

CITY OF ALBUQUERQUE



March 20, 2017

Jeff Wooten P.E.
Wooten Engineering
1005 21st Street Se suite A5
Albuquerque, NM 87124

**Re: TMobile Retail Building
2706 Carlisle Blvd NE
60-Day Temporary Certificate of Occupancy- Transportation Development
Engineer's/Architect's Stamp dated 10-26-16 (H16-D148)
Certification dated 03-13-17**

Dear Mr. Wooten,

Based upon the information provided in your submittal received 03-14-17, Transportation Development has no objection to the issuance of a 60-day Temporary Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a 60-day Temporary Certificate of Occupancy to be issued by the Building and Safety Division.

Prior to the issuance of a permanent Certificate of Occupancy, the following items must be addressed:

1. The pavement cuts on Carlisle next to the frontage need to be patched.
2. The alley along the property needs to be paved.
3. Normally we require a 6 foot pedestrian path from the Right of Way to the building. We will accept the 5 foot wide path for this development
4. Bike rack needs to be installed
5. The motorcycle parking space needs to be labeled with paint and signage added.
6. Detectable warning surface needs to be installed per key note 21.

Once corrections are complete resubmit acceptable package along with fully completed Drainage Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. For digital submittal and minor comments and/or repairs, please submit photos to PLNDRS@cabq.gov prior to submittal. If you have any questions, please contact me at (505) 924-3630.

CITY OF ALBUQUERQUE



Sincerely,

A handwritten signature in blue ink, which appears to read 'Logan Patz', is written over the printed name.

Logan Patz
Senior Engineer, Planning Dept.
Development Review Services

LWP/RM
C:

via: email
CO Clerk, File

PO Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: _____ **Building Permit #:** _____ **City Drainage #:** _____

DRB#: _____ **EPC#:** _____ **Work Order#:** _____

Legal Description: _____

City Address: _____

Engineering Firm: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Owner: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Architect: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Other Contact: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Check all that Apply:

DEPARTMENT:

- ☐ HYDROLOGY/ DRAINAGE
☐ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ ARCHITECT CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ OTHER (SPECIFY) _____

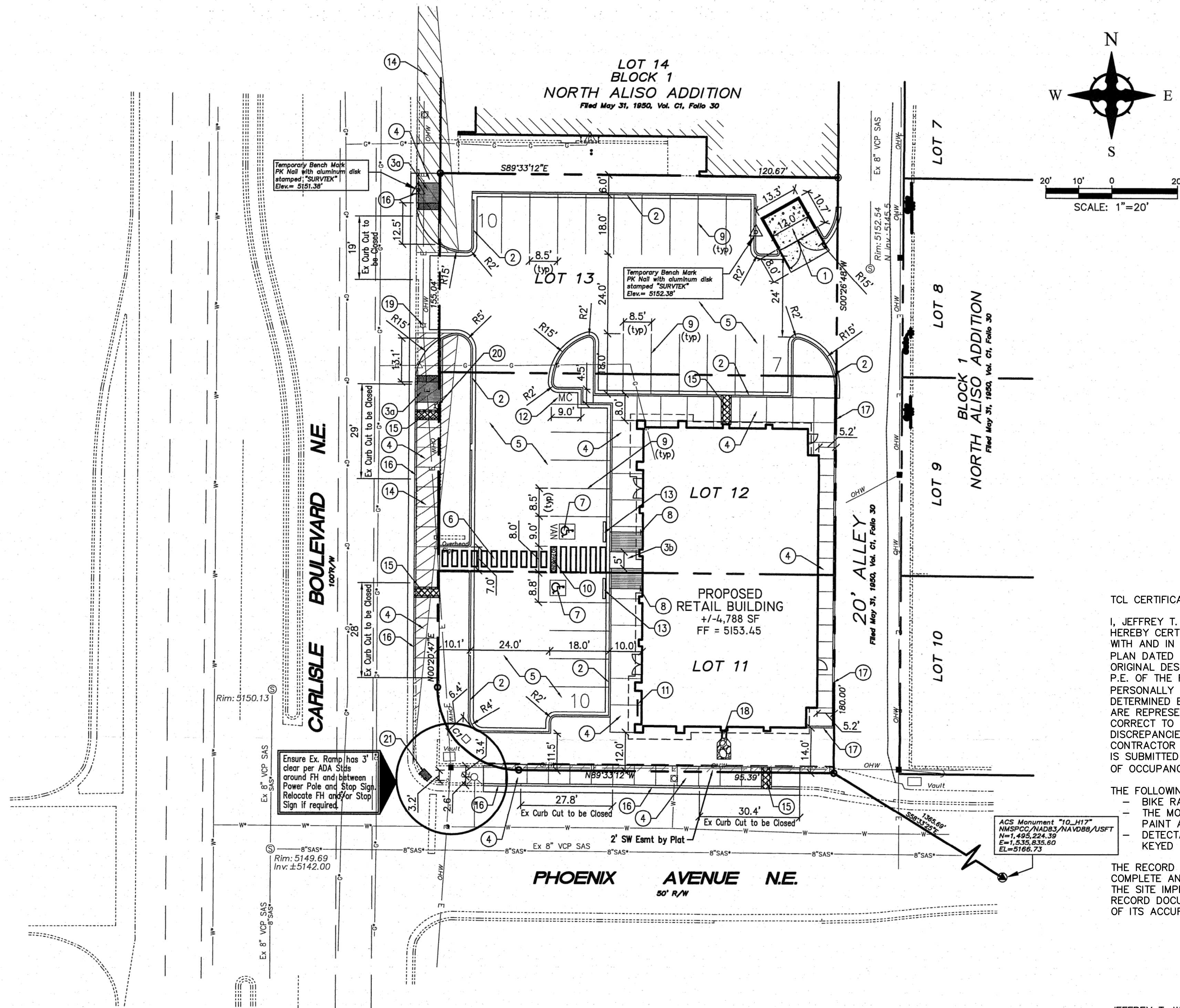
CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (Temp CO)
- ☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR
- ☐ PRE-DESIGN MEETING
☐ OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: ☐ Yes ☐ No

