

CITY OF ALBUQUERQUE



August 22, 2017

Masterworks Architects Inc.
Jim Clark
516 11th St. NW
Albuquerque, NM 87102

Re: GS 4th LLC
2204 Menaul Blvd NE
Traffic Circulation Layout
Architect's Stamp 08-21-17 (H16-D150)

Dear Mr. Clark,

Based upon the information provided in your submittal received 08-16-17, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. Please show a vicinity map showing the location of the development in relation to streets and well known landmarks. The map on the TCL should show the nearest cross street.
2. List the number of parking spaces required by the zoning code as well as the proposed number of parking spaces including bicycle and motorcycle parking. The parking calculations for the restaurant do not follow the requirements in the zoning code, please revise.
3. Please list the width and length for all existing and proposed parking spaces. Some dimensions are not shown. Parallel parking should follow the DPM requirements. The motor cycle and employee parking spaces are missing dimensions.
4. Show all drive aisle widths and radii. Some dimensions are not shown. Dimension the width from the back and sides of the building to the edge of usable pavement.
5. Per DPM, a 6 ft. wide ADA accessible pedestrian pathway is required from the HC parking stall access aisles to the building entrances. Please clearly show this pathway and provide details. Please show the ADA path from the accessible parking to the entrance with slope limits.
6. Service vehicle and/or refuse vehicle maneuvering must be contained on-site; provide a copy of refuse approval.
7. One-way vehicular paths require pavement directional signage and a posted **"Do Not Enter"** sign at the point of egress. Please show detail and location of posted signs.

PO Box 1293

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New Mexico 87103

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8. Add a note stating "All broken or cracked sidewalk must be replaced with sidewalk and curb & gutter." A build note must be provided referring to the appropriate City Standard drawing.
9. We would like to see curbing around the parking at the north front of the site. Especially by the pedestrian connection.

Resubmit a revised plan along with fully completed Drainage Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. PDF copies of the plans and submittal package must be emailed to PLNDRS@cabq.gov at time of resubmittal. If you have any questions, please contact Monica Ortiz (505) 924-3981 or me at 924-3630.

Sincerely,

Logan Patz
Senior Engineer, Planning Dept.
Development Review Services

PO Box 1293

LWP via: email
C: CO Clerk, File

Albuquerque

New Mexico 87103

www.cabq.gov



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2016)

Project Title: GS 4th LLC Building Permit #: _____ Hydrology File# H16D150
DRB#: _____ EPC# _____ Work Order# _____
Legal Description: Lot DR; Block 0000; Subdivision Netherwood Park
City Address: 2204 Menaul Blvd, NE, 87107

Applicant: Masterworks Architects Inc Contact: Jim Clark
Address: 516 11th St. NW, Albuquerque, NM 87102
Phone#: 505-242-1866 Fax#: NA E-mail: MWArchitect@comcast.net

Other Contact: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

Check all that Apply:

DEPARTMENT:

☐ HYDROLOGY/DRAINAGE
☒ TRAFFIC/TRANSPORTATION

TYPE OF SUBMITTAL:

☐ ENGINEER/ARCHITECT CERTIFICATION
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR
☒ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ OTHER (SPECIFY) _____
☐ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY
☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB 'D' APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR

IS THIS A RESUBMITTAL?: ☐ Yes ☒ No ☐ OTHER (Specify) _____

DATE SUBMITTED: 16 Aug. 17 By: James B Clark, agent MW Architects

COA STAFF

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

BUILDING CODE REQUIREMENTS - I.B.C. 2015 - TENANT IMPROVEMENTS
- I.E.B.C. 2015 - ALTERATION

TOTAL BUILDING FLOOR AREA: 885 SF
THIS SPACE FLOOR AREA: 885 SF (SECTION 1002.1)

PHASE I - SCOPE OF WORK:

PREPARATION OF EXISTING UNOCCUPIED BUILDING WITH "WARM SHELL" IMPROVEMENTS INCLUDING COMPLETE REMOVAL AND REPLACEMENT OF EXISTING ROOF AND ROOF FRAMING, CONSTRUCTION OF NEW FACADE, REBUILD TOILET ROOM TO ADA STANDARDS, INSTALL NEW HVAC RTU w/o DUCTWORK, INSTALL NEW FLOOR SINKS, APPLY ASPHALT OVERLAY ON ALL EXISTING PAVEMENT AND CONSTRUCTION OF NEW DUMPSTER ENCLOSURE.

