

CITY OF ALBUQUERQUE



November 1, 2017

Del Paul Jack, RA
Del Paul Jack Architect
3805 Tonkawa Trail, Austin, TX
Austin, TX 78756

Re: Sandia Acrobatic Gymnastics Academy
3400 Candelaria Rd. NE
Traffic Circulation Layout
Architect's Stamp 10-18-17 (H16D152)

Dear Mr. Jack,

Based upon the information provided in your submittal received 10-24-17, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. Please show a vicinity map showing the location of the development in relation to streets and well known landmarks.
2. Label the compact parking spaces by placing the words "**COMPACT**" on the pavement of each space.
3. Dimension the widths on all drive entrances and parking access aisles some dimensions are not shown.
4. List radii for all curves shown; for passenger vehicles, the minimum end island radius for passenger vehicles is 15 ft. Radius for delivery trucks, fire trucks, etc. is 25 ft. or larger.
5. Per DPM, a 6 ft. wide ADA accessible pedestrian pathway is required from the HC parking stall access aisles to the building entrances. Please clearly show this pathway and provide details. Also show the ADA ramps from the ADA access aisles to the building entrances.
6. Please provide the locations of the ADA signs for the ADA parking spaces.
7. Please define "M" that located on the northeast side of the building.
8. On-Street parking credit to fulfill zoning's parking requirement must be requested and approved by the Traffic Engineer, Racquel Michel prior to TCL approval. The application requires at least 45 working days. On-street parking credit is based on available parking along public right-of-ways fronting the property. The business will only be granted 50% credit for available street parking.
9. Unused curb cuts must be replaced with sidewalk and curb & gutter. A build note must be provided referring to the appropriate City Standard drawing.

PO Box 1293

Albuquerque

NM 87103

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10. Motorcycle parking spaces shall be designated by its own conspicuously posted upright sign, either free-standing or wall mounted per the zoning code.
11. The angled parking on the south side of the site looks too small, please follow the DPM for angled parking and provide the angle of the parking space.
12. One-way vehicular paths require pavement directional signage and a posted **"Do Not Enter"** sign at the point of egress. Please show detail and location of posted signs. The access aisles for the parking on the south of the site are too small for two way traffic.
13. Service vehicle and/or refuse vehicle maneuvering must be contained on-site; provide a copy of refuse approval.

Resubmit a revised plan along with fully completed Drainage Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. PDF copies of the plans and submittal package must be emailed to PLNDRS@cabq.gov at time of resubmittal. If you have any questions, please contact me at 924-3630.

Sincerely,

Logan Patz
Senior Engineer, Planning Dept.
Development Review Services

Marwa Al-Najjar

PO Box 1293

Albuquerque

NM 87103

MA/LP via: email
C: CO Clerk, File

www.cabq.gov



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: SANDIA ACROBATIC GYMNASTICS ACADEMY Building Permit #: _____ City Drainage #: H16D152

DRB#: ~ EPC#: ~ Work Order#: ~

Legal Description: _____

City Address: 3400 CANDELARIA ROAD N.E., ALBUQUERQUE, NEW MEXICO

Engineering Firm: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Owner: ERIN RICE Contact: _____

Address: 3400 CANDELARIA ROAD NE, ALBUQUERQUE, NEW MEXICO

Phone#: _____ Fax#: _____ E-mail: _____

Architect: DEL PAUL JACK Contact: DEL JACK

Address: 3805 TONKAWA TRAIL - UNIT A, AUSTIN, TEXAS 78756

Phone#: 505 235 2670 Fax#: ~ E-mail: del paul jack@yahoo.com

Other Contact: R.C. BALDONADO Contact: _____

Address: _____

Phone#: 505-720-5180 Fax#: ~ E-mail: _____

Check all that Apply:

DEPARTMENT:

- ☐ HYDROLOGY/ DRAINAGE
☒ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY
☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR

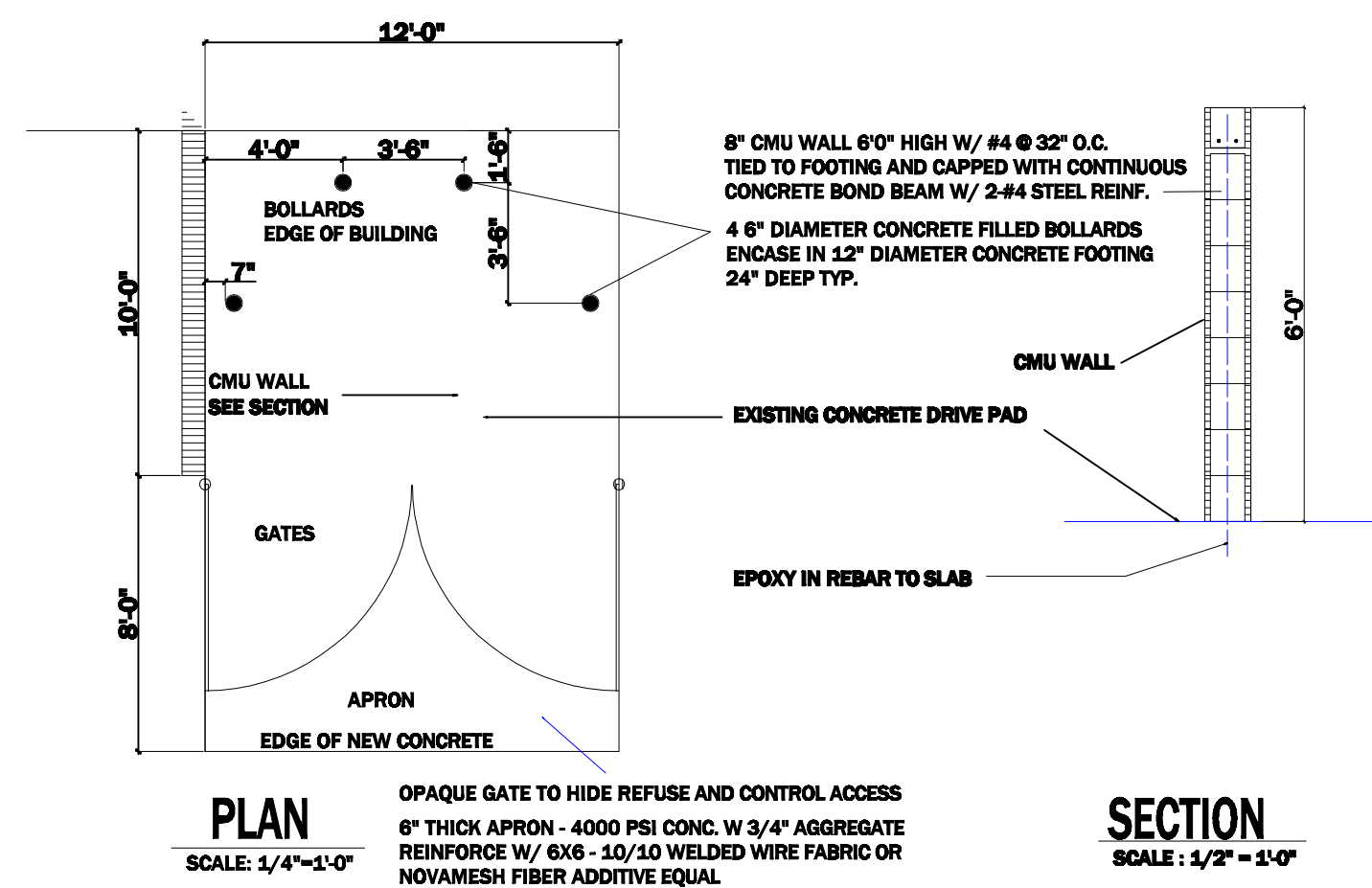
TYPE OF SUBMITTAL:

- ☐ ENGINEER/ ARCHITECT CERTIFICATION
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR
☒ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
☐ OTHER (SPECIFY) _____

