

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

November 12, 2024

Alejandro Sazo
RBA Architects
1104 Park Ave SW
Albuquerque, NM 87102

alejandro@rba81.com

Re: Menaul & Vassar Warehouse
2500 Phoenix Ave NE
Traffic Circulation Layout
Engineer's/Architect's Stamp 10-18-24 (H16D156)

Dear Mr. Sazo,

The TCL submittal received 10-29-2024 is approved for Building Permit by Transportation. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to the PLNDRS@cabq.gov for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Sertil A. Kanbar

Sertil Kanbar, PhD, PE, CFM
Sr. Engineer, Planning Dept.
Development Review Services

C: CO Clerk, File



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: _____ **Building Permit #:** _____ **City Drainage #:** _____
DRB#: _____ **EPC#:** _____ **Work Order#:** _____
Legal Description: _____
City Address: _____

Engineering Firm: _____ **Contact:** _____
Address: _____
Phone#: _____ **Fax#:** _____ **E-mail:** _____

Owner: _____ **Contact:** _____
Address: _____
Phone#: _____ **Fax#:** _____ **E-mail:** _____

Architect: _____ **Contact:** _____
Address: _____
Phone#: _____ **Fax#:** _____ **E-mail:** _____

Other Contact: _____ **Contact:** _____
Address: _____
Phone#: _____ **Fax#:** _____ **E-mail:** _____

Check all that Apply:

DEPARTMENT:

☐ HYDROLOGY/ DRAINAGE
☐ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

☐ ENGINEER/ ARCHITECT CERTIFICATION

☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR

☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)

☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☐ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY

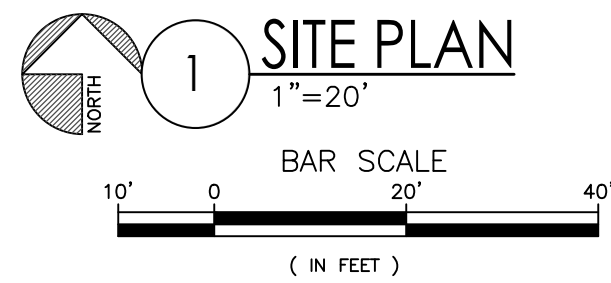
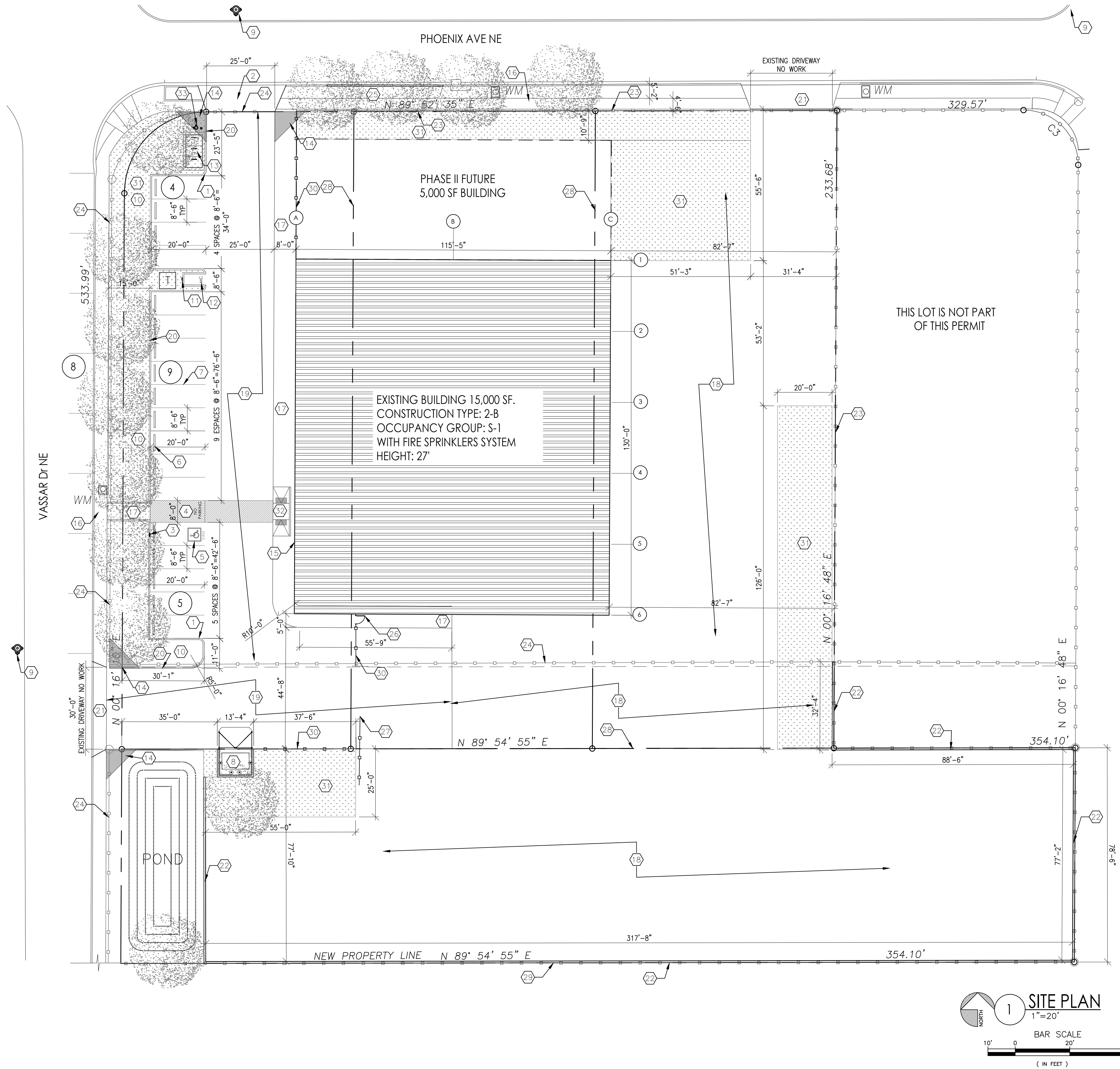
☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR

