

CITY OF ALBUQUERQUE



September 28, 2016

Wooten engineering
Jeffrey Wooten P.E.
1005 21st Street SE, Suite A5
Rio Rancho, NM 87124

Re: TMobile Retail Building
2706 Carlisle Blvd NE
Traffic Circulation Layout
Engineer's date 09-15-16 (H16-D148)

Dear Mr. Wooten,

Based upon the information provided in your submittal received 09-15-16, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. Please identify all existing drive pads and anything that influences the parking and circulation on the site. In particular the two drive pads on Phoenix and the light pole on Carlisle.
2. All sidewalks along streets should be placed at the property line. The sidewalk along Phoenix will require a sidewalk easement if it crosses the property line.
3. Please provide dimensions for the ADA wheelchair ramp on the corner of Phoenix and Carlisle and location of the power pole and fire hydrant at ramp. The ramp will require installation of a cast in place Detectable Warning Surface and will need to be replaced if it does not conform to ADA standards.
4. Please dimension on all ADA pathways. Connection from the sidewalk to the front should be 6 feet wide. Also use NMDOT ADA specifications 608-001 for Detectable Warning Surface detail and location, found at [http://dot.state.nm.us/content/dam/nmdot/Plans_Specs_Estimates/Standard Drawings/608.pdf](http://dot.state.nm.us/content/dam/nmdot/Plans_Specs_Estimates/Standard_Drawings/608.pdf). Add note for DWS "Cast in place replaceable".
5. Sidewalk culvert will require a SO19 permit.

Resubmit a revised plan along with fully completed Drainage Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. PDF copies of the plans and submittal package must be emailed to PLNDRS@cabq.gov at time of resubmittal. If you have any questions, please contact Logan Patz (505) 924-3630.

Sincerely,

Racquel Michel, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

mao via: email
C: CO Clerk, File



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: _____ **Building Permit #:** _____ **City Drainage #:** _____

DRB#: _____ **EPC#:** _____ **Work Order#:** _____

Legal Description: _____

City Address: _____

Engineering Firm: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Owner: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Architect: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Other Contact: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Check all that Apply:

DEPARTMENT:

- ☐ HYDROLOGY/ DRAINAGE
☐ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ ARCHITECT CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ OTHER (SPECIFY) _____

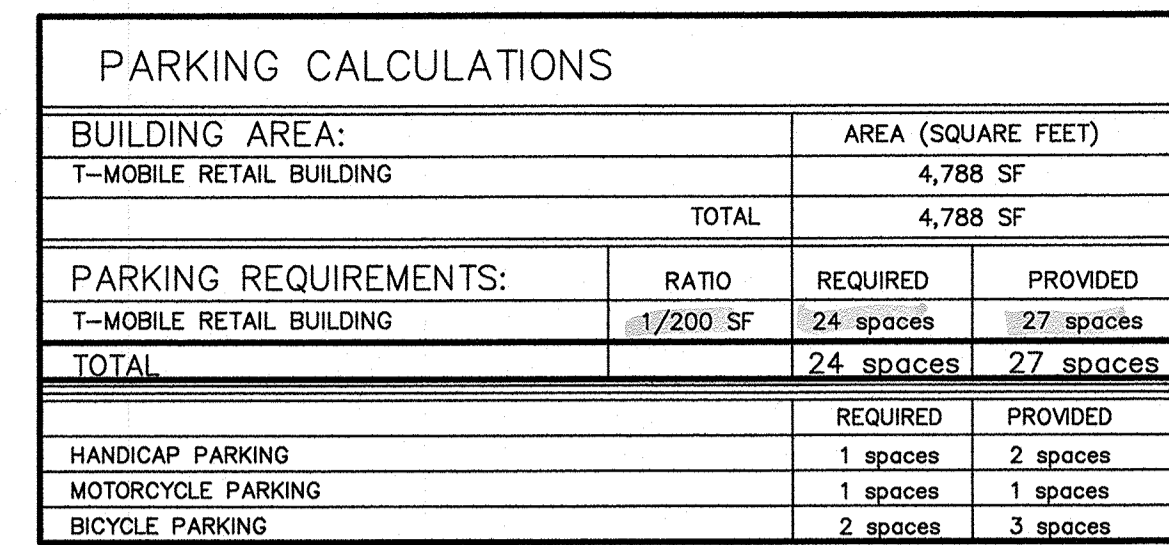
CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY
- ☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR
- ☐ PRE-DESIGN MEETING
☐ OTHER (SPECIFY) _____

