

# CITY OF ALBUQUERQUE

PLANNING DEPARTMENT – Development Review Services



October 10, 2016

Richard J. Berry, Mayor

Jeffrey T. Wooten, P.E.  
Wooten Engineering  
1368 Reynosa Loop SE  
Rio Rancho, NM, 87124

**RE: T-Mobile Building  
Drainage and Grading Plan  
Engineer's Stamp Date 9-15-2016 (File: H16D148)**

Dear Mr. Wooten:

Based upon the information provided in your submittal received 9-15-2016, the above referenced plan is approved for Building Permit with the conditions listed below; a separate Grading Permit is not needed since the project footprint is under 1-acre.

1. There is a property line across the project. It is assumed that it is being removed through the DRB Process. If not, a cross-lot drainage easement will be needed if it does not already exist prior to Hydrology's acceptance for any Occupancy.
2. Extend the sidewalk culvert plates in the right of way 1-foot behind the sidewalk.

PO Box 1293

Albuquerque

Please attach a copy of this approved plan in the construction sets for Building Permit processing. Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist, and the conditions above, will be required.

New Mexico 87103 If you have any questions, you can contact me at 924-3986.

www.cabq.gov

Sincerely,

Abiel Carrillo, P.E.  
Principal Engineer, Planning Dept.  
Development Review Services

Approved for SO19.  
AC 10-10-16



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

**Project Title:** \_\_\_\_\_ **Building Permit #:** \_\_\_\_\_ **City Drainage #:** \_\_\_\_\_

**DRB#:** \_\_\_\_\_ **EPC#:** \_\_\_\_\_ **Work Order#:** \_\_\_\_\_

**Legal Description:** \_\_\_\_\_

**City Address:** \_\_\_\_\_

**Engineering Firm:** \_\_\_\_\_ **Contact:** \_\_\_\_\_

**Address:** \_\_\_\_\_

**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**Owner:** \_\_\_\_\_ **Contact:** \_\_\_\_\_

**Address:** \_\_\_\_\_

**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**Architect:** \_\_\_\_\_ **Contact:** \_\_\_\_\_

**Address:** \_\_\_\_\_

**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**Other Contact:** \_\_\_\_\_ **Contact:** \_\_\_\_\_

**Address:** \_\_\_\_\_

**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

Check all that Apply:

**DEPARTMENT:**

- ☐ HYDROLOGY/ DRAINAGE  
☐ TRAFFIC/ TRANSPORTATION  
☐ MS4/ EROSION & SEDIMENT CONTROL

**TYPE OF SUBMITTAL:**

- ☐ ENGINEER/ ARCHITECT CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN  
☐ GRADING PLAN  
☐ DRAINAGE MASTER PLAN  
☐ DRAINAGE REPORT  
☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)  
☐ TRAFFIC IMPACT STUDY (TIS)  
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ OTHER (SPECIFY) \_\_\_\_\_

**CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:**

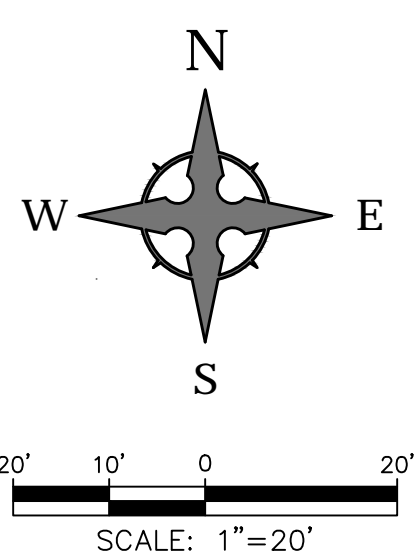
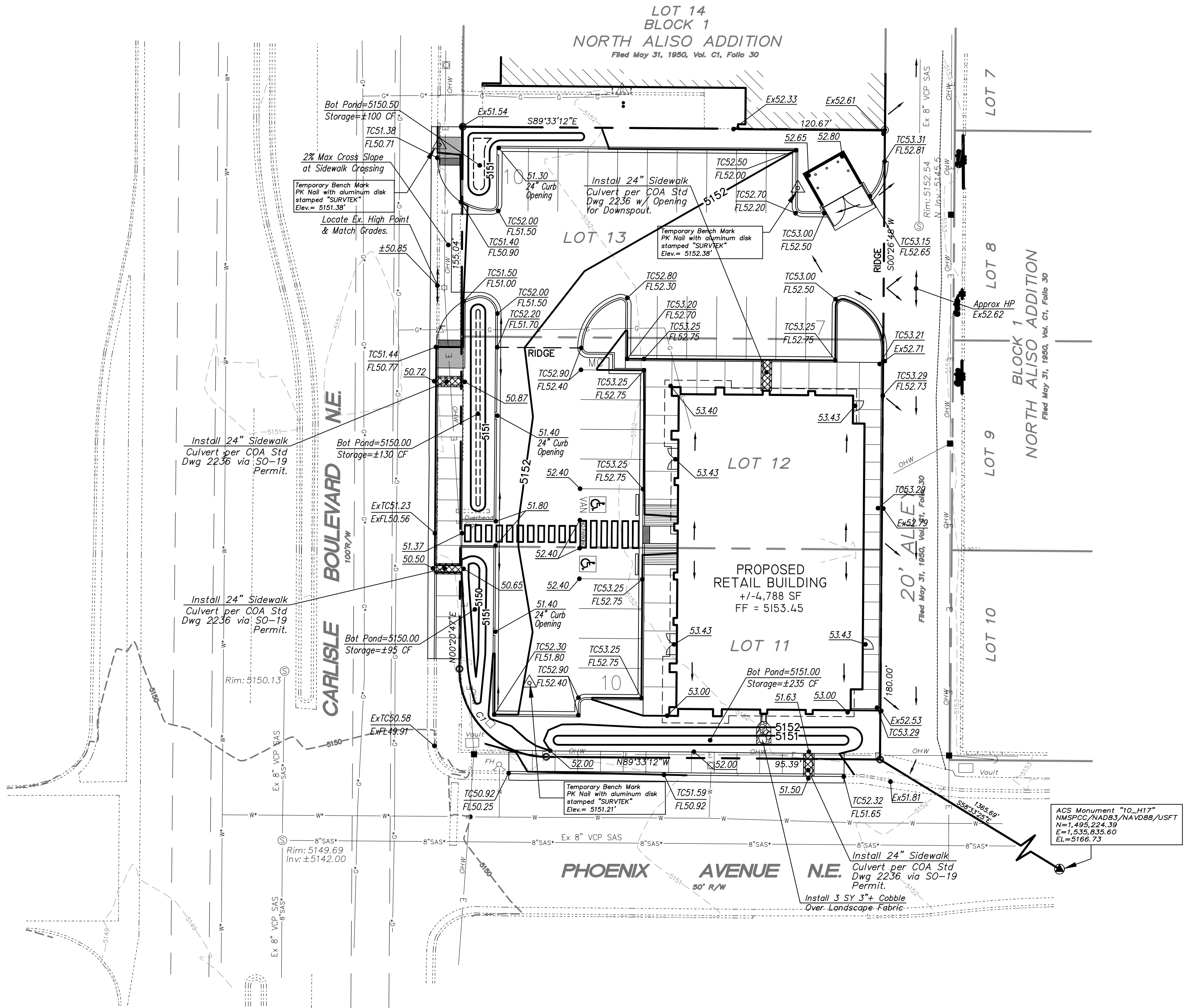
- ☐ BUILDING PERMIT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY
- ☐ PRELIMINARY PLAT APPROVAL  
☐ SITE PLAN FOR SUB'D APPROVAL  
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE  
☐ FOUNDATION PERMIT APPROVAL  
☐ GRADING PERMIT APPROVAL  
☐ SO-19 APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ GRADING/ PAD CERTIFICATION  
☐ WORK ORDER APPROVAL  
☐ CLOMR/LOMR
- ☐ PRE-DESIGN MEETING  
☐ OTHER (SPECIFY) \_\_\_\_\_

IS THIS A RESUBMITTAL?: ☐ Yes ☐ No

**DATE SUBMITTED:** \_\_\_\_\_ **By:** \_\_\_\_\_

COA STAFF: \_\_\_\_\_ ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_





CAUTION – NOTICE TO CONTRACTOR

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL NEW MEXICO ONE CALL (811) AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

