

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

August 30, 2023

Scott McGee, P.E.
9700 Sand Verbena Trail NE
Albuquerque, NM 87122

**RE: Johnstone Supply Warehouse
2624 Vassar Dr. NE
Grading & Drainage Plan
Engineer's Stamp Date: 07/11/23
Hydrology File: H16D155**

Dear Mr. McGee:

Based upon the information provided in your submittal received 08/07/2023, the Grading & Drainage Plan is approved for Building Permit, Grading Permit, and SO-19 Permit. Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter.

PO Box 1293

PRIOR TO CERTIFICATE OF OCCUPANCY:

Albuquerque

1. Engineer's Certification, per the DPM Part 6-14 (F): *Engineer's Certification Checklist For Non-Subdivision* is required.

NM 87103

2. Please provide the executed paper Drainage Covenant (latest revision) printed on one-side only with Exhibit A and a check for **\$25.00** made out to "**Bernalillo County**" for the stormwater quality pond per Article 6-15(C) of the DPM to Hydrology for review at Plaza de Sol.

www.cabq.gov

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 924-3420) 14 days prior to any earth disturbance.

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Sincerely,

Renée C. Brissette

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 10/2018)

Project Title: _____ **Building Permit #:** _____ **Hydrology File #:** _____

DRB#: _____ **EPC#:** _____ **Work Order#:** _____

Legal Description: _____

City Address: _____

Applicant: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Other Contact: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

TYPE OF DEVELOPMENT: _____ PLAT (# of lots) _____ RESIDENCE _____ DRB SITE _____ ADMIN SITE

IS THIS A RESUBMITTAL? _____ Yes _____ No

DEPARTMENT: _____ TRAFFIC/TRANSPORTATION _____ HYDROLOGY/DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- _____ ENGINEER/ARCHITECT CERTIFICATION
- _____ PAD CERTIFICATION
- _____ CONCEPTUAL G & D PLAN
- _____ GRADING PLAN
- _____ DRAINAGE MASTER PLAN
- _____ DRAINAGE REPORT
- _____ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- _____ ELEVATION CERTIFICATE
- _____ CLOMR/LOMR
- _____ TRAFFIC CIRCULATION LAYOUT (TCL)
- _____ TRAFFIC IMPACT STUDY (TIS)
- _____ OTHER (SPECIFY) _____
- _____ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- _____ BUILDING PERMIT APPROVAL
- _____ CERTIFICATE OF OCCUPANCY
- _____ PRELIMINARY PLAT APPROVAL
- _____ SITE PLAN FOR SUB'D APPROVAL
- _____ SITE PLAN FOR BLDG. PERMIT APPROVAL
- _____ FINAL PLAT APPROVAL
- _____ SIA/ RELEASE OF FINANCIAL GUARANTEE
- _____ FOUNDATION PERMIT APPROVAL
- _____ GRADING PERMIT APPROVAL
- _____ SO-19 APPROVAL
- _____ PAVING PERMIT APPROVAL
- _____ GRADING/ PAD CERTIFICATION
- _____ WORK ORDER APPROVAL
- _____ CLOMR/LOMR
- _____ FLOODPLAIN DEVELOPMENT PERMIT
- _____ OTHER (SPECIFY) _____

DATE SUBMITTED: _____ **By:** _____

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

- Build sidewalk culvert per COA STD DWG 2236. Work is permitted and inspected by DMD Construction Services Division.
- An excavation permit will be required before beginning any work within City Right-Of-Way.
- All work on this project shall be performed in accordance with applicable federal, state and local laws, rules and regulations concerning construction safety and health.
- Prior to any excavation, the contractor must contact New Mexico One Call, dial "811" or (505) 260-1990 for the location of existing utilities.
- Prior to construction, the contractor shall excavate and verify the locations of all obstructions. Should a conflict exist, the contractor shall notify the engineer so that the conflict can be resolved with a minimum amount of delay.
- Backfill compaction shall be 95%.
- Maintenance of the facility shall be the responsibility of the owner of the property being served.
- Work on arterial streets may be required on a 24-hour basis.
- For excavation and barricading inspections, contact DMD Construction Services Division.

H-16

EXISTING CONSTRUCTION
NEW CONTOUR
PROPOSED BUILDING FINISH FLOOR ELEV
NEW SPOT ELEVATION
NEW CONSTRUCTION
ROOF DRAIN
TOP OF CURB
TOP OF WALL
TOP OF ASPHALT

1. SIDE SLOPES NEED TO BE STABILIZED WITH NATIVE GRASS SEED (PER CITY SPEC 1012) WITH 3" DEPTH AGGREGATE MULCH OR EQUAL (MUST SATISFY THE "FINAL STABILIZATION" CGP 2.2.14.b.).
2. INSTALL 12" SIDEWALK CULVERT PER COA STD DWG NO 2236.