DATE SUBMITTED: _____ **By:** _____

COA STAFF: _____ ELECTRONIC SUBMITTAL RECEIVED: _____



PARKING CALCULATIONS				
BUILDING AREA:		AREA (SQUARE FEET)		
T-MOBILE RETAIL BUILDING		4,788 SF		
TOTAL		4,788 SF		
PARKING REQUIREMENTS:		RATIO	REQUIRED	PROVIDED
T-MOBILE RETAIL BUILDING		1/200 SF	24 spaces	27 spaces
TOTAL			24 spaces	27 spaces
		REQUIRED	PROVIDED	
HANDICAP PARKING		1 spaces	2 spaces	
MOTORCYCLE PARKING		1 spaces	1 spaces	
BICYCLE PARKING		2 spaces	3 spaces	

CAUTION - NOTICE TO CONTRACTOR

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL NEW MEXICO ONE CALL (811) AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

TRAFFIC CIRCULATION LAYOUT APPROVED

Signed: [Signature] Date: 10/31/16

ALL WHEELCHAIR RAMPS LOCATED WITHIN THE PUBLIC RIGHT OF WAY MUST HAVE TRUNCATED DOMES.

TCL CERTIFICATION

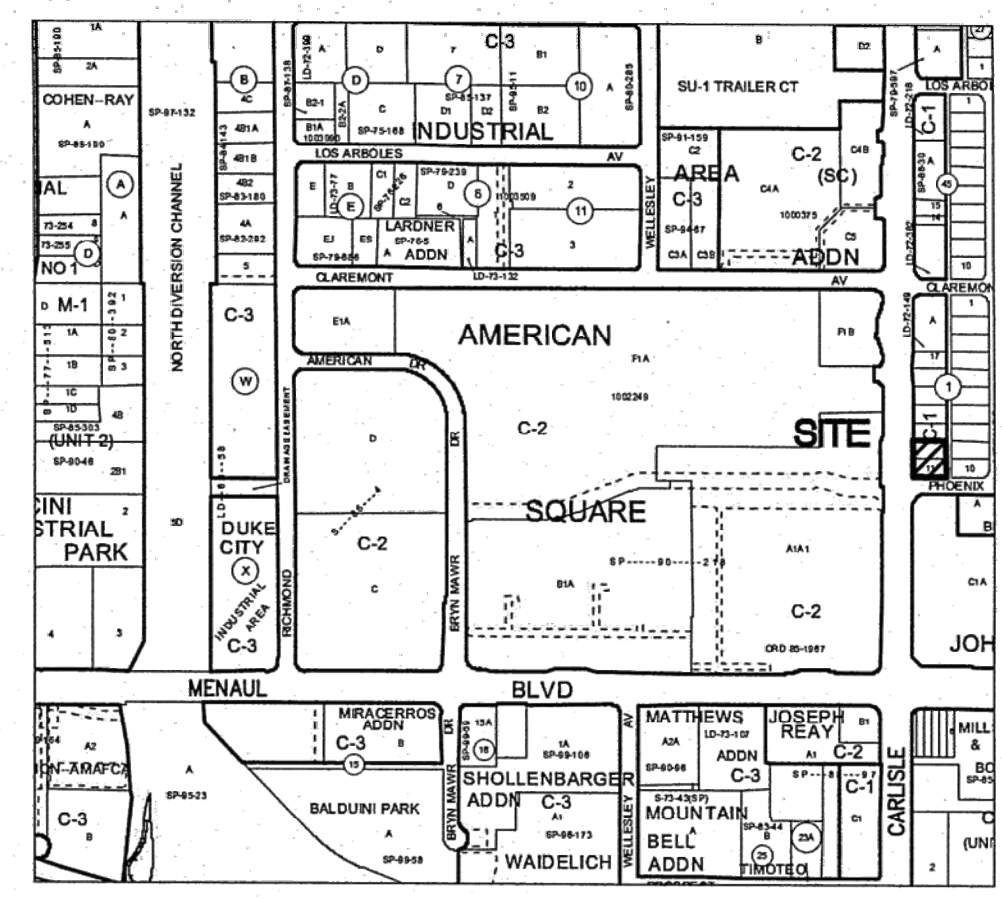
I, JEFFREY T. WOOTEN, NMPE 16892, OF THE FIRM WOOTEN ENGINEERING, HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 10/26/16. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY JEFFREY T. WOOTEN, P.E. OF THE FIRM WOOTEN ENGINEERING. I FURTHER CERTIFY THAT I PERSONALLY VISITED THE PROJECT SITE ON 3/13/2017 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SITE IMPROVEMENTS BUILT ARE REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. ANY DISCREPANCIES WERE PREVIOUSLY BROUGHT TO THE ATTENTION OF THE CONTRACTOR AND CORRECTIONS HAVE BEEN MADE. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR TEMPORARY CERTIFICATE OF OCCUPANCY (TEMP C.O.).

THE FOLLOWING ITEMS ARE IN NEED OF CORRECTION PRIOR TO FINAL C.O.

- BIKE RACK NEEDS TO BE INSTALLED.
- THE MOTORCYCLE PARKING SPACE NEEDS TO BE LABELED WITH PAINT AND SIGNAGE ADDED.
- DETECTABLE WARNING SURFACE NEEDS TO BE INSTALLED PER KEYED NOTE 21.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE SITE IMPROVEMENTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