EXISTING BUILDING ALTERATION: LEVEL 3 - WORK AREA = ENTIRE BUILDING (Table 1015.1)

OCCUPIED FLOOR AREAS:
OCCUPANCY GROUP: FLOOR AREAS: ALLOWABLE OCCUPANTS:
A-2 DINING 150 NSF 10 PERSONS @ 1/15 NET SF (Table 1004.1.1)
F-1 KITCHEN 735 GSF 4 PERSONS @ 200 GROSS SF
TOTAL OCCUPANTS 14 PERSONS

EXIT REQUIREMENTS:

TOTAL OCCUPANTS: 14 PERSONS 1 EXIT REQD; 1 EXIT PROVIDED (Table 1015.1)

EXIT TRAVEL DISTANCE: 300' ALLOWED; 100' MAX ACTUAL (Table 1016.1)

OCCUPANCY SEPARATIONS: NONE REQUIRED NON-SEPARATED OCCUPANCY (Section 508.3.2)

BUILDING TYPES AND AREAS:

CONSTRUCTION TYPE V-B: CMU EXTERIOR WALLS w/ WOOD FRAMED ROOF (Section 602.5)
ALLOWABLE BUILDING AREA: 6,000 GSF (BASED ON A-2 OCCUPANCY - MOST RESTRICTIVE) (Table 503)
SEISMIC DESIGN CATEGORY: D (Section 1613.5.6)
OCCUPANCY CATEGORY: II (Table 1604.5)

FIRE PROTECTION:

BUILDING ELEMENTS -
FIRE RESISTANCE RATINGS: NONE REQUIRED (Table 601)
EXTERIOR WALL RATINGS: SEPARATION DISTANCE > 30' = NONE REQUIRED (Table 602)
TYPE I & II MATERIALS: NOT APPLICABLE (Section 603)
PORTABLE FIRE EXTINGUISHERS: 1 PROVIDED: 2A10BC @ 1/3000 SF and 75' MAX. TRAVEL (I.F.C. Table 906.3)

PLUMBING FIXTURES:

OCCUPANCY	MALE	FEMALE	DRINKING FOUNTAIN	SERVICE SINK
TOTAL OCCUPANTS	15 PERSONS	15 PERSONS	*NOTE	1 EACH
FIXTURES REQUIRED:	UNISEX TOILET ROOM	UNISEX TOILET ROOM	*NOTE	1 EACH
FIXTURES PROVIDED:	UNISEX TOILET ROOM	UNISEX TOILET ROOM	*NOTE	1 EACH