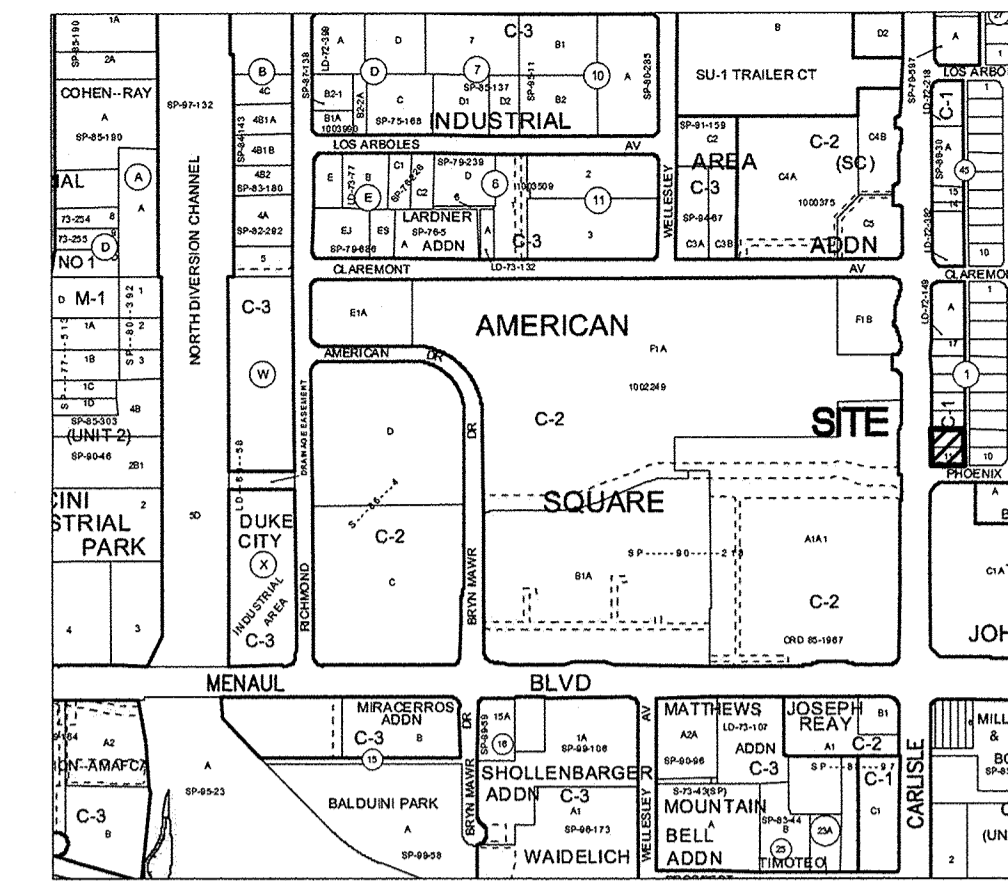
IS THIS A RESUBMITTAL?: ☐ Yes ☐ No

DATE SUBMITTED: _____ **By:** _____

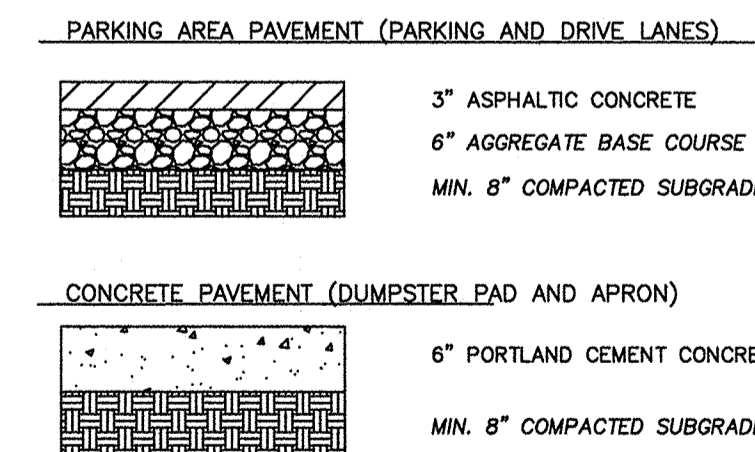
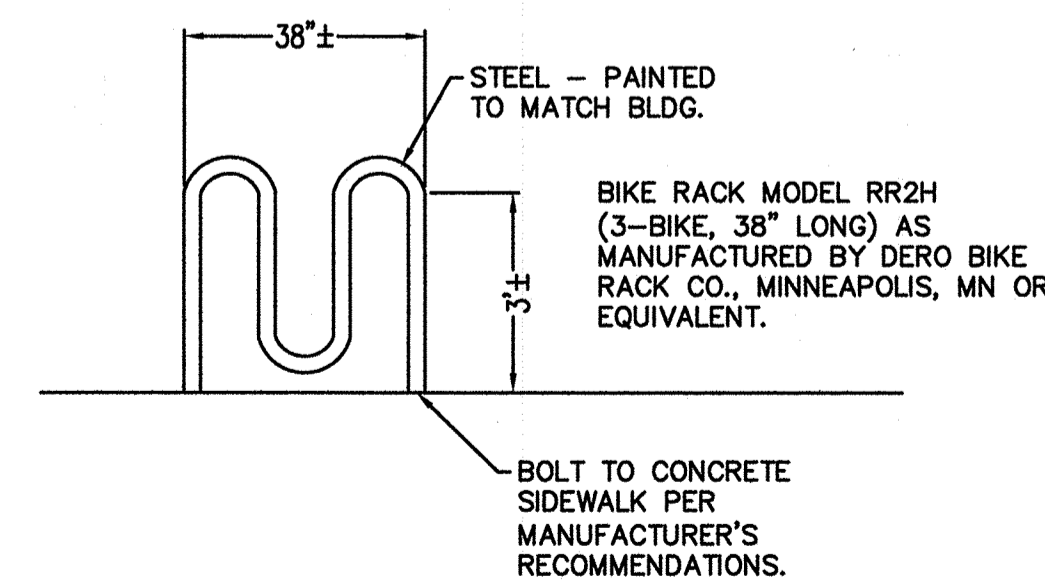
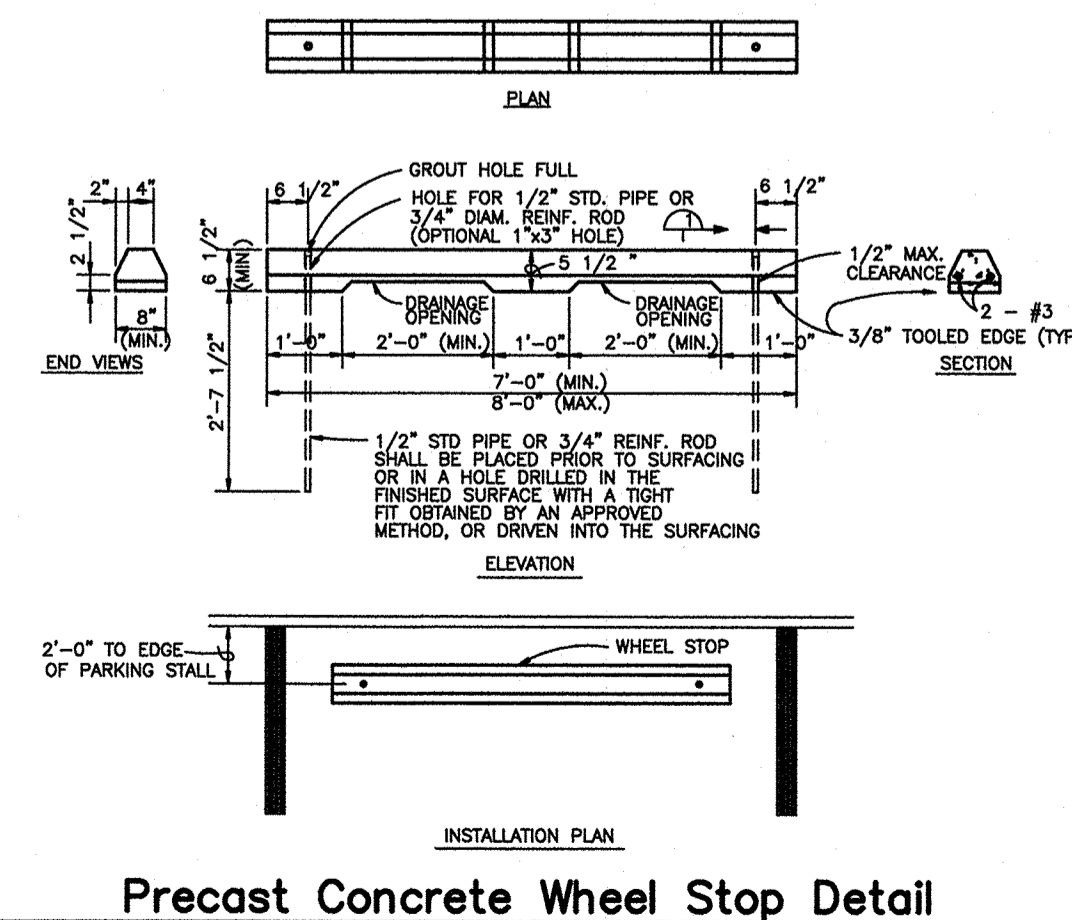
COA STAFF: _____ ELECTRONIC SUBMITTAL RECEIVED: _____



THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL NEW MEXICO UTILITY LOCATING (111) AT LEAST 48 HOURS BEFORE AN EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.