☐ PRE-DESIGN MEETING
☐ OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: ☐ Yes ☐ No

DATE SUBMITTED: _____ **By:** _____

COA STAFF: _____ ELECTRONIC SUBMITTAL RECEIVED: _____

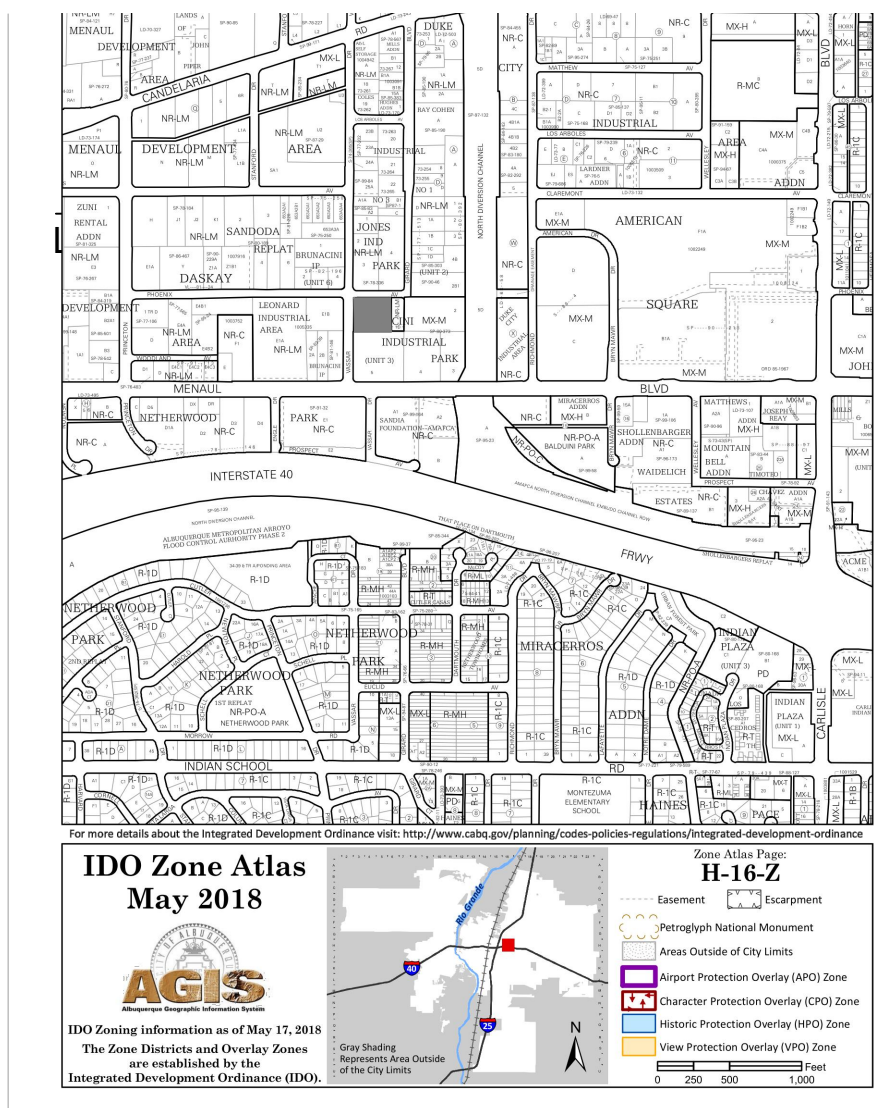


**TRAFFIC CIRCULATION
LAYOUT APPROVED**

Sertil A. Kanbar 11/12/2024

Signed _____ Date _____

**Approval Condition : Lot lines
are removed per Note-28**



VICINITY MAP

MEDIUM INTENSITY ZONE (MX-M)

NOTE:
ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB & GUTTER. A BUILD NOTE MUST BE PROVIDED REFERRING TO THE APPROPRIATE CITY STANDARD DRAWING.

- KEY NOTES**
- 2'-0" CURB RADIUS, TYP.
 - NEW 25' WIDE DRIVEWAY PER CABQ STANDARD DETAIL 2425A SETBACK FROM CURB.
 - ACCESSIBLE PARKING SIGNAGE PER CABQ STANDARDS, REF: DETAIL A7/AS-2.0.
 - PAINTED STRIPE HANDICAP ACCESSIBLE AISLE WITH "NO PARKING" IN CAPITAL LETTERS, 12" HIGH x 2" WIDE, LOCATE SIGN (66-1-4.1.B NMSA 1978). REF: DETAIL A4/AS-2.0.
 - HANDICAP SYMBOL PER CABQ STANDARDS, TYPICAL (4) PLACE REF: DETAIL A8/AS-2.0.
 - PARKING BUMPER, TYP. REF: DETAIL C2/AS-2.0.
 - 4" WIDE PAINTED STRIPE PER C.O.A. STANDARDS, REF: DETAIL A9/AS-2.0, TYP.
 - DUMPSTER ENCLOSURE PER CABQ, REF: DETAIL A1-A3/AS-2.0.
 - EXISTING FIRE HYDRANT LOCATION.
 - NOT USED
 - MOTORCYCLE PARKING SIGNAGE PER CABQ STANDARDS, TYP. REF: A12/AS-2.0.
 - PAINTED "MC" IN CAPITAL LETTERS, 12" HIGH x 2" WIDE, AT MOTORCYCLE PARKING - WHITE ON PAVEMENT PER CABQ STANDARDS.