*DRINKING FOUNTAIN NOT REQUIRED WHEN WATER IS AVAILABLE UPON REQUEST



CANOPY, PUMPS & TANKS
HAVE BEEN REMOVED

PROJECT LOCATION

2 A1 EXISTING SITE AERIAL PHOTO

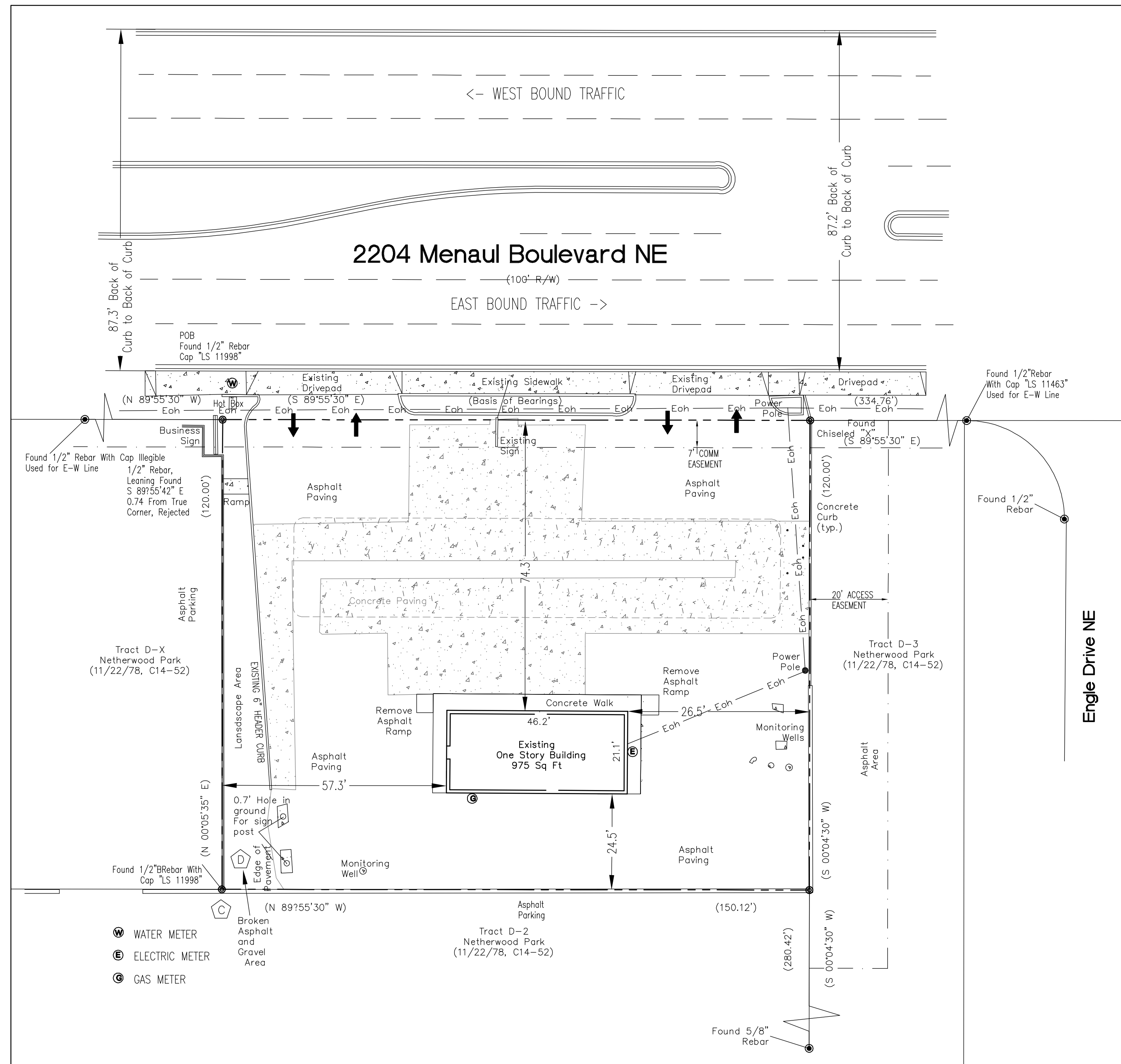
NO SCALE

PARKING REQUIREMENTS

REQUIRED PARKING CALCULATIONS:
DINING ROOM 200 SEATS / 4 = 5 SPACES
FOOD PREP AREA 585 SF / 200 = 3 SPACES
TOTAL SPACES PROVIDED = 10 SPACES
ACCESSIBLE SPACE INCLUDED IN TOTAL 1 SPACE
MOTORCYCLE SPACES PROVIDED = 2 SPACES
BICYCLE SPACES PROVIDED = 2 SPACES

LANDSCAPE REQUIREMENTS

ALL LANDSCAPING IS EXISTING 1,171 SF PLANTING AREAS



1 A1 EXISTING SITE CONDITIONS PLAN

SEE ATTACHED BOUNDARY & ALTA/NSPS LAND TITLE SURVEY FOR ADDITIONAL INFORMATION

SCALE: 1" = 20'-0"

HALF SCALE PLOT
SCALE: 1" = 40.0'

