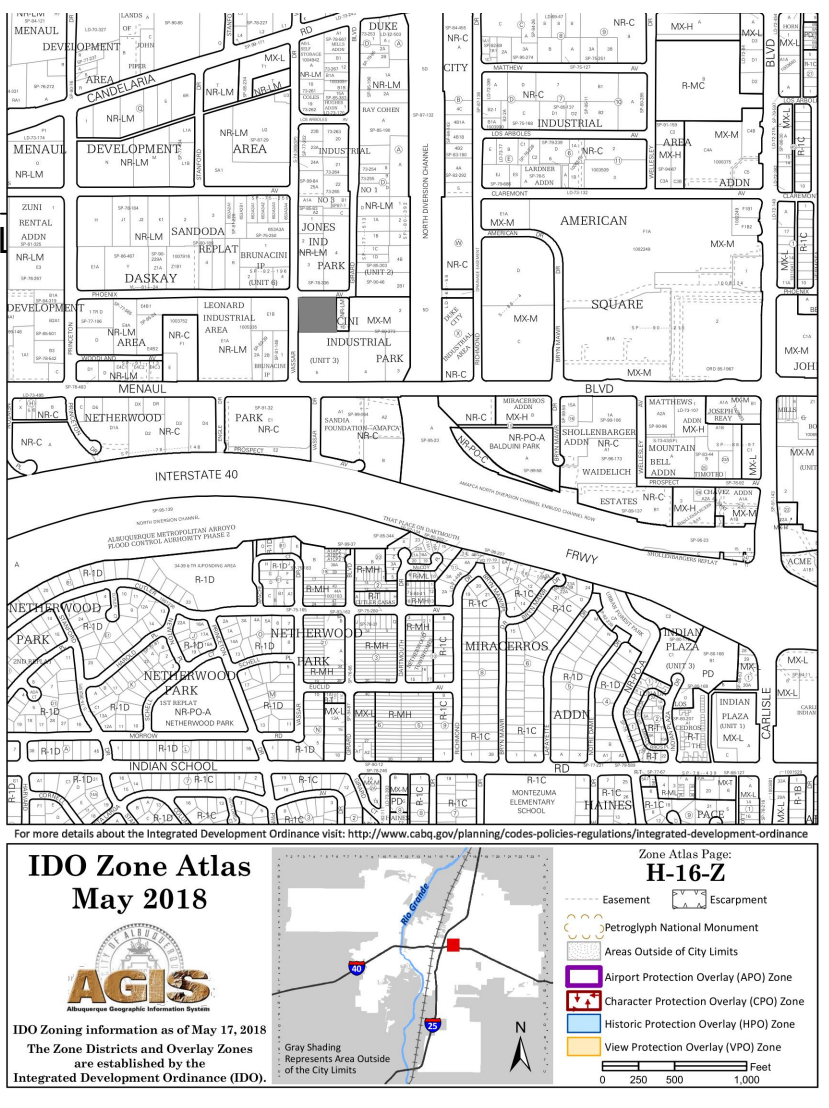
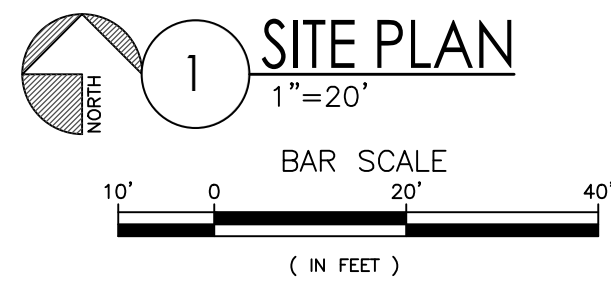
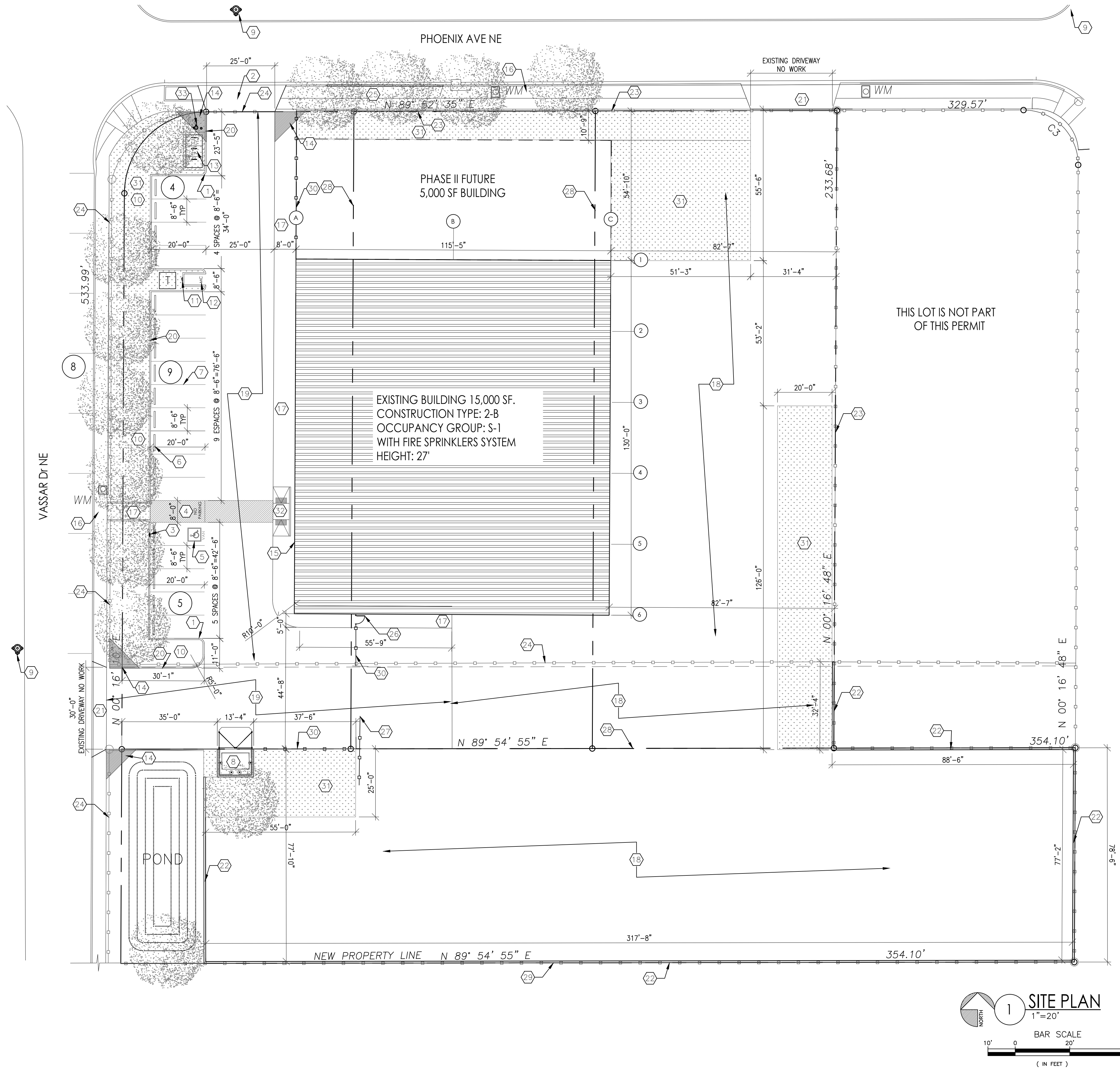




