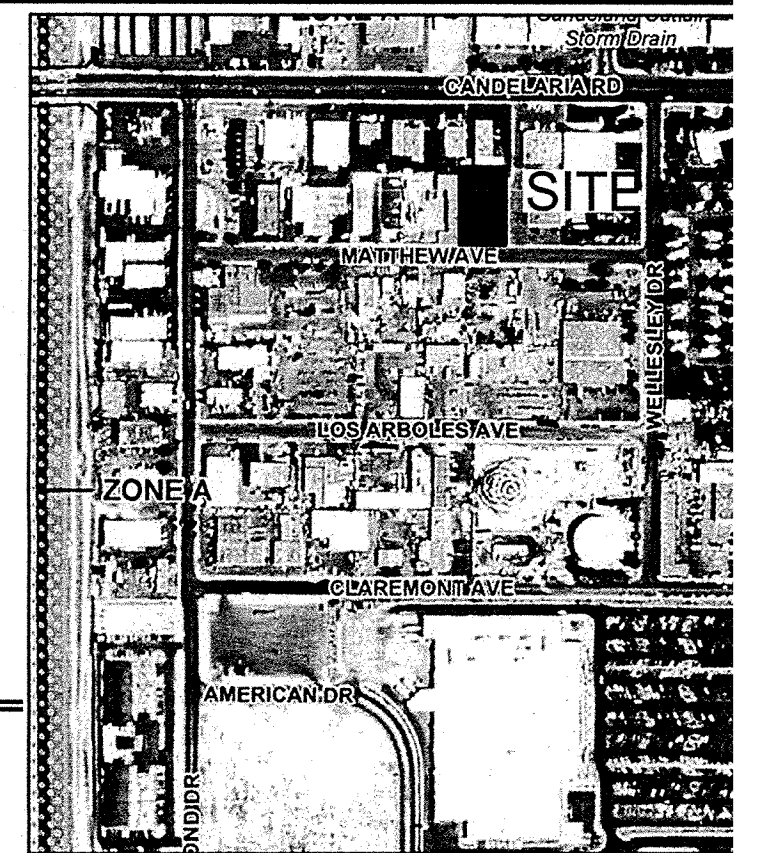


11/27/17



SCALE: 1"=10'

VICINITY MAP:



FIRM MAP:

FM

LEGAL DESCRIPTION:

TRACT 3-A BLOCK 9 DUCK CITY INDUSTRIAL AREA
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO

NOTES:

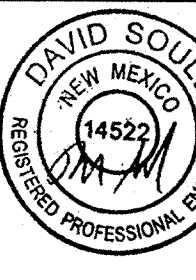
1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION NOTED.

LEGEND

- 5601--- EXISTING CONTOUR
- 5600--- EXISTING INDEX CONTOUR
- 5601--- PROPOSED CONTOUR
- 5600--- PROPOSED INDEX CONTOUR
- LOT LINE
- CENTERLINE
- RIGHT-OF-WAY
- EXTENDED STEM WALL SEE
- PROPOSED ROCK FACE WALL
- EXISTING CURB AND GUTTER
- PROPOSED EDGE OF CONC
- PROPOSED FLOWLINE
- EXISTING WALL

ROOF DRAIN DIRECTION (TYPICAL)

ENGINEER'S
SEAL



9/9/16
9/28/16

DAVID SOULE
P.E. #14522

BOMACH STORAGE

GRADING AND
DRAINAGE PLAN