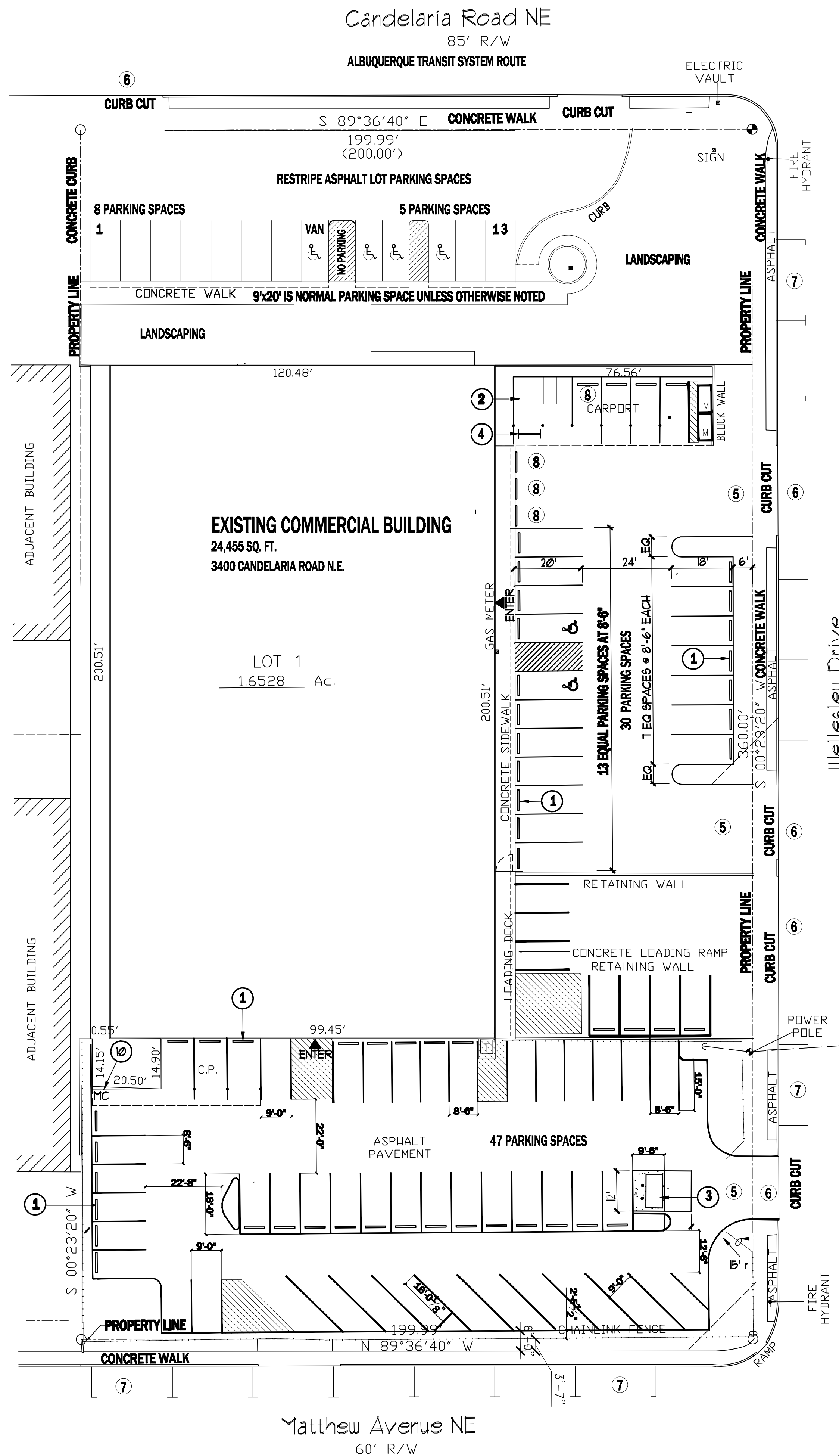
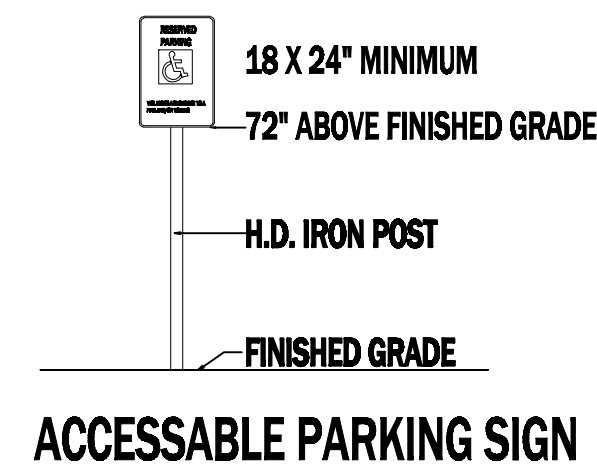
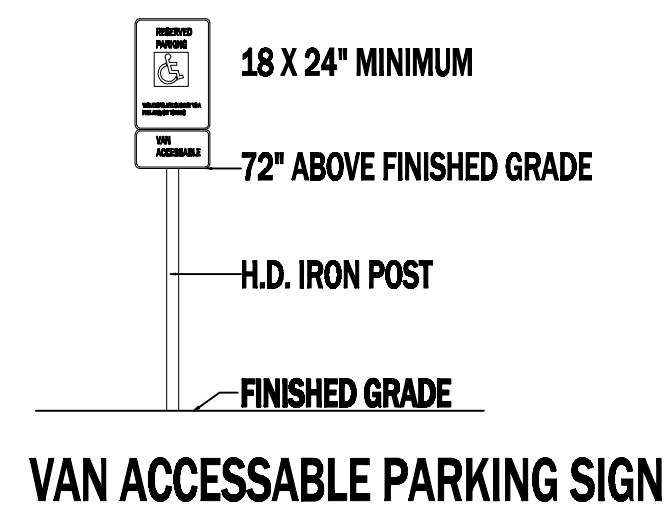
IS THIS A RESUBMITTAL?: ☐ Yes ☒ No