VICINITY MAP

MEDIUM INTENSITY ZONE (MX-M)

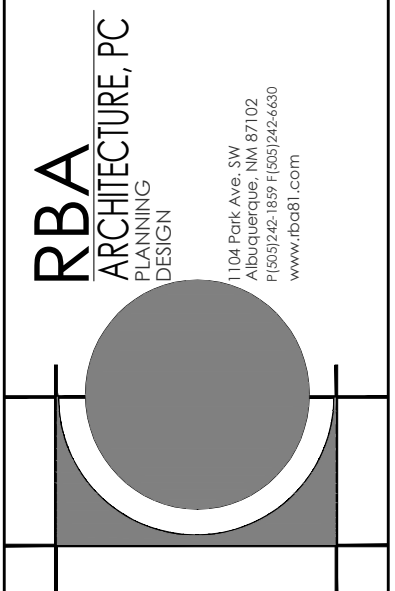
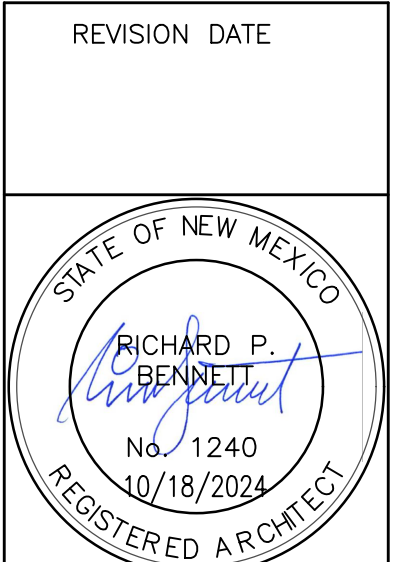
NOTE:
ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB & GUTTER. A BUILD NOTE MUST BE PROVIDED REFERRING TO THE APPROPRIATE CITY STANDARD DRAWING.