1. DUMPSTER ENCLOSURE. REF ARCHITECTURAL DETAILS. SEE PAVING DETAILS THIS SHEET FOR CONCRETE APRON.
2. INSTALL MEDIAN CURB/GUTTER (6" HIGH) PER COA STD DWG 2415B.
3. INSTALL CURB RAMP WITH TRUNCATED DOMES PER DETAIL THIS SHEET. MATCH ADJACENT SIDEWALK WIDTH.
4. INSTALL CONCRETE SIDEWALK PER COA STD DWG 2430.
5. ASPHALT PAVEMENT, SEE PAVING DETAILS THIS SHEET.
6. INSTALL BOX STRIPING PER ARCHITECTURAL SITE PLAN & DETAILS. TWO COATS MINIMUM.
7. PAINTED WHEELCHAIR SYMBOL (BLUE) TO MEET ADA STANDARDS. TWO COATS MINIMUM.
8. INSTALL H/C SIGNAGE PER DETAIL ON DETAIL SHEET. ADD VAN ACCESSIBLE SIGNAGE WHERE NOTED. WHEN A POLE MOUNTED SIGN WILL NOT FIT WITHIN DESIGNATED AREA, SIGN SHALL BE BOLTED TO BUILDING. H/C SIGN MUST INCLUDE LANGUAGE PER 66-7-352.4C NMSA 1978 "VIOLATORS ARE SUBJECT TO A FINE AND/OR TOWING."
9. INSTALL 4" WIDE PAINT STRIPES (WHITE) FOR ALL PARKING MINIMUM TWO COATS.
10. PAINT WORDS "NO PARKING" WITH LETTERS AT LEAST ONE FOOT HIGH AND 2 INCHES WIDE. TWO COATS MINIMUM.
11. INSTALL BIKE RACK WITH THREE (3) SPACES PER DETAIL THIS SHEET.
12. MOTORCYCLE PARKING. ADD PAINT LABELS AND SIGNAGE PER COA STDs. TWO COATS MINIMUM.
13. INSTALL PRE-CAST WHEEL STOP PER DETAIL THIS SHEET.
14. 13'x130' CLEAR SIGHT TRIANGLE. LANDSCAPING & SIGNAGE SHALL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA.
15. INSTALL SIDEWALK CULVERT PER COA STD DWG 2236. REF. GRADING PLAN, CUT OPENING AS REQUIRED FOR DOWNSLOPE AT NORTH END OF BUILDING. *See 50-19 plan Permit*
16. INSTALL STANDARD CURB/GUTTER (8" HIGH) PER COA STD DWG 2415A.
17. INSTALL HEADER CURB PER COA STD DWG 2415B. REF. GRADING PLAN.
18. INSTALL PRECAST CONCRETE SPLASH BLOCK WITH 3" COBBLE TO BOTTOM OF POND.



NOTE: REFERENCE GEOTECHNICAL REPORT BY GEO-TEST, INC. DATED 5/13/2016
FOR ADDITIONAL DETAILS AND SPECIFICATIONS OF PAVEMENT/SUBGRADE.