MASTERWORKS ARCHITECTS, INC
516 ELEVENTH ST NW 242-1866
ALBUQUERQUE, NEW MEXICO 87102

FILE # 1723CARCH
21 AUG 2017

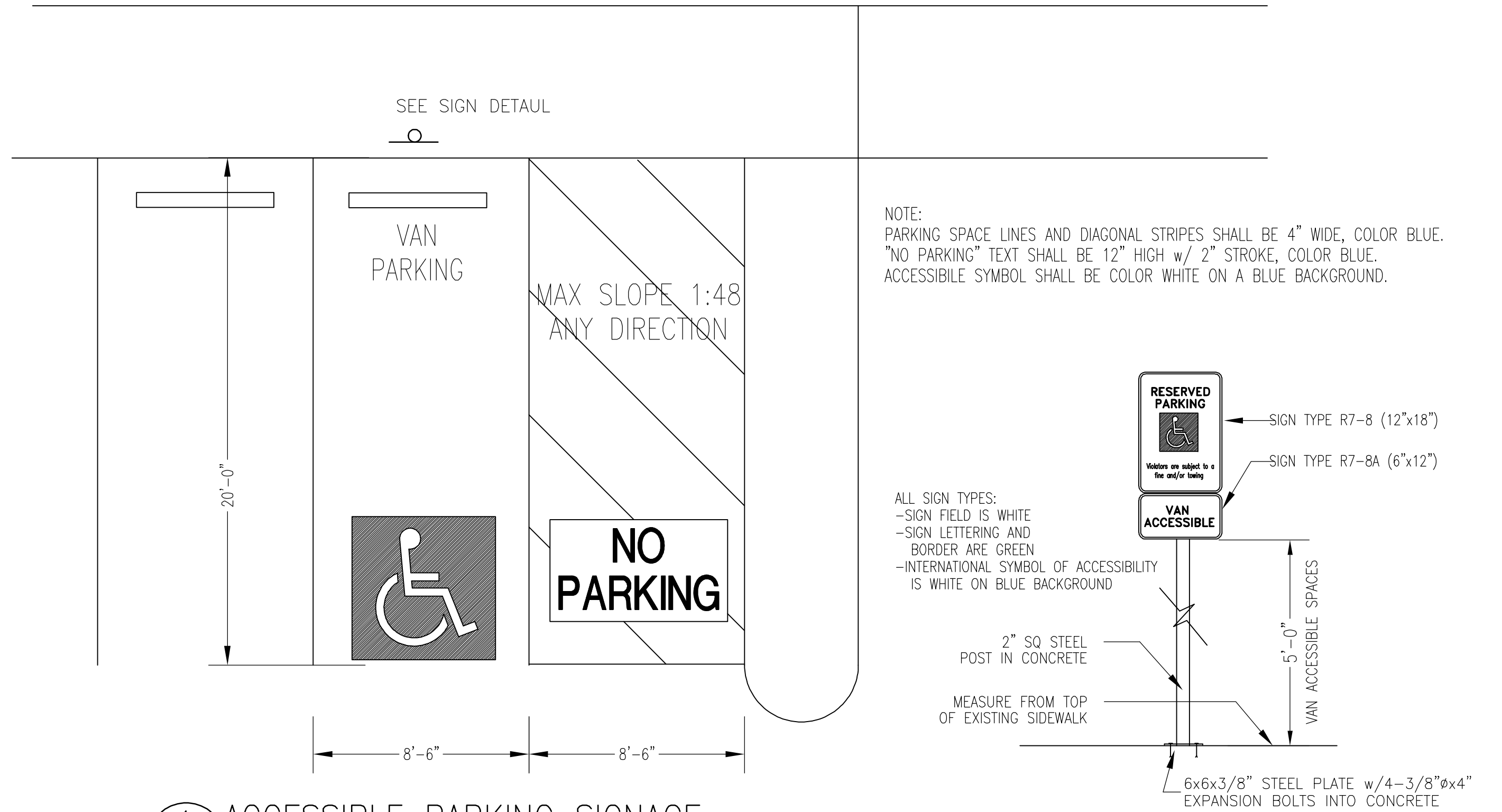
JAMES BENJAMIN CLARK III
1047
REGISTERED ARCHITECT

