

CITY OF ALBUQUERQUE



October 31, 2016

Jeffrey Wooten
Wooten Engineering
1005 21st Street SE, Suite A5
Rio Rancho, NM 87124

Re: Tmobile Retail Building
2706 Carlisle Blvd.
Traffic Circulation Layout
Engineer's Stamp dated 10-26-16 (H16-D148)

Dear Mr. Wooten,

The TCL submittal received 10-27-16 is approved for Building Permit. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

When the site construction is completed and a Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Racquel M. Michel, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

LWP via: email
C: File



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: _____ **Building Permit #:** _____ **City Drainage #:** _____

DRB#: _____ **EPC#:** _____ **Work Order#:** _____

Legal Description: _____

City Address: _____

Engineering Firm: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Owner: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Architect: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Other Contact: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Check all that Apply:

DEPARTMENT:

- ☐ HYDROLOGY/ DRAINAGE
☐ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ ARCHITECT CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ OTHER (SPECIFY) _____

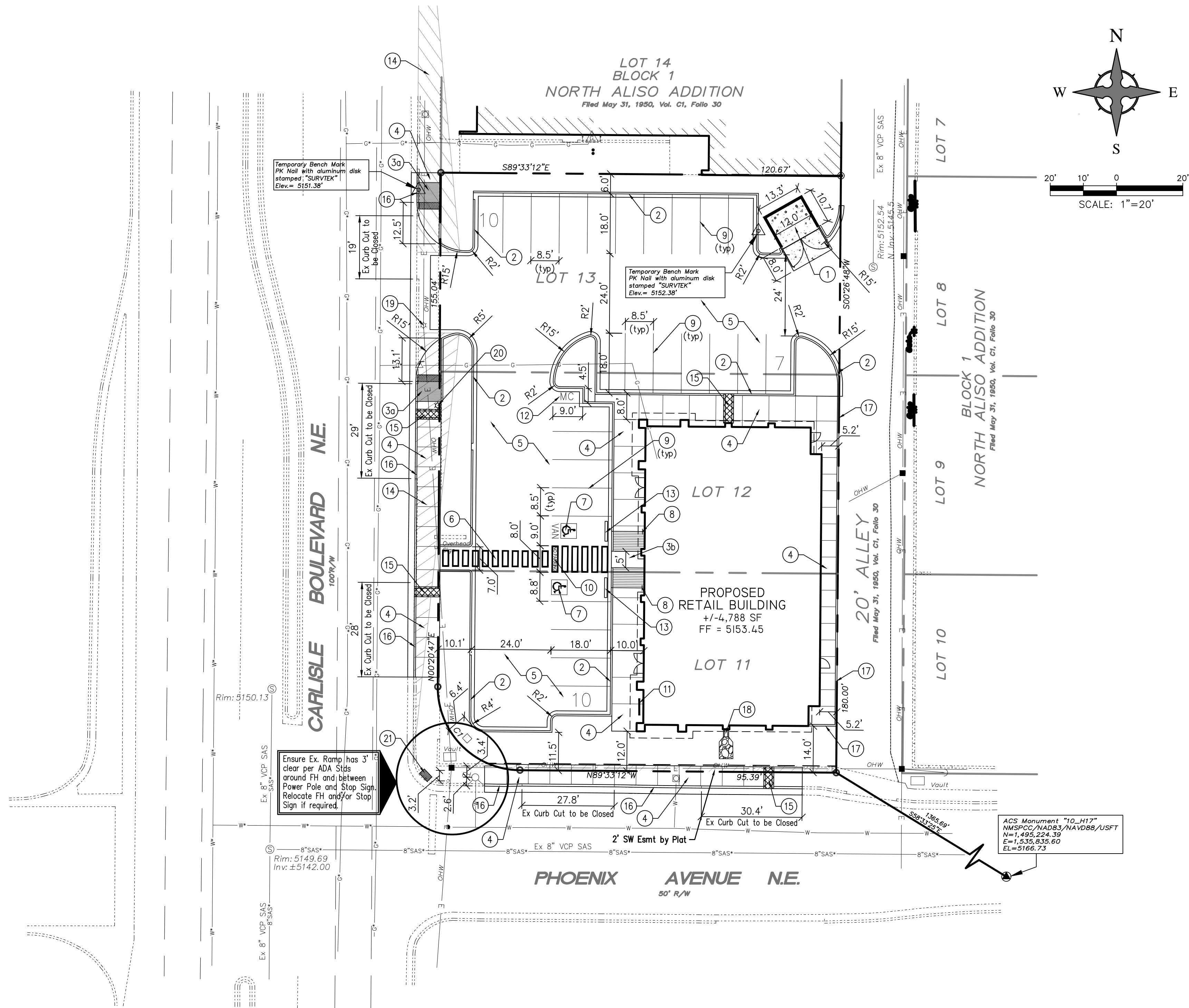
CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY
- ☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR
- ☐ PRE-DESIGN MEETING
☐ OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: ☐ Yes ☐ No