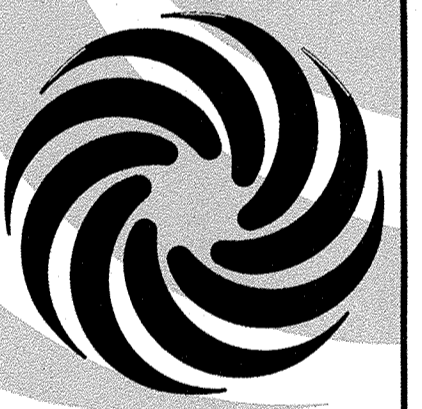
Pavement Sections

Bike Rack Detail

NTS



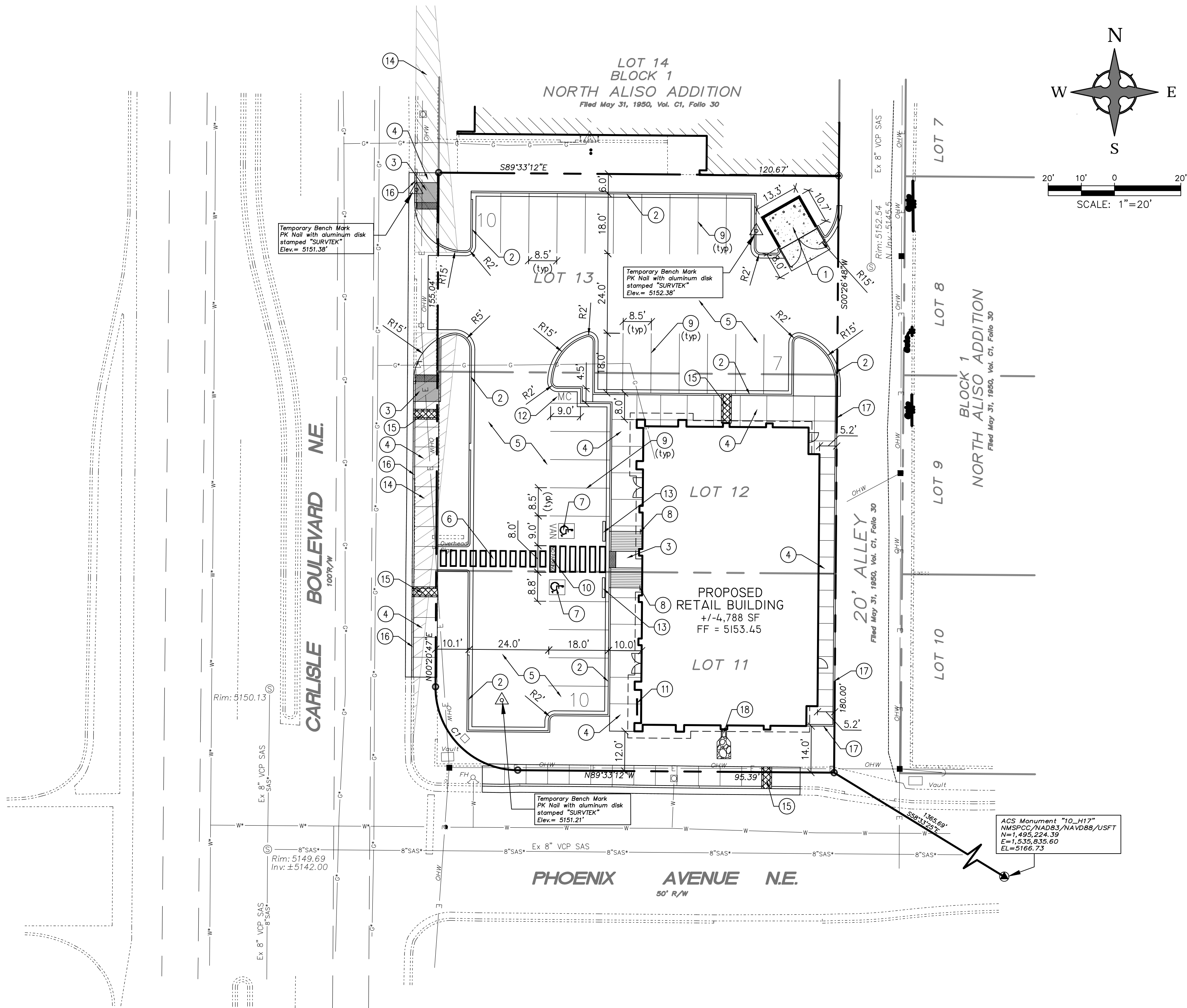
MODULUS ARCHITECTS
100 SUN AVENUE N.E., Ste 305
ALBUQUERQUE, NEW MEXICO 87109
PHONE (505) 338-1499 FAX (505) 338-1498



PROJECT TITLE	T-Mobile Building		
	2706 CARLISLE BLVD NE		
	ALBUQUERQUE, NEW MEXICO 87107		
PROJECT MANAGER	JEFF WOOTEN	JOB NO.	2016013
		DRAWN BY:	JEFF WOOTEN
SHEET TITLE		Engineering Site Plan	