BUILDING SHELL IMPROVEMENTS
GS 4th LLC
2204 MENAUL BLVD, NE
ALBUQUERQUE, NM 87107

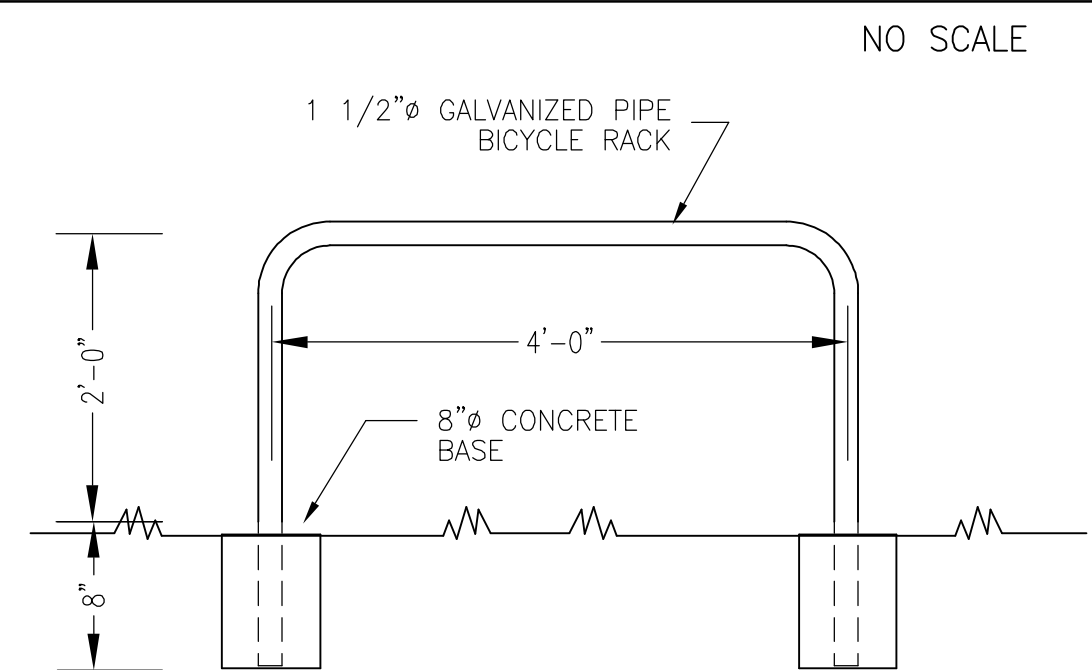
TCL SUBMITTAL
SITE LAYOUT PLAN
CODE ANALYSIS