- KEY NOTES**
- 2'-0" CURB RADIUS, TYP.
 - NEW 25' WIDE DRIVEWAY PER CABQ STANDARD DETAIL 2425A SETBACK FROM CURB.
 - ACCESSIBLE PARKING SIGNAGE PER CABQ STANDARDS, REF: DETAIL A7/AS-2.0.
 - PAINTED STRIPE HANDICAP ACCESSIBLE AISLE WITH "NO PARKING" IN CAPITAL LETTERS, 12" HIGH x 2" WIDE, LOCATE SIGN (66-1-4.1.B NMSA 1978). REF: DETAIL A4/AS-2.0.
 - HANDICAP SYMBOL PER CABQ STANDARDS, TYPICAL (4) PLACE REF: DETAIL A8/AS-2.0.
 - PARKING BUMPER, TYP. REF: DETAIL C2/AS-2.0.
 - 4" WIDE PAINTED STRIPE PER C.O.A. STANDARDS, REF: DETAIL A9/AS-2.0, TYP.
 - DUMPSTER ENCLOSURE PER CABQ, REF: DETAIL A1-A3/AS-2.0.
 - EXISTING FIRE HYDRANT LOCATION.
 - NOT USED
 - MOTORCYCLE PARKING SIGNAGE PER CABQ STANDARDS, TYP. REF: A12/AS-2.0.
 - PAINTED "MC" IN CAPITAL LETTERS, 12" HIGH x 2" WIDE, AT MOTORCYCLE PARKING - WHITE ON PAVEMENT PER CABQ STANDARDS.
 - BKE RACK FOR (3) BICYCLES. REF DETAIL C-1/AS-2.0. BKE PARKING SPACES SHALL BE 6'-0" LONG x 2' WIDE FOR EACH BIKE. NOTE: A 1'-0" CLEAR ZONE AROUND THE BIKE PARKING SPACE.
 - A. 30" TALL x 18" WIDE.
 - B. BICYCLE FRAME SHALL BE SUPPORTED HORIZONTALLY AT TWO OR MORE PLACES. COMB/TOASTER RACKS ARE NOTE ALLOWED
 - C. THE RACK SHALL BE DESIGNED TO SUPPORT THE BICYCLE IN AN UPRIGHT POSITION. SEE THE IDO FOR ADDITIONAL INFORMATION.
 - D. THE RACK ALLOWS VARYING BICYCLE FRAME SIZES AND STYLES TO BE ATTACHED.
 - E. THE USER IS NOT REQUIRED TO LIFT THE BICYCLE ONTO THE BICYCLE RACK.
 - F. EACH BICYCLE PARKING SPACE IS ACCESSIBLE WITHOUT MOVING ANOTHER BICYCLE.
 - G. THE RACKS SHOULD BE STURDY AND ANCHORED TO A CONCRETE PAD.
 - CLEAR SIGHT TRIANGLE, LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH THE CLEAR SIGHT REQUIREMENTS. ALL SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 FEET AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
 - G.C. TO PROVIDE AND INSTALL RECESSED KNOX BOX WITH KEY FOR FIRE DEPARTMENT ACCESS, MOUNT BOX 4'-0" - 6'-0" HIGH A.F.F., TYP.
 - EXISTING CONCRETE SIDEWALK REPAIRED AS NEEDED.
 - NEW 4" THICK CONCRETE SIDEWALK. REF. DETAIL A6/AS2.0
 - EXISTING BASE COURSE NO WORK
 - NEW ASPHALT
 - NEW RAISED CONCRETE CURB REF. DETAIL C3/AS-2.0.
 - EXISTING DRIVEWAY NO WORK
 - NEW 6' HIGH CMU WALL
 - EXISTING CHAIN LINK FENCE TO REMAIN
 - EXISTING CHAIN LINK FENCE TO BE REMOVED
 - EXISTING DRIVEWAY TO BE REMOVED
 - NEW MAN GATE
 - NEW 24" SLIDING GATE
 - PROPERTY LINE TO BE REMOVED
 - NEW PROPERTY LINE
 - NEW CHAIN LINK 6' FENCE
 - LANDSCAPE AREAS
 - ACCESSIBLE CONCRETE RAMP (1/12 SLOPE MAX.), RAMP IS PART OF ACCESSIBLE PEDESTRIAN WALK-WAY TO BUILDING. REF DETAIL A-10/AS-2.0
 - P.V. AND FDC LOCATION

PARKING REQUIREMENTS:	
TOTAL BUILDING AREA = 15,000 S.F.	
IDO TABLE 5-5-1= WAREHOUSING - NO PARKING REQUIRED	
PARKING PROVIDED	
ON SITE 18 SPACES, ON STREET 8 SPACES	
ACCESSIBLE PARKING =1-25 SPACES=1 VAN ACCESSIBLE REQUIRED	
=1 VAN ACCESSIBLE PROVIDED	
IDO TABLE 5-5-4 MOTORCYCLES = 1-25 = 1 SPACES REQUIRED	
= 1 SPACE PROVIDED	
BICYCLE SPACES NON-RESIDENTIAL	
= 3 SPACES REQUIRED	
3 SPACES PROVIDED	

LANDSCAPE REQUIREMENTS:	
GROSS LOT AREA 88,221 S.F. 2.00 AC.	
BUILDING AREA: -15,000 S.F.	
NET LOT AREA: 73,221 S.F.	
REQUIRED LS:73,221 SF. X 15% = 10,983 S.F.	
PROVIDED LS ONSITE: = 10,986 S.F.	

MENAU & VASSAR
SITE PLAN
2500 PHOENIX AVE NE 87107
ALBUQUERQUE, NM
PROJECT #2267



DATE
10/18/2024

SHEET NUMBER
AS-1.0