DATE SUBMITTED: _____ **By:** _____

COA STAFF: _____ ELECTRONIC SUBMITTAL RECEIVED: _____



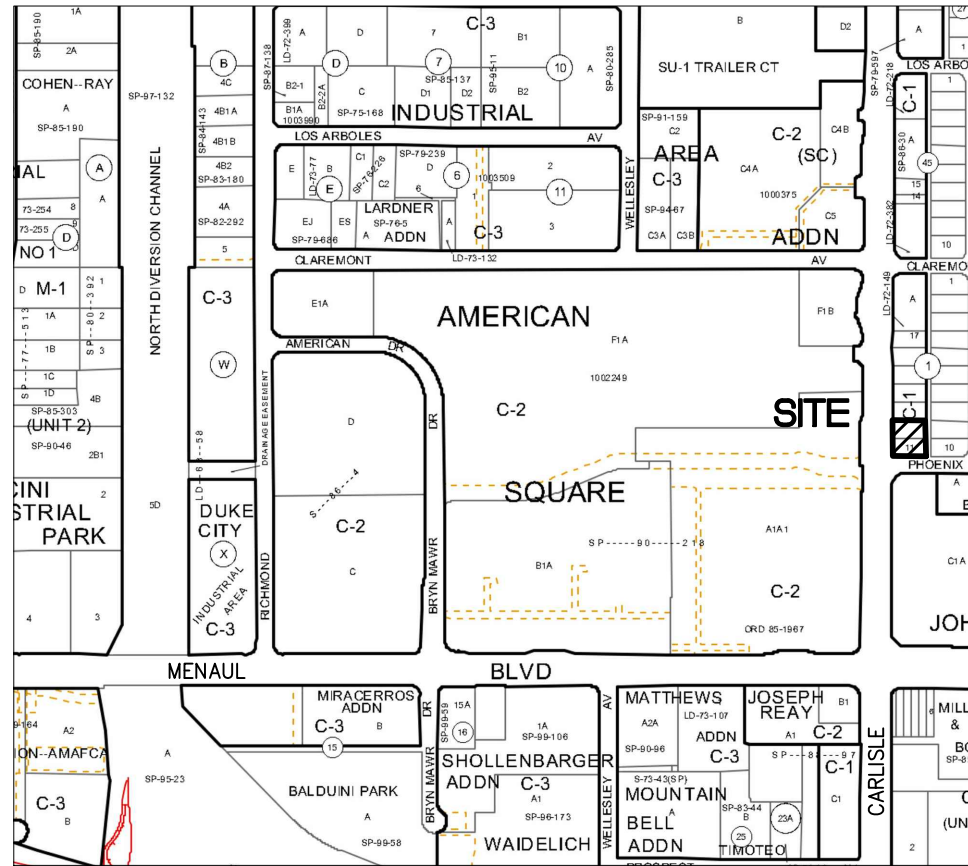
PARKING CALCULATIONS			
BUILDING AREA:		AREA (SQUARE FEET)	
T-MOBILE RETAIL BUILDING		4,788 SF	
TOTAL		4,788 SF	
PARKING REQUIREMENTS:			
	RATIO	REQUIRED	PROVIDED
T-MOBILE RETAIL BUILDING	1/200 SF	24 spaces	27 spaces
TOTAL		24 spaces	27 spaces
		REQUIRED	PROVIDED
HANDICAP PARKING		1 spaces	2 spaces
MOTORCYCLE PARKING		1 spaces	1 spaces
BICYCLE PARKING		2 spaces	3 spaces