A1

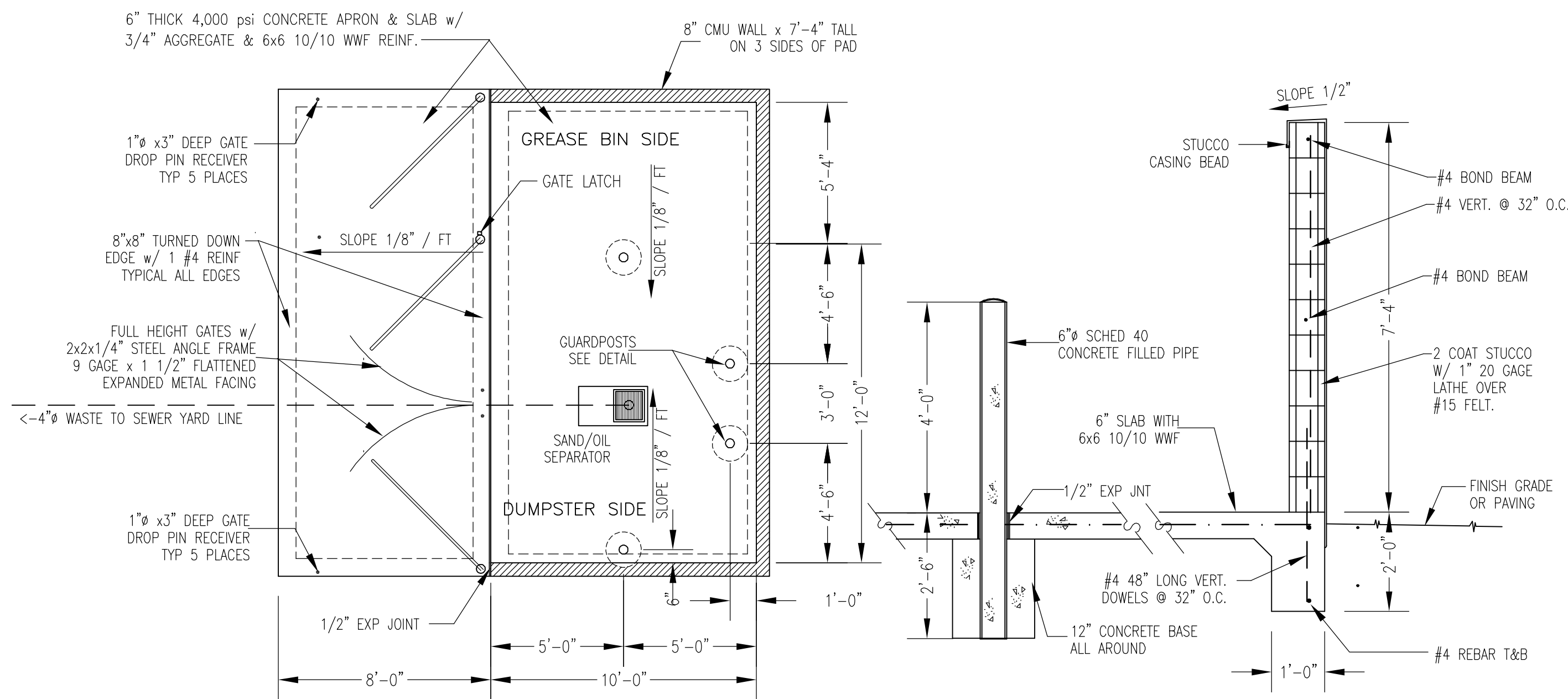
SHEET 1 OF 2



4 ACCESSIBLE PARKING SIGNAGE
A1a

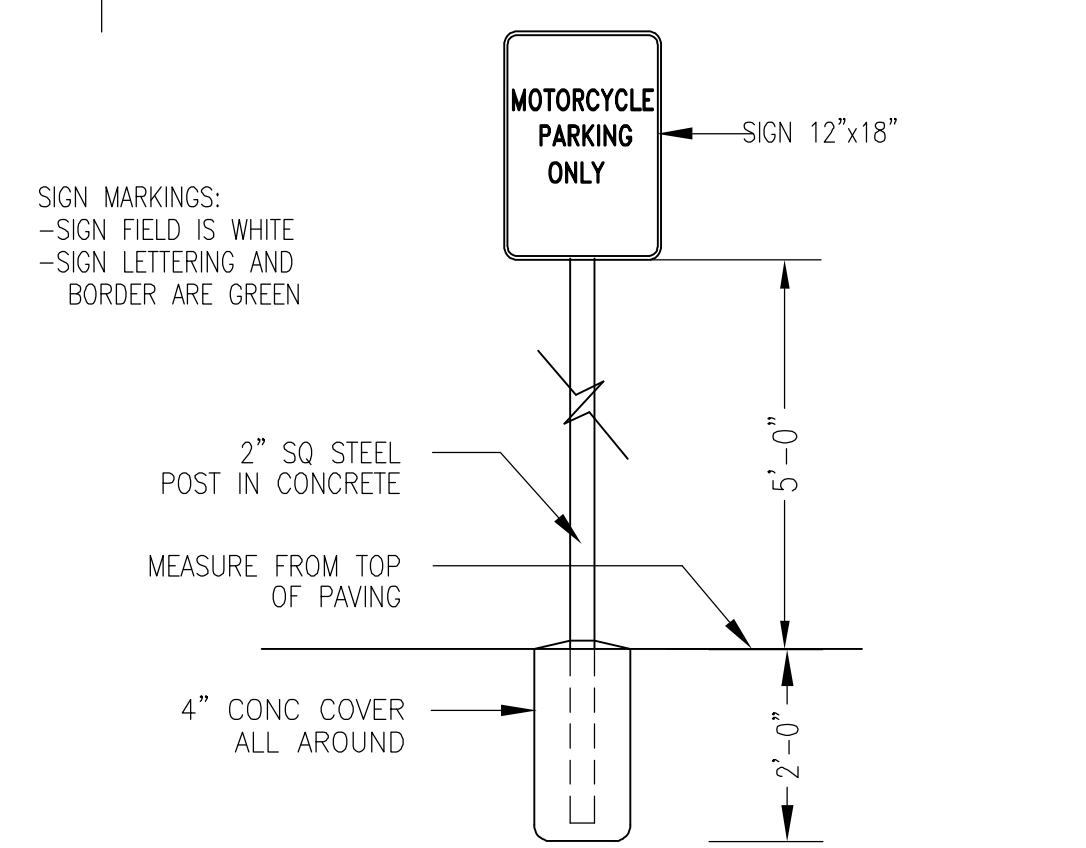


3 BIKE RACK DETAIL
A1a SCALE: 3/4" = 1'-0"



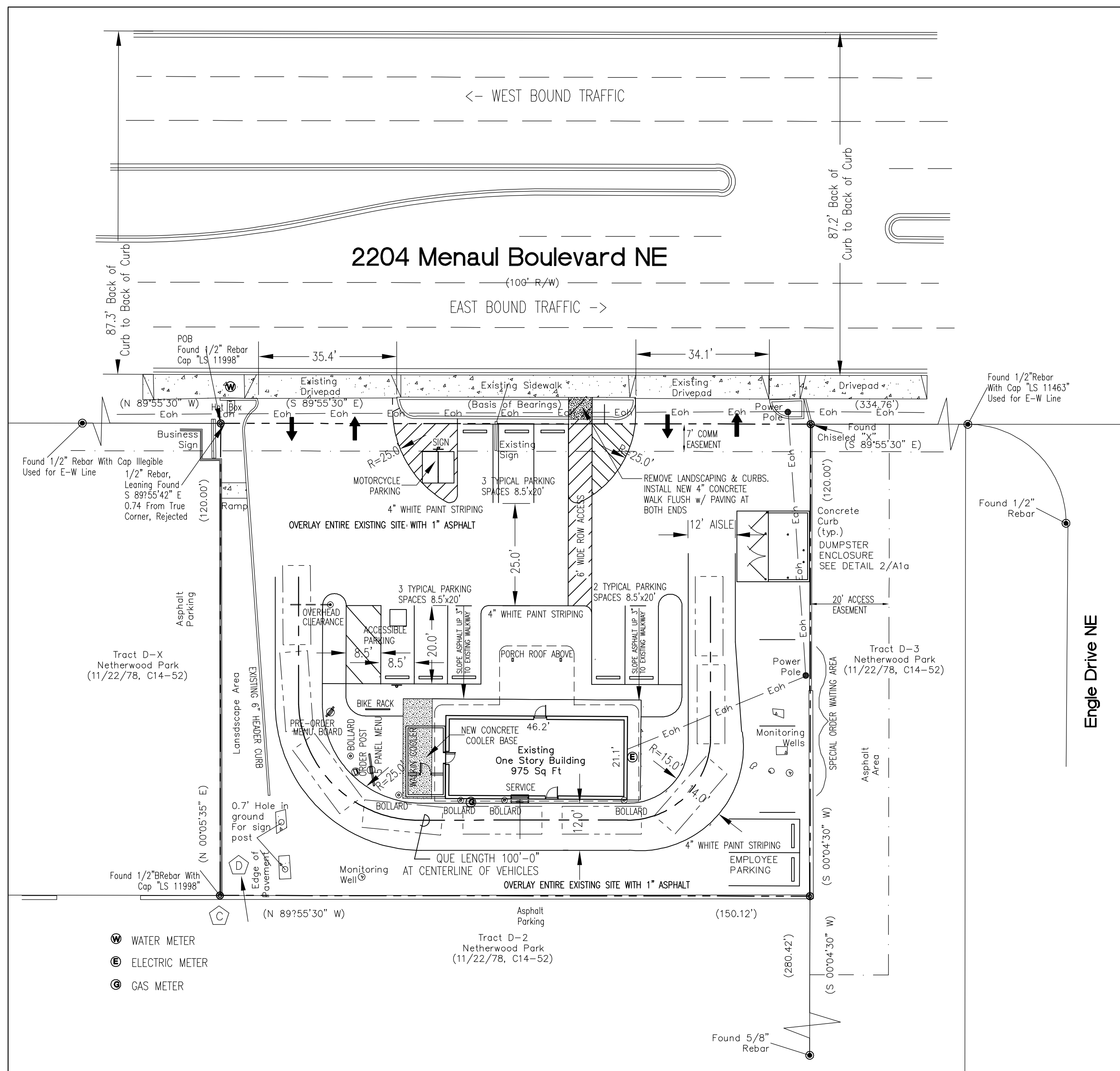
2 DUMPSTER ENCLOSURE PLAN
A1a

SCALE: 1/4" & 1/2" = 1'-0"



5 MOTORCYCLE PARKING SIGN
A1a NO SCALE

PARKING REQUIREMENTS			
REQUIRED PARKING CALCULATIONS:			
DINING ROOM	200 SEATS / 4 =	5 SPACES	
FOOD PREP AREA	585 SF / 200 =	3 SPACES	
TOTAL SPACES PROVIDED =		10 SPACES	
ACCESSIBLE SPACE INCLUDED IN TOTAL		1 SPACE	
MOTORCYCLE SPACES PROVIDED =		2 SPACES	
BICYCLE SPACES PROVIDED =		2 SPACES	



1 TRAFFIC CIRCULATION PLAN
A1a SEE ATTACHED BOUNDARY & ALTA/NSPS LAND TITLE SURVEYS FOR ADDITIONAL INFORMATION

SCALE: 1" = 20'-0"