DATE: 9/2/2016	sheet- C1.1
SCALE: AS NOTED	of 3

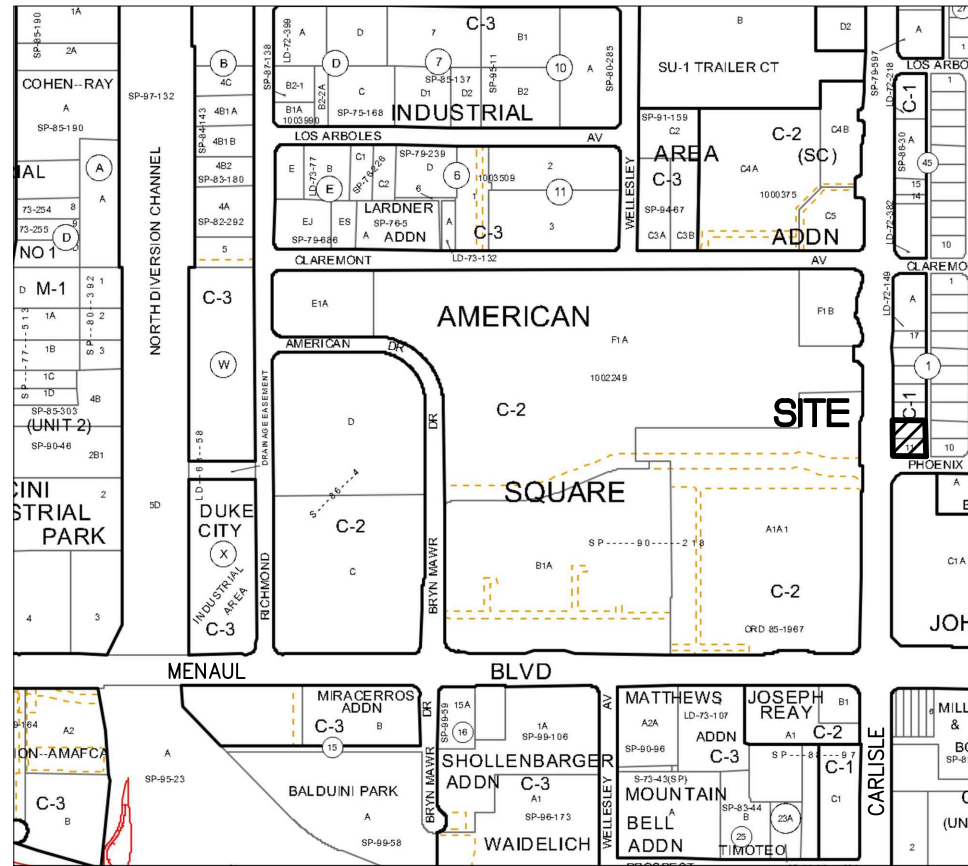
WE Wooten Engineering
1005 21st St SE, Suite A5
Rio Rancho, N.M. 87124
Phone: (505) 980-3560



PARKING CALCULATIONS			
BUILDING AREA:		AREA (SQUARE FEET)	
T-MOBILE RETAIL BUILDING		4,788 SF	
TOTAL		4,788 SF	
PARKING REQUIREMENTS:			
T-MOBILE RETAIL BUILDING		RATIO	REQUIRED PROVIDED
TOTAL		1/200 SF	24 spaces 27 spaces
		24 spaces	27 spaces
HANDICAP PARKING		REQUIRED	PROVIDED
MOTORCYCLE PARKING		1 spaces	2 spaces
BICYCLE PARKING		1 spaces	1 spaces
		2 spaces	3 spaces