CAUTION - NOTICE TO CONTRACTOR

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL NEW MEXICO ONE CALL (811) AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

KEYED NOTES

- DUMPSTER ENCLOSURE. REF ARCHITECTURAL DETAILS. SEE PAVING DETAILS THIS SHEET FOR CONCRETE APRON.
- INSTALL MEDIAN CURB/GUTTER (6" HIGH) PER COA STD DWG 2415B.
- INSTALL PARALLEL CURB RAMP PER NMDOT STD DWGS 608-001, SHEETS 1-12 WITH 'CAST-IN-PLACE REPLACEABLE' DETECTABLE WARNING SURFACE (DWS). MATCH ADJACENT SIDEWALK WIDTH.
- INSTALL PARALLEL CURB RAMP PER NMDOT STD DWGS 608-001, SHEETS 1-12. DETECTABLE WARNING SURFACE NOT REQUIRED ON THIS RAMP.
- REMOVE EXISTING CURB, GUTTER, SIDEWALKS, AND DRIVEPADS AS REQUIRED AND THEN INSTALL CONCRETE SIDEWALK PER COA STD DWG 2430.
- ASPHALT PAVEMENT, SEE PAVING DETAILS THIS SHEET.
- INSTALL BOX STRIPING PER ARCHITECTURAL SITE PLAN & DETAILS. TWO COATS MINIMUM.
- PAINTED WHEELCHAIR SYMBOL (BLUE) TO MEET ADA STANDARDS. TWO COATS MINIMUM.
- INSTALL H/C SIGNAGE PER DETAIL ON DETAIL SHEET. ADD VAN ACCESSIBLE SIGNAGE WHERE NOTED. WHEN A POLE MOUNTED SIGN WILL NOT FIT WITHIN DESIGNATED AREA, SIGN SHALL BE BOLTED TO BUILDING. H/C SIGN MUST INCLUDE LANGUAGE PER 66-7-352.4C NMSA 1978 "VIOLATORS ARE SUBJECT TO A FINE AND/OR TOWING."
- INSTALL 4" WIDE PAINT STRIPES (WHITE) FOR ALL PARKING MINIMUM TWO COATS.
- PAINT WORDS 'NO PARKING' WITH LETTERS AT LEAST ONE FOOT HIGH AND 2 INCHES WIDE. TWO COATS MINIMUM.
- INSTALL BIKE RACK WITH THREE (3) SPACES PER DETAIL THIS SHEET.
- MOTORCYCLE PARKING. ADD PAINT LABELS AND SIGNAGE PER COA STDs. TWO COATS MINIMUM.
- INSTALL PRE-CAST WHEEL STOP PER DETAIL THIS SHEET.
- 13'x130' CLEAR SIGHT TRIANGLE. LANDSCAPING & SIGNAGE SHALL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA.
- INSTALL SIDEWALK CULVERT PER COA STD DWG 2236. EXTEND ALL PERIMETER SIDEWALK CULVERTS ALONG PUBLIC ROADWAYS A MINIMUM OF 1' INSIDE THE PROPERTY LINE. REF. GRADING PLAN. CUT OPENING AS REQUIRED FOR DOWNSPOUT AT NORTH END OF BUILDING.
- REMOVE EXISTING CURB, GUTTER, SIDEWALKS, AND DRIVEPADS AS REQUIRED AND THEN INSTALL STANDARD CURB/GUTTER (8" HIGH) PER COA STD DWG 2415A.
- INSTALL HEADER CURB PER COA STD DWG 2415B. REF. GRADING PLAN.
- INSTALL PRECAST CONCRETE SPLASH BLOCK WITH 3"+ COBBLE TO BOTTOM OF POND.
- COORDINATE LIGHT POLE REMOVAL/RELOCATION WITH PNM. ALL COSTS ASSOCIATED WITH THE LIGHT POLE RELOCATION ARE THE RESPONSIBILITY OF THE DEVELOPER.
- PREFERRED NEW LIGHT POLE LOCATION PER KEYED NOTE 19, ABOVE.
- INSTALL 'CAST-IN-PLACE REPLACEABLE DETECTABLE WARNING SURFACE (DWS) ONTO EXISTING RAMP PER NMDOT STD DWGS 608-001, SHEET 8.