DATE SUBMITTED: 10.24.2017 By: DEL JACK

COA STAFF: _____ ELECTRONIC SUBMITTAL RECEIVED: _____



TRASH ENCLOSURE DETAILS



TRAFFIC CIRCULATION LAYOUT for EXISTING CONDITIONS

KEYED NOTES

- 1 ANCHORED CONCRETE PARKING BUMPER
- 2 COVERED MOTORCYCLE PARKING SPACE FOR 4
- 3 DUMPSTER ENCLOSURE PER CITY OF ALBUQUERQUE SOLID WASTE DEPARTMENT STANDARDS
- 4 BICYCLE RACK FOR 5 - MINIMUM
- 5 ALL TURNING RADII TO BE 15'-0"
- 6 ACCESS POINT FOR PARKING LOT
- 7 EXISTING ON STREET PARKING
- 8 SMALL CAR SPACE @ 8' x 15' + 18" OVERHANG

GENERAL NOTES

LEGAL DESCRIPTION FOR 3400 CANDELARIA ROAD N.E.
LOT 1, BLOCK 9, LAND OF THE ESTATE OF ANITA OSUNA CARR

PROPOSED GYMNASIAC FACILITY FOR YOUTH ATHLETIC DEVELOPMENT.
TENANT IMPROVEMENT TO INTERIOR ONLY - NO EXTERIOR WORK EXCEPT FOR RESTRIPIING PARKING AREAS AND MAINTENANCE CLEANUP.

1.65 ACRE LOT WITH 24,455 S.F. BUILDING - APPROX. 92% AVAILABLE USABLE FLOOR AREA FOR FACILITY

CALCULATED PARKING SPACES PER ZONING CODE

EXERCISE: 297 OCCUPANTS - 1 PER 300SF = 102

WAREHOUSING STORAGE: 1 PER 2000 = 4

TOTAL = 106 SPACES

10% TRANSIT ROUTE DISCOUNT = 10 SPACES

PARKING REQUIRED = 96 SPACES - PARKING PROVIDED = 97 +

13 ON STREET PARKING SPACES AVAILABLE

SMALL CAR SPACES ALLOWED AT ONE THIRD OF TOTAL REQUIRED = 34

COMMUNITY SUMMARY OF PROJECT

THIS PROJECT IS IN THE BUSINESS NEIGHBORHOOD WEST AND NEAR THE CANDELARIA - CARLISLE INTERSECTION - TO THE NORTH IS THE ARTERIAL CANDELARIA ROAD POPULATED WITH LIGHT COMMERCIAL USE BOTH SIDES - TO THE EAST IS A HIGHER DENSITY MANUFACTURED HOME COMMUNITY THE BACK OF THIS COMMUNITY FACES THE GYMNASIACS FACILITY WITH A CONTINUOUS CONCRETE BLOCK WALL AND WITHOUT ACCESS TO WELLESLEY DRIVE AS THE COMMON STREET - TO THE SOUTH MATHEW STREET IS POPULATED BY COMMERCIAL OR LIGHT INDUSTRIAL DAYTIME USES - THE ADJACENT NEIGHBORS TO THE WEST ARE ALSO COMMERCIAL OR LIGHT INDUSTRIAL DAY USE. TRAFFIC USE WILL NOT LIKELY SEE A SIGNIFICANT PERCENTAGE INCREASE IN TRAFFIC COUNT DURING DAYLIGHT HOURS - THIS WOULD INCREASE THE EXPOSURE OF NEARBY RETAIL COMMERCIAL ESTABLISHMENTS - THIS IS NORMALLY A DESIRED IMPROVEMENT - HOWEVER EVENING USE BY THIS FACILITY AFTER NORMAL COMMERCIAL BUSINESSES HOURS WOULD BE A CHANGE AND BE A MINOR INCREASE IN THE MATHEW AVENUE TRAFFIC COUNT ON THE SOUTH - A POSITIVE MIGHT BE MORE EYES ON THE STREET TO IMPACT ANY SUSPICIOUS ACTIVITIES - NO DAILY DELIVERY TRUCK TRAFFIC IS ANTICIPATED AS THIS NOT A RETAIL OR MERCANTILE USE

SANDIA ACROBATIC GYMNASIACS ACADEMY
3400 CANDELARIA RD NE ALBUQUERQUE, NM

DEL PAUL JACK ARCHITECT
ALBUQUERQUE, NEW MEXICO
505 235 2670