CAUTION - NOTICE TO CONTRACTOR

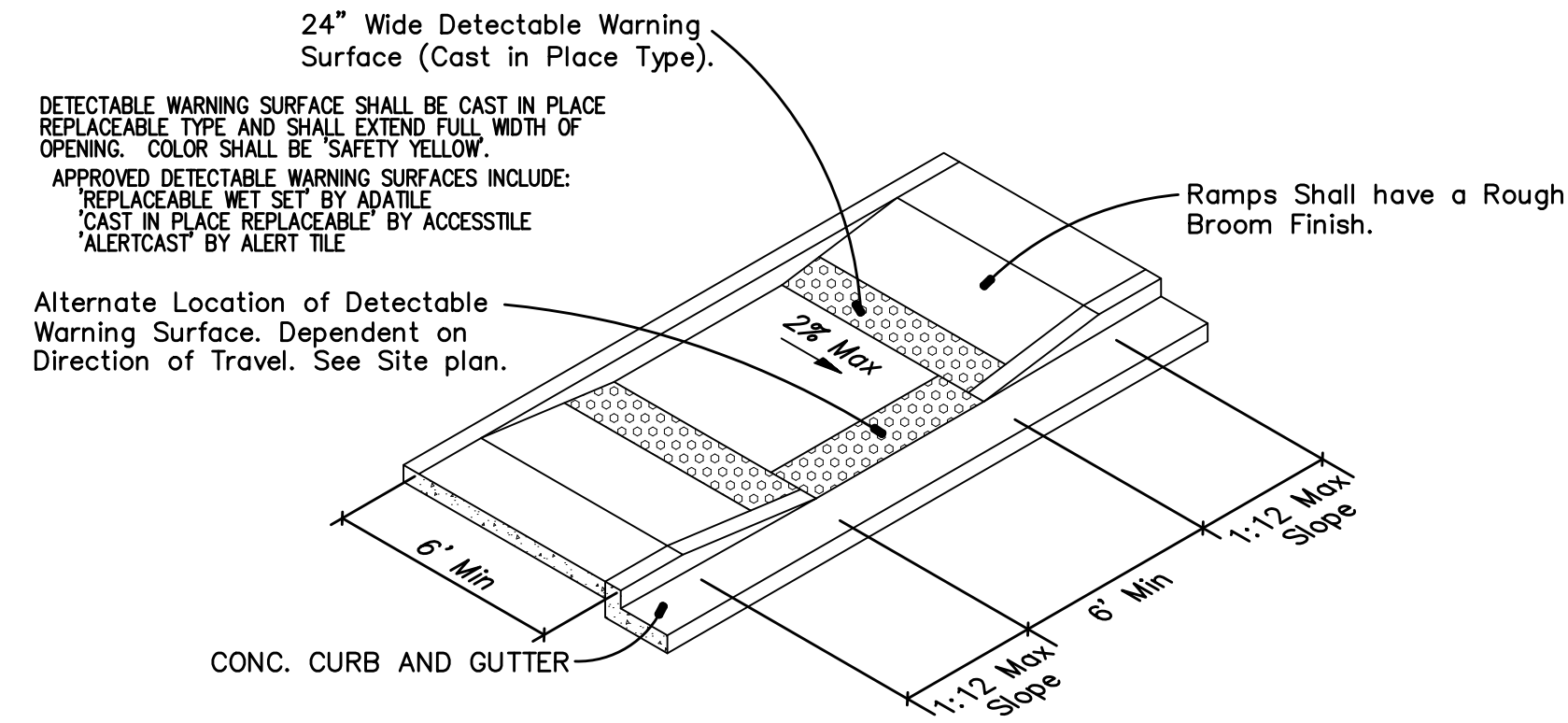
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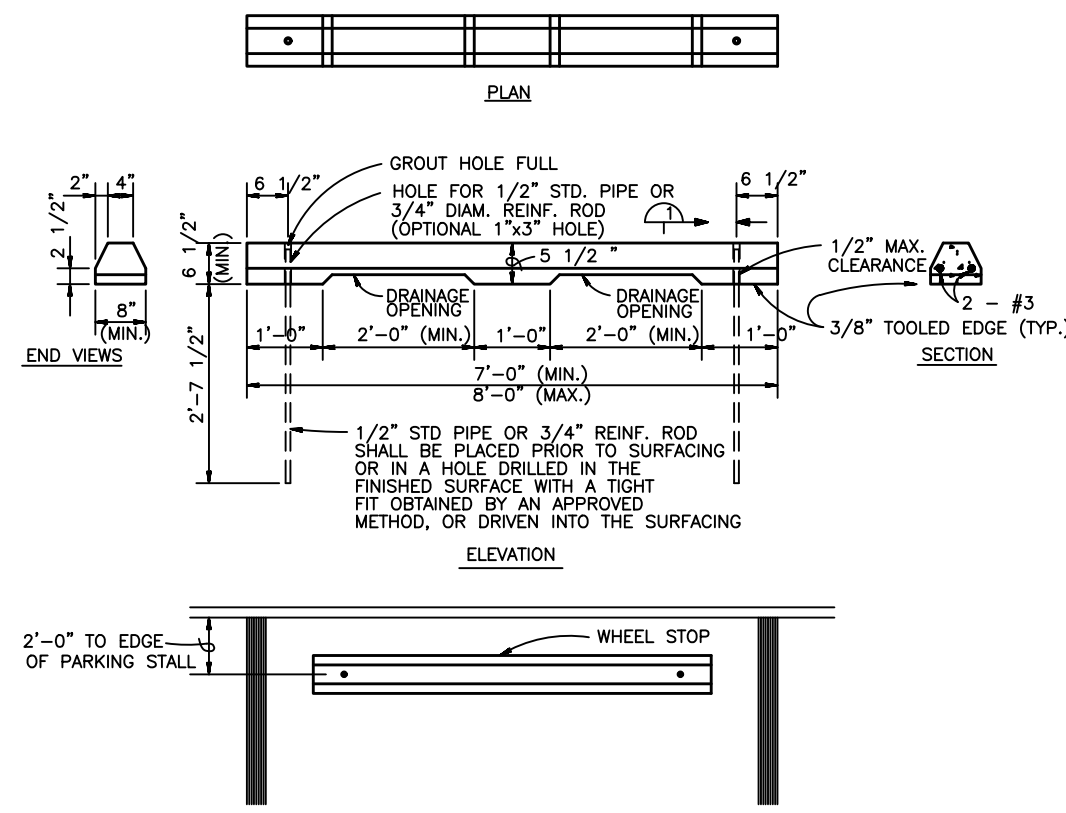
VICINITY MAP - Zone Atlas Page H-16
Legal Desc: Lots 11-13, Blk 1, N. Aliso Add'n, 0.4949 Acres