- LEGEND**
- ← FLOW ARROW
  - 27.8 PROPOSED TOP OF GRADE/PVMT ELEVATIONS
  - FL27.8 PROPOSED FLOW LINE/GUTTER ELEVATIONS
  - TC27.8 PROPOSED TOP OF CURB ELEVATIONS
  - FGH27.8 PROPOSED GRADE AT TOP OF WALL
  - FGL27.8 PROPOSED GRADE AT BOTTOM OF WALL
  - - - 515 - - - EXISTING CONTOUR
  - 515 PROPOSED CONTOUR
  - - - EXISTING STORM DRAIN
  - - - FLOW LINE
  - - - RIDGE LINE

**DRAINAGE MANAGEMENT PLAN**

**INTRODUCTION**

The purpose of this submittal is to provide a final drainage management plan for the Redevelopment of 2706 Carlisle Blvd NE, located at the NEC of Carlisle and Phoenix in Albuquerque, NM. The site contains approximately 0.4949 acres.

**EXISTING HYDROLOGIC CONDITIONS**

The site was previously developed as a car wash /dog wash facility and was 100% impervious. The site currently slopes from east to west into Carlisle Blvd. Per the Calculations table this sheet, the total existing flow leaving the site is 2.33 cfs during the 100–Yr, 6–Hr Storm Event.

**PROPOSED HYDROLOGIC CONDITIONS**

The existing building and site pavement are to be demolished and a new +/-4,800 SF Retail Building constructed with associated parking and landscaped areas. The site will continue to drain from east to west and into Carlisle Blvd. Per the Calculations Table this sheet, the site discharge will be reduced to 2.21 cfs during the 100–Yr, 6–Hr Storm Event, a reduction of 0.12 cfs under Pre-Developed conditions.

**FIRST FLUSH CALCULATIONS**

Per the First Flush Calculations on this sheet, the total First Flush Volume required to be collected for the site is 519 CF. We have provided four Water Harvesting Ponds on site for a total volume of +/-560 CF per the Water Harvesting Pond Calculations table this sheet.

**CONCLUSION**

This drainage management plan provides for grading and drainage elements which reduce the impact to downstream systems; are capable of safely passing the 100 year storm, do not burden downstream systems, and meet city requirements. In addition, the proposed water harvesting ponds will help treat stormwater runoff per the DPM. With this submittal, we are requesting Building Permit approval.

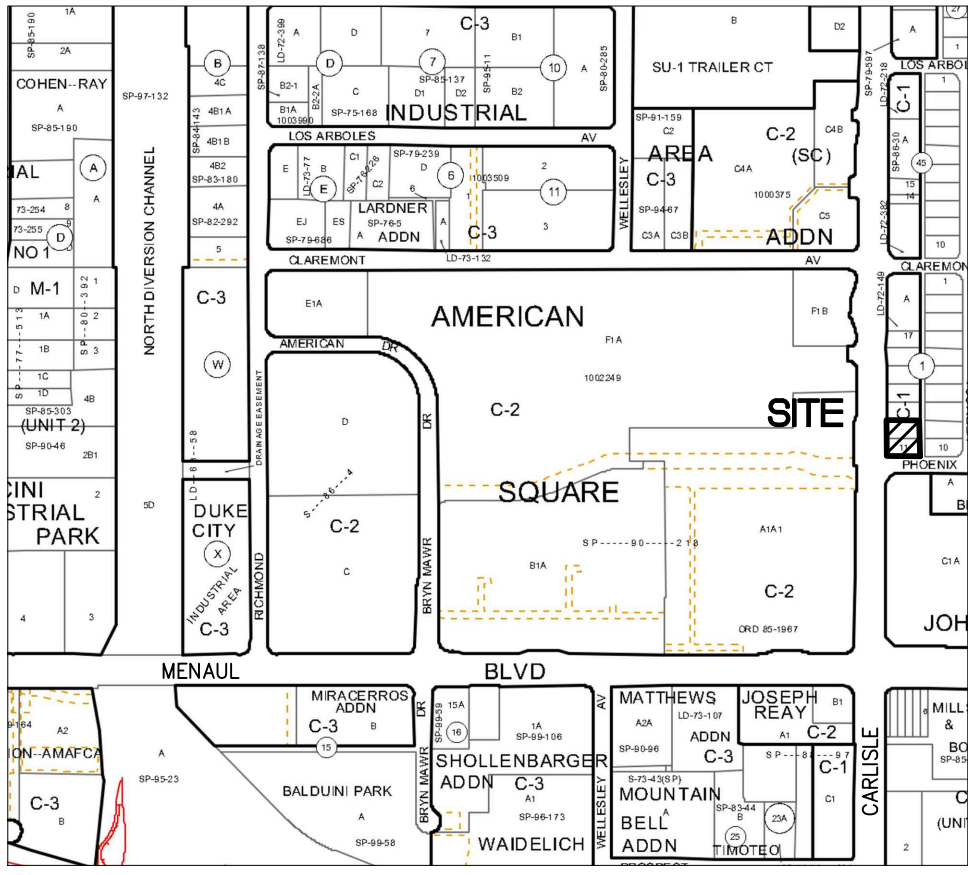
Existing T-Mobile Building Drainage Calculations												
This table is based on the COA DPM Section 22.2, Zone:12												
BASIN	Area (SQ. FT)	Area (AC.)	Land Treatment Percentages				Q(100) (cfs/ac.)	Q(100) (CFS)	WT E (inches)	V(100) <sub>360</sub> (CF)	V(100) <sub>1440</sub> (CF)	V(100) <sub>1080</sub> (CF)
Site	21558	0.49	0.0%	0.0%	0.0%	100.0%	4.70	2.33	2.12	3809	4527	6683
TOTAL	21558	0.49						2.33		3809	4527	6683