ADDRESS: 2624 Vassar Drive NE, Albuquerque, NM
SITE AREA: 44,970 SF (1.03 AC)
PROJECT AREA: 177.2 x 230' = 40,756 SF (0.936 AC)

BENCHMARK: City of Albuquerque BM 'I-40-12' being a brass disc
ELEV= 5117.289 (NAVD 1988)

SURVEYOR: Terra Land Surveys, LLC dated March, 2023

PRECIPITATION ZONE: 2

FLOOD HAZARD: FEMA Map 35001C0351H (8/16/12), identifies this site is within Zone 'X' which is located outside the 0.2% annual chance floodplain.

EXISTING CONDITIONS: The site is an existing dirt and asphalt paved storage area that slopes down from the northeast to the southwest. It currently freely discharges to Vassar Drive NE.

OFFSITE FLOW: No offsite flows enter this site.

PROPOSED IMPROVEMENTS: The proposed improvements include a 15,000 SF storage building, paved access drives and parking, and associated landscaping.

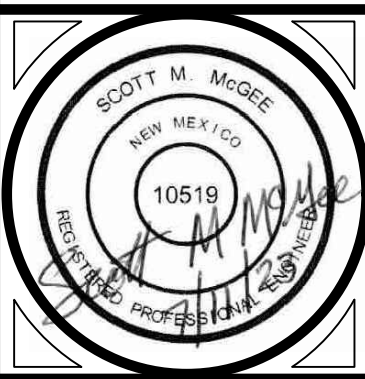
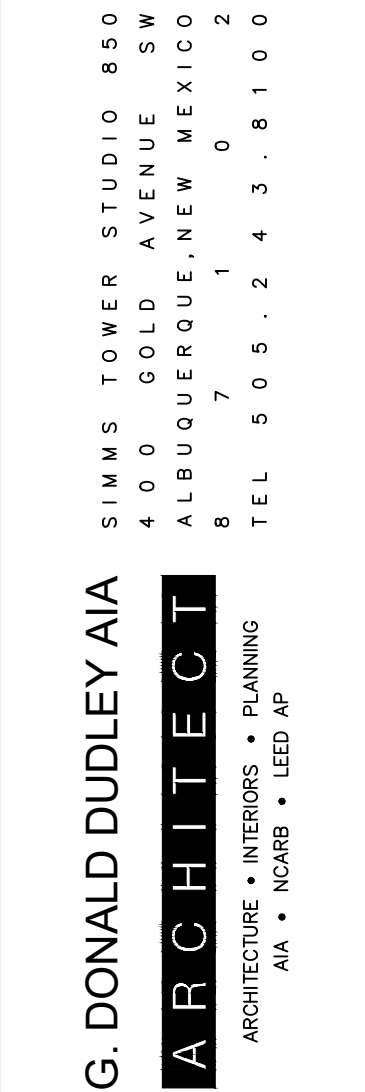
DRAINAGE APPROACH: The site drainage pattern will direct developed roof flow and the north drive to the west side of the building to a SWQ pond. The new paving along the east side of the building will be accepted by a new inlet and piped to a SWQ pond located at the SE corner of the building. Site runoff will continue to discharge to Vassa Drive.

Existing land treatment: 100% C Precipitation Zone: 2
 $Q = (3.05)(0.936) = 2.8 \text{ CFS}$

Proposed land treatment: 13% C and 87% D
 $Q = [(0.13)(3.05) + (0.87)(4.34)](0.936) = 3.9 \text{ CFS}$

Redevelopment SWQ $V = (35,450)(0.26/12) = 768$ CF

The proposed landscape area west of the building is depressed to contain the volume for the site's SWQ V= 770 CF. Site runoff will be mitigated and there will be no adverse impact on downstream drainage facilities.



**JOHNSTONE
SUPPLY
... WAREHOUSE**

2624 Vassar Dr NE
Albuquerque, New Mexico 87107

[illegible]