VICINITY MAP - Zone Atlas Page H-16
Legal Desc: Lots 11-13, Blk 1, N. Aliso Add'n, 0.4949 Acres

PARKING AREA PAVEMENT (PARKING AND DRIVE LANES)

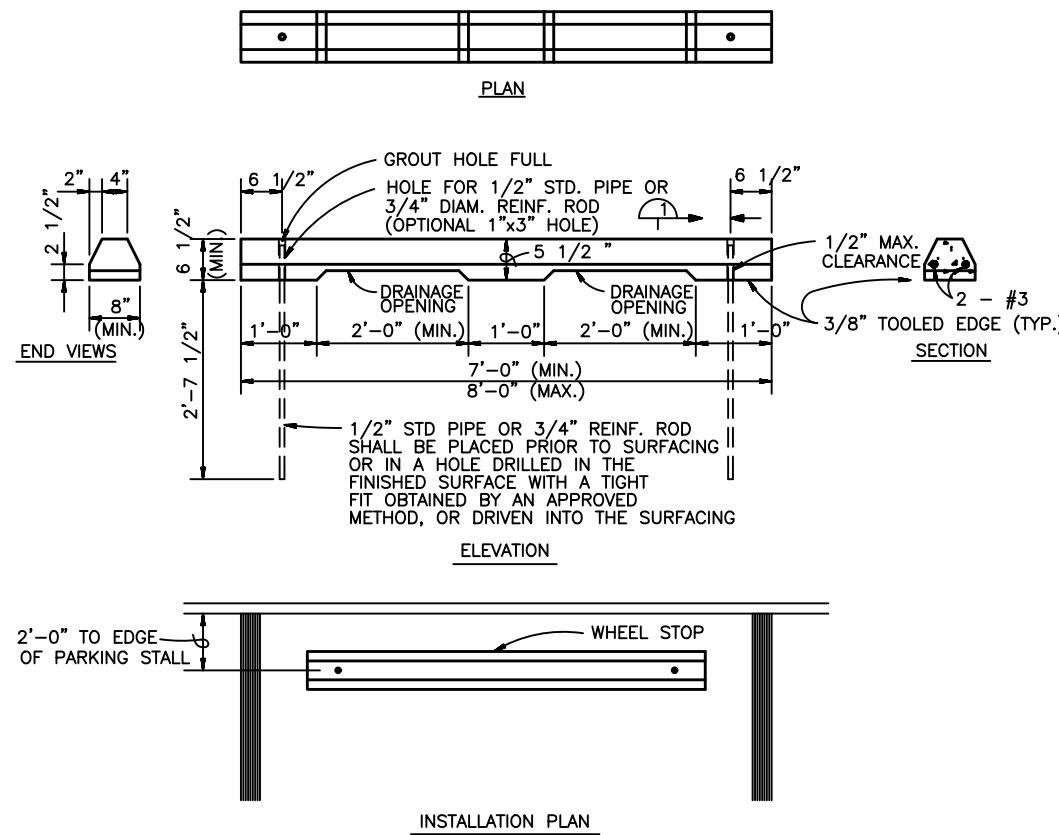
- 3" ASPHALTIC CONCRETE
- 6" AGGREGATE BASE COURSE
- MIN. 8" COMPACTED SUBGRADE

CONCRETE PAVEMENT (DUMPSTER PAD AND APRON)