Proposed T-Mobile Building Drainage Calculations												
Ultimate Development Conditions Basin Data Table												
This table is based on the COA DPM Section 22.2, Zone:12												
BASIN	Area (SQ. FT)	Area (AC.)	Land Treatment Percentages				Q(100) (cfs/ac.)	Q(100) (CFS)	WT E (inches)	V(100) <sub>360</sub> (CF)	V(100) <sub>1440</sub> (CF)	V(100) <sub>1080</sub> (CF)
Site	21558	0.49	0.0%	0.0%	15.0%	85.0%	4.47	2.21	1.97	3542	4153	5985
TOTAL	21558	0.49						2.21		3542	4153	5985

- Private Drainage Facilities within City Right-of-Way**  
**Notice to Contractor**  
(Special Order 19 ~ "SO-19")
1. An excavation permit will be required before beginning any work within City Right-Of-Way.
  2. All work on this project shall be performed in accordance with applicable federal, state and local laws, rules and regulations concerning construction safety and health.
  3. Two working days prior to any excavation, the contractor must contact New Mexico One Call, dial "811" (or (505) 260-1990) for the location of existing utilities.
  4. Prior to construction, the contractor shall excavate and verify the locations of all obstructions. Should a conflict exist, the contractor shall notify the engineer so that the conflict can be resolved with a minimum amount of delay.
  5. Backfill compaction shall be according to traffic/street use.
  6. Maintenance of the facility shall be the responsibility of the owner of the property being served.
  7. Work on arterial streets shall be performed on a 24-hour basis.