KEYED NOTES

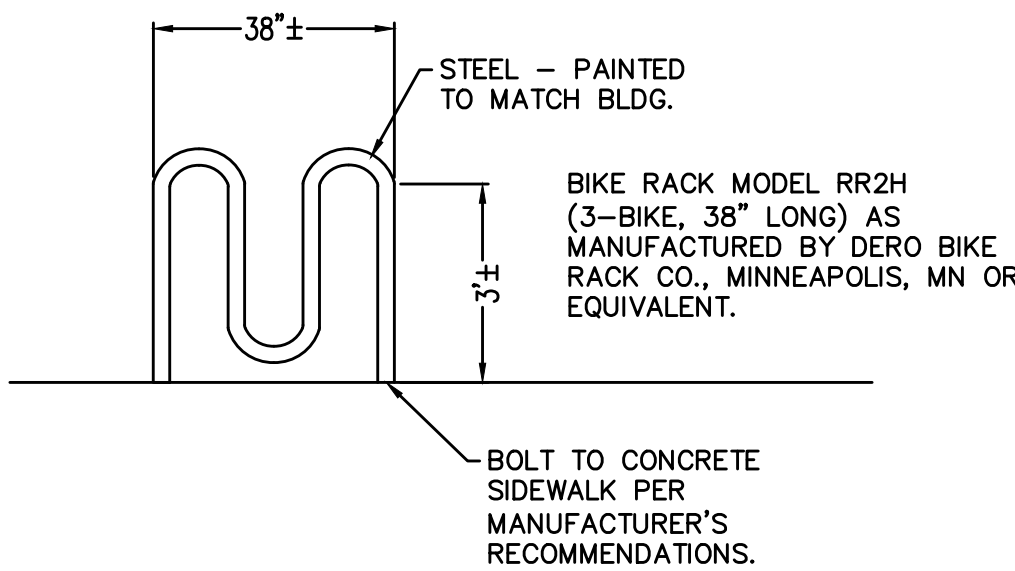
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In-Line Wheelchair Ramp



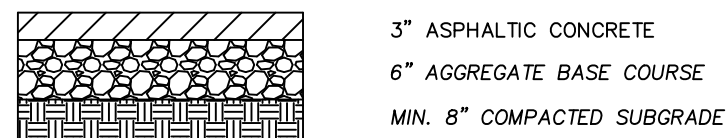
Precast Concrete Wheel Stop Detail



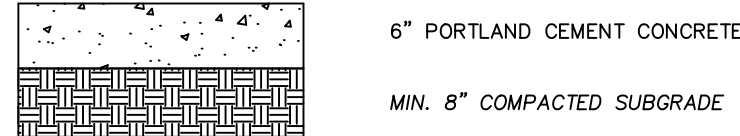
Bike Rack Detail

NTS

PARKING AREA PAVEMENT (PARKING AND DRIVE LANES)



CONCRETE PAVEMENT (DUMPSTER PAD AND APRON)



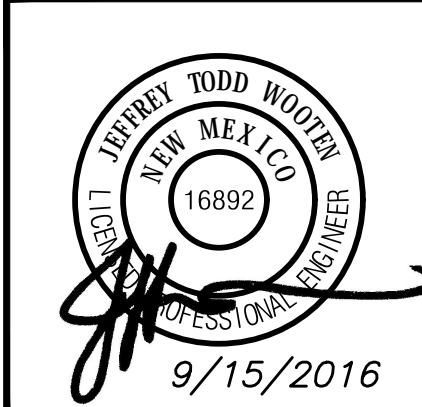
NOTE: REFERENCE GEOTECHNICAL REPORT BY GEO-TEST, INC. DATED 5/13/2016 FOR ADDITIONAL DETAILS AND SPECIFICATIONS OF PAVEMENT/SUBGRADE.

Pavement Sections

Wooten Engineering
1005 21st St SE, Suite A5
Rio Rancho, N.M. 87124
Phone: (505) 980-3560

REV	DATE	BY	REVISION
1	9/2/2016	JEFF WOOTEN	ISSUED FOR PERMIT
2	9/2/2016	JEFF WOOTEN	REVISED PER COMMENTS
3	9/2/2016	JEFF WOOTEN	REVISED PER COMMENTS
4	9/2/2016	JEFF WOOTEN	REVISED PER COMMENTS
5	9/2/2016	JEFF WOOTEN	REVISED PER COMMENTS

MODULUS ARCHITECTS
100 SUN AVENUE N.E., Ste 305
ALBUQUERQUE, NEW MEXICO 87109
PHONE (505) 338-1499 FAX (505) 338-1498



PROJECT TITLE T-Mobile Building 2706 CARLISLE BLVD NE ALBUQUERQUE, NEW MEXICO 87107		DRAWN BY: JEFF WOOTEN	
PROJECT MANAGER JEFF WOOTEN		JOB NO. 2016013	
SHEET TITLE Engineering Site Plan		DATE: 9/2/2016	
SCALE: AS NOTED		SHEET NO. C1.1	