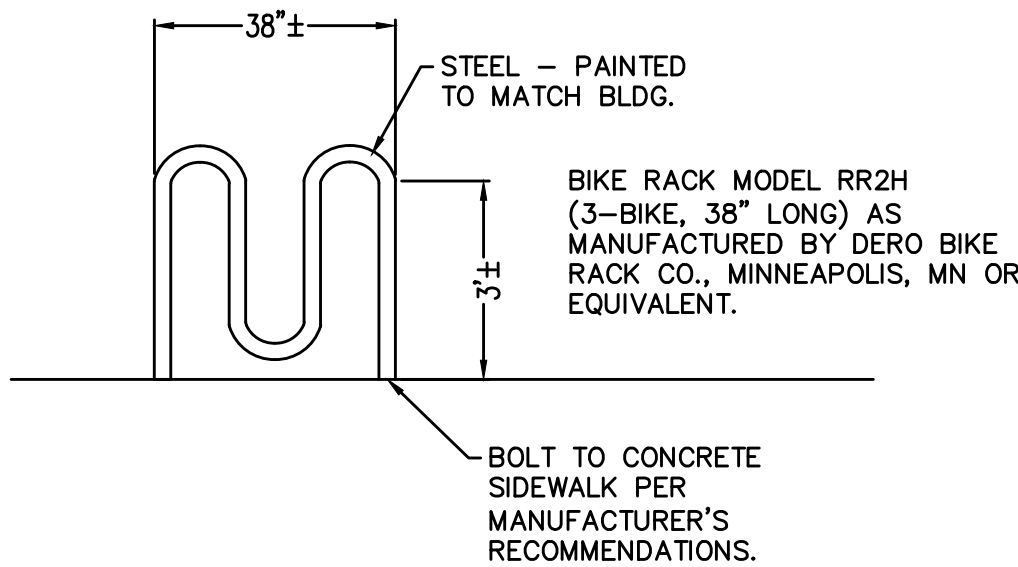
- 6" PORTLAND CEMENT CONCRETE, 4,000 PSI
- 3/4" AGGREGATE W/ 5x6-10/10 W/M
- MIN. 8" COMPACTED SUBGRADE

NOTE: REFERENCE GEOTECHNICAL REPORT BY GEO-TEST, INC. DATED 5/13/2016 FOR ADDITIONAL DETAILS AND SPECIFICATIONS OF PAVEMENT/SUBGRADE.

Pavement Sections



Precast Concrete Wheel Stop Detail

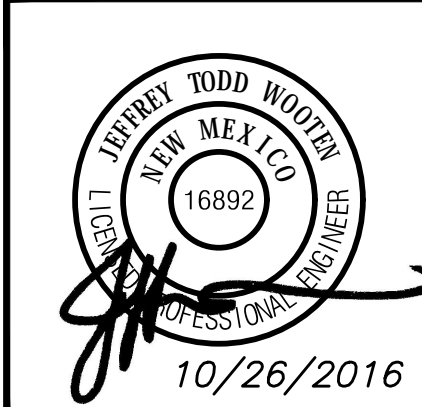


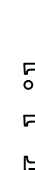
Bike Rack Detail

NTS

REV	DATE	BY	REVISION
1	6/1/2016	JEFF WOOTEN	ISSUED FOR PERMIT
2	6/1/2016	JEFF WOOTEN	REVISED PER COMMENTS
3	6/1/2016	JEFF WOOTEN	REVISED PER COMMENTS
4	6/1/2016	JEFF WOOTEN	REVISED PER COMMENTS
5	6/1/2016	JEFF WOOTEN	REVISED PER COMMENTS

MODULUS ARCHITECTS
100 SUN AVENUE N.E., Ste 305
ALBUQUERQUE, NEW MEXICO 87109
PHONE (505) 338-1499 FAX (505) 338-1498



PROJECT TITLE  2706 CARLISLE BLVD. NE ALBUQUERQUE, NEW MEXICO 87110		JOB NO. 2016013		DRAWN BY: JEFF WOOTEN	
PROJECT MANAGER JEFF WOOTEN		SHEET TITLE Engineering Site Plan			
DATE: 9/2/2016		sheet: C1.1			
SCALE: AS NOTED		of 3			

Wooten Engineering
1005 21st St SE, Suite A5
Rio Rancho, N.M. 87124
Phone: (505) 980-3560