CITY INSPECTOR APPROVAL

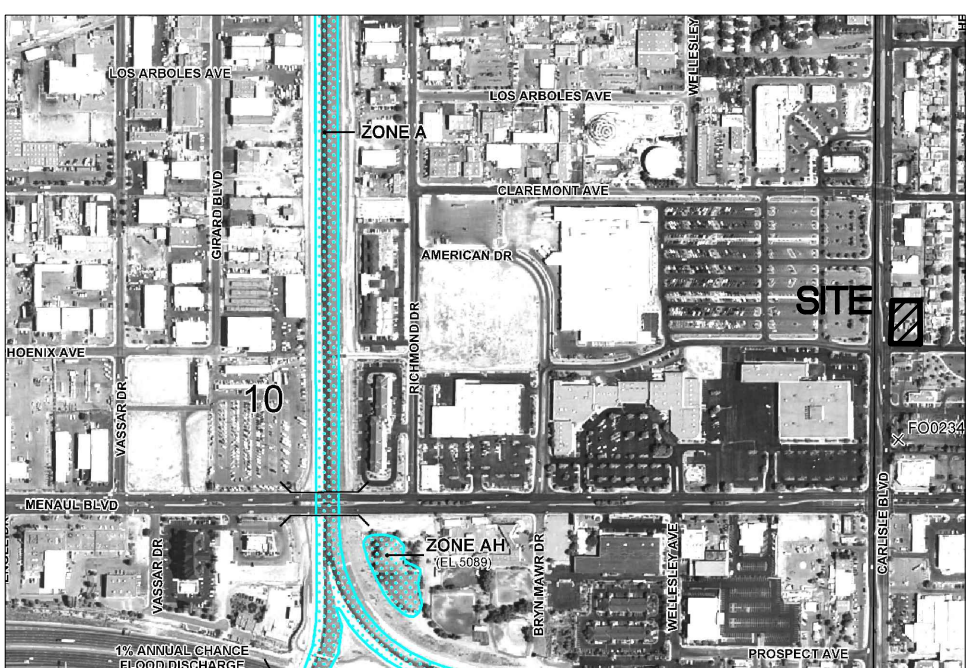
Signature \_\_\_\_\_ Date \_\_\_\_\_



**VICINITY MAP – Zone Atlas Page H-16**

NTS

Legal Desc: Lots 11–13, Blk 1, N. Aliso Add'n, 0.4949 Acres



**FIRM MAP 35001C0351H**

Per FIRM Map 35001C0351H, dated August 16, 2012, the site is not located in the Floodplain.

**GRADING NOTES**

1. EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
2. THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST.
3. ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "GEOTECHNICAL INVESTIGATION," AS PROVIDED BY THE ARCHITECT OR OWNER. ALL OTHER WORK SHALL, UNLESS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT, (FIRST PRIORITY) SPECIFICATIONS, AND/OR THE CITY OF ALBUQUERQUE (COA) STANDARD SPECIFICATIONS FOR PUBLIC WORKS (SECOND PRIORITY).
4. EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
5. IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
6. THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY. THIS SHOULD BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS OR SILT FENCE AT THE PROPERTY LINES AND WETTING THE SOIL TO PROTECT IT FROM WIND EROSION.
7. A DISPOSAL SITE FOR ANY & ALL EXCESS EXCAVATION MATERIAL, AND UNSUITABLE MATERIAL AND/OR A BORROW SITE CONTAINING ACCEPTABLE FILL MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL OR BORROW SITE AND HAUL TO OR FROM SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
8. PAVING AND ROADWAY GRADES SHALL BE +/- 0.05' FROM PLAN ELEVATIONS. PAD ELEVATION SHALL BE +/- 0.05' FROM BUILDING PLAN ELEVATION.
9. ALL PROPOSED CONTOURS AND SPOT ELEVATIONS REFLECT TOP OF PAVEMENT ELEVATIONS IN THE PARKING AREA AND MUST BE ADJUSTED FOR PAVEMENT, MEDIANS, AND ISLANDS.
10. VERIFY ALL ELEVATIONS SHOWN ON PLAN FROM BASIS OF ELEVATION CONTROL STATION (IF APPLICABLE) PRIOR TO BEGINNING CONSTRUCTION.
11. THE CONTRACTOR SHALL PROVIDE THE SWPPP DOCUMENT (IF NECESSARY) AND SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS, INCLUDING EPA REQUIREMENTS WITH RESPECT TO STORM WATER DISCHARGE.

**IMPERVIOUS AREA CALCULATIONS**

**PROPOSED SITE CONDITIONS**

TOTAL SITE AREA: 21,558 SF

IMPERVIOUS AREA (85%): 18,324 SF

**FIRST FLUSH CALCULATION**

TOTAL IMPERVIOUS AREA = 18,324 SF

FIRST FLUSH = 18,324 \* 0.34" / 12 = **519 CF**

TOTAL VOLUME PROVIDED (4 PONDS) = **560 CF**

**W E** Wooten Engineering

1005 21st St SE, Suite A5  
Rio Rancho, N.M. 87124  
Phone: (505) 980-3560

REV	DATE	BY	REVISION
6			
5			
4			
3			
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1			

**MODULUS ARCHITECTS**

100 SUN AVENUE N.E., Ste 305  
ALBUQUERQUE, NEW MEXICO 87109  
PHONE (505) 338-1499 FAX (505) 338-1498

JEFF TODD WOOTEN  
NEW MEXICO  
16892  
REGISTERED PROFESSIONAL ENGINEER  
9/15/2016

PROJECT TITLE T-Mobile Building 2706 CARLISLE BLVD NE ALBUQUERQUE, NEW MEXICO 87107	PROJECT MANAGER JEFF WOOTEN	DRAWN BY: JEFF WOOTEN	JOB NO. 2016013	SHEET TITLE Site Grading Plan

DATE: 9/2/2016	sheet: C1.2
SCALE: AS NOTED	of: 3