GDDA PROJECT NO: 22-122

DATE: 7/14/2023

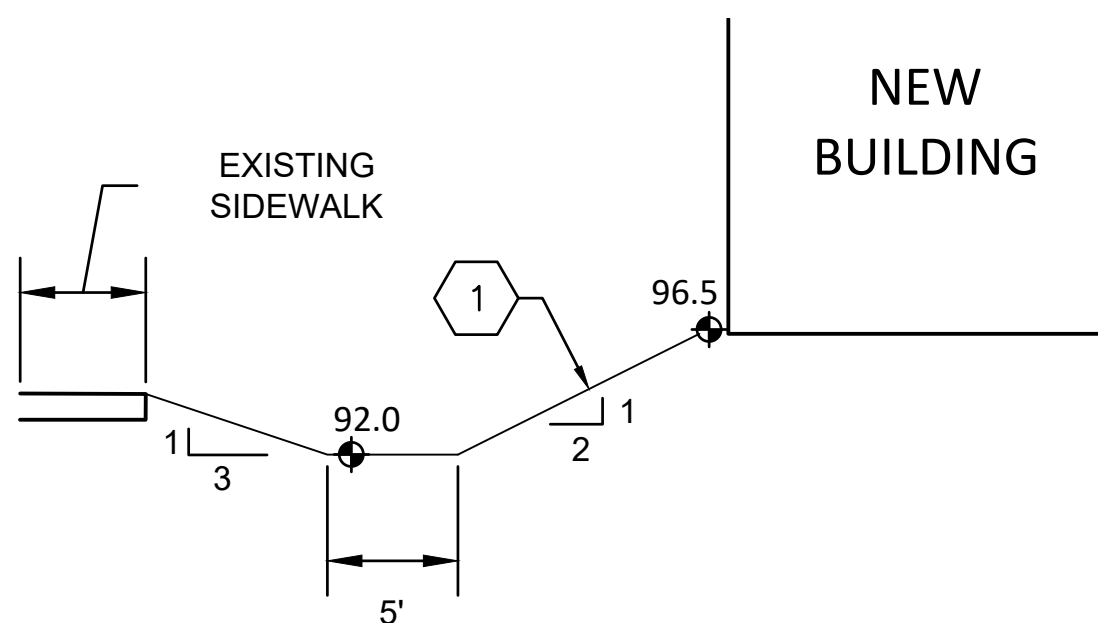
DRAWN BY: jsk

CHECKED BY: smm

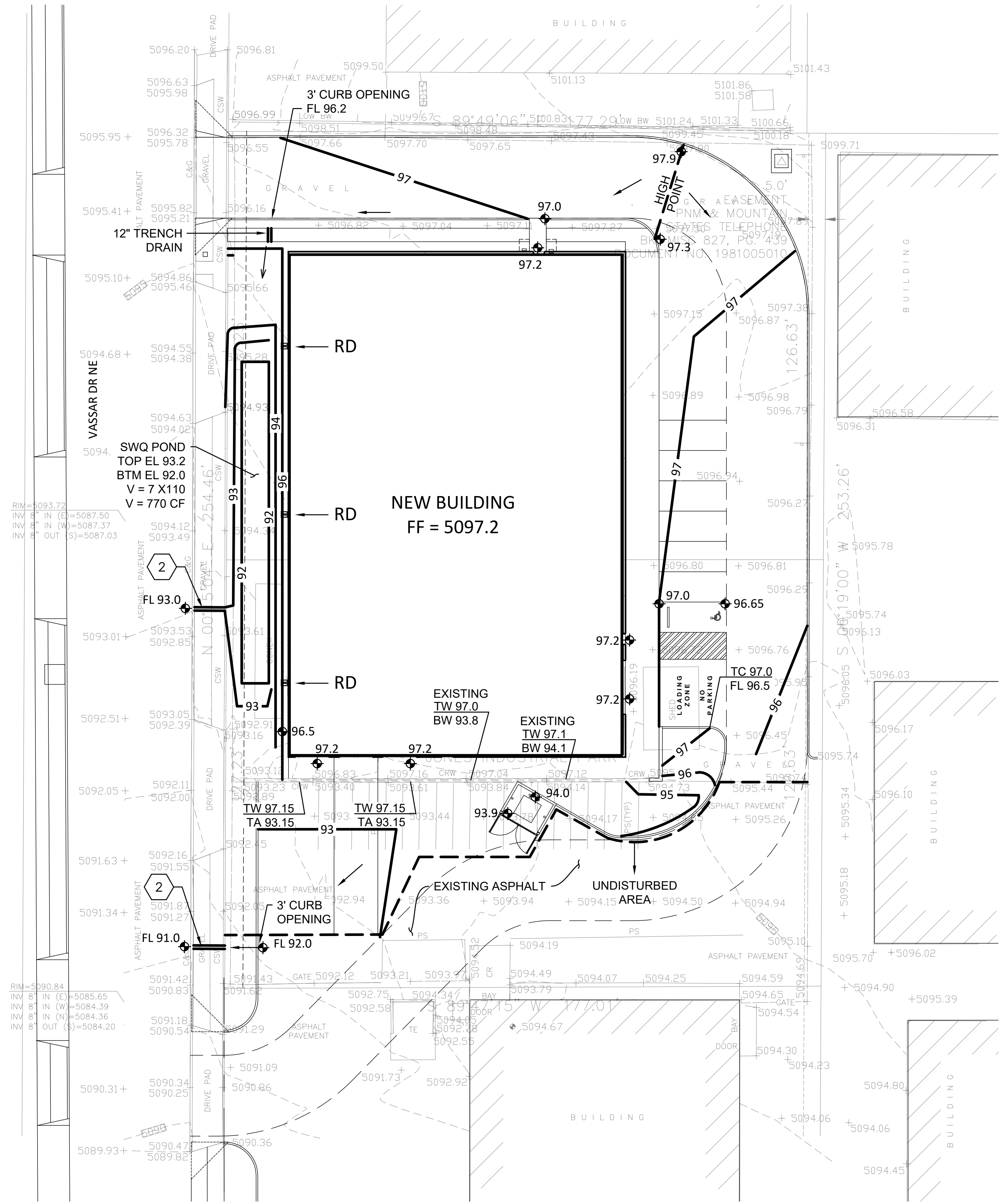
SET NO:

SHEET TITLE:
**GRADING &
DRAINAGE PLAN**

C101



WEST POND SECTION



A2 GRADING & DRAINAGE PLAN
1"=20'