JEFFREY T. WOOTEN, NMPE 16892



VICINITY MAP - Zone Atlas Page H-16

Legal Desc: Lots 11-13, Blk 1, N. Aliso Add'n, 0.4949 Acres

KEYED NOTES

- DUMPSTER ENCLOSURE. REF ARCHITECTURAL DETAILS. SEE PAVING DETAILS THIS SHEET FOR CONCRETE APRON.
- INSTALL MEDIAN CURB/GUTTER (6" HIGH) PER COA STD DWG 2415B.
- INSTALL PARALLEL CURB RAMP PER NMDOT STD DWGS 608-001, SHEETS 1-12 WITH 'CAST-IN-PLACE REPLACEABLE' DETECTABLE WARNING SURFACE (DWS). MATCH ADJACENT SIDEWALK WIDTH.
- INSTALL PARALLEL CURB RAMP PER NMDOT STD DWGS 608-001, SHEETS 1-12. DETECTABLE WARNING SURFACE NOT REQUIRED ON THIS RAMP.
- REMOVE EXISTING CURB, GUTTER, SIDEWALKS, AND DRIVEPADS AS REQUIRED AND THEN INSTALL CONCRETE SIDEWALK PER COA STD DWG 2430.
- ASPHALT PAVEMENT, SEE PAVING DETAILS THIS SHEET.
- INSTALL BOX STRIPING PER ARCHITECTURAL SITE PLAN & DETAILS. TWO COATS MINIMUM.
- PAINTED WHEELCHAIR SYMBOL (BLUE) TO MEET ADA STANDARDS. TWO COATS MINIMUM.
- INSTALL H/C SIGNAGE PER DETAIL ON DETAIL SHEET. ADD VAN ACCESSIBLE SIGNAGE WHERE NOTED. WHEN A POLE MOUNTED SIGN WILL NOT FIT WITHIN DESIGNATED AREA, SIGN SHALL BE BOLTED TO BUILDING. H/C SIGN MUST INCLUDE LANGUAGE PER 66-7-352.4C NMSA 1978 "VIOLATORS ARE SUBJECT TO A FINE AND/OR TOWING."
- INSTALL 4" WIDE PAINT STRIPES (WHITE) FOR ALL PARKING MINIMUM TWO COATS.
- PAINT WORDS 'NO PARKING' WITH LETTERS AT LEAST ONE FOOT HIGH AND 2 INCHES WIDE. TWO COATS MINIMUM.
- INSTALL BIKE RACK WITH THREE (3) SPACES PER DETAIL THIS SHEET.
- MOTORCYCLE PARKING. ADD PAINT LABELS AND SIGNAGE PER COA STDS. TWO COATS MINIMUM.
- INSTALL PRE-CAST WHEEL STOP PER DETAIL THIS SHEET.
- 13'x130' CLEAR SIGHT TRIANGLE. LANDSCAPING & SIGNAGE SHALL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA.
- INSTALL SIDEWALK CULVERT PER COA STD DWG 2236. EXTEND ALL PERIMETER SIDEWALK CULVERTS ALONG PUBLIC ROADWAYS A MINIMUM OF 1' INSIDE THE PROPERTY LINE. REF. GRADING PLAN. CUT OPENING AS REQUIRED FOR DOWNSPOUT AT NORTH END OF BUILDING.
- REMOVE EXISTING CURB, GUTTER, SIDEWALKS, AND DRIVEPADS AS REQUIRED AND THEN INSTALL STANDARD CURB/GUTTER (8" HIGH) PER COA STD DWG 2415A.
- INSTALL HEADER CURB PER COA STD DWG 2415B. REF. GRADING PLAN.
- INSTALL PRECAST CONCRETE SPLASH BLOCK WITH 3"+ COBBLE TO BOTTOM OF POND.
- COORDINATE LIGHT POLE REMOVAL/RELOCATION WITH PNM. ALL COSTS ASSOCIATED WITH THE LIGHT POLE RELOCATION ARE THE RESPONSIBILITY OF THE DEVELOPER.
- PREFERRED NEW LIGHT POLE LOCATION PER KEYED NOTE 19, ABOVE.
- INSTALL 'CAST-IN-PLACE REPLACEABLE DETECTABLE WARNING SURFACE (DWS) ONTO EXISTING RAMP PER NMDOT STD DWGS 608-001, SHEET 8.

PARKING AREA PAVEMENT (PARKING AND DRIVE LANES)

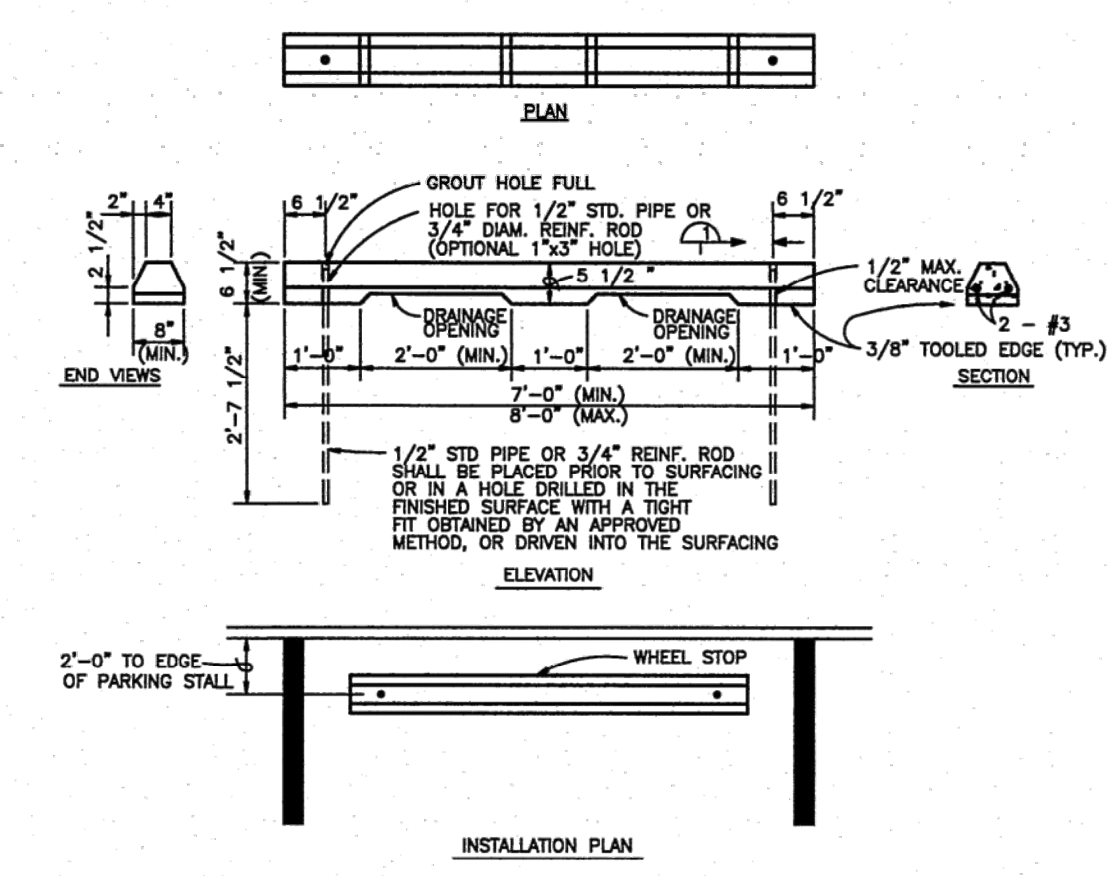
- 3" ASPHALTIC CONCRETE
- 6" AGGREGATE BASE COURSE
- MIN. 8" COMPACTED SUBGRADE

CONCRETE PAVEMENT (DUMPSTER PAD AND APRON)

- 6" PORTLAND CEMENT CONCRETE, 4,000 PSI
- 3/4" AGGREGATE W/ 5x8-10/10 WMM
- MIN. 8" COMPACTED SUBGRADE

NOTE: REFERENCE GEOTECHNICAL REPORT BY GEO-TEST, INC. DATED 5/13/2016 FOR ADDITIONAL DETAILS AND SPECIFICATIONS OF PAVEMENT/SUBGRADE.

Pavement Sections



Precast Concrete Wheel Stop Detail

Bike Rack Detail

REV	DATE	BY	REVISION
1			
2			
3			
4			
5			

MODULUS ARCHITECTS

100 SUN AVENUE N.E., Ste 305
ALBUQUERQUE, NEW MEXICO 87109
PHONE (505) 338-1499 FAX (505) 338-1498

JEFFREY TODD WOOTEN
NEW MEXICO
16892
PROFESSIONAL ENGINEER
10/26/2016

PROJECT TITLE: Mobile 2708 CARLISLE BLVD NE ALBUQUERQUE, NEW MEXICO 87110
JOB NO.: 2016013
PROJECT MANAGER: JEFF WOOTEN
DRAWN BY: JEFF WOOTEN
SHEET TITLE: Engineering Site Plan

DATE: 9/2/2016
SCALE: AS NOTED
AS NOTED
C1.1
3

Wooten Engineering

1005 21st St SE, Suite A5
Rio Rancho, N.M. 87124
Phone: (505) 980-3560