 - BIKE RACK FOR (3) BICYCLES. REF DETAIL C-1/AS-2.0. BIKE PARKING SPACES SHALL BE 6'-0" LONG x 2' WIDE FOR EACH BIKE. NOTE: A 1'-0" CLEAR ZONE AROUND THE BIKE PARKING SPACE.
A. 30" TALL x 18" WIDE.
B. BICYCLE FRAME SHALL BE SUPPORTED HORIZONTALLY AT TWO OR MORE PLACES. COMB/TOASTER RACKS ARE NOTE ALLOWED
C. THE RACK SHALL BE DESIGNED TO SUPPORT THE BICYCLE IN AN UPRIGHT POSITION. SEE THE IDO FOR ADDITIONAL INFORMATION.
D. THE RACK ALLOWS VARYING BICYCLE FRAME SIZES AND STYLES TO BE ATTACHED.
E. THE USER IS NOT REQUIRED TO LIFT THE BICYCLE ONTO THE BICYCLE RACK.
F. EACH BICYCLE PARKING SPACE IS ACCESSIBLE WITHOUT MOVING ANOTHER BICYCLE.
G. THE RACKS SHOULD BE STURDY AND ANCHORED TO A CONCRETE PAD.
H. CLEAR SIGHT TRIANGLE, LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH THE CLEAR SIGHT REQUIREMENTS. ALL SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 FEET AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
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 - NEW 4" THICK CONCRETE SIDEWALK. REF. DETAIL A6/AS2.0
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 - NEW ASPHALT
 - NEW RAISED CONCRETE CURB REF. DETAIL C3/AS-2.0.
 - EXISTING DRIVEWAY NO WORK
 - NEW 6' HIGH CMU WALL
 - EXISTING CHAIN LINK FENCE TO REMAIN
 - EXISTING CHAIN LINK FENCE TO BE REMOVED
 - EXISTING DRIVEWAY TO BE REMOVED
 - NEW MAN GATE
 - NEW 24" SLIDING GATE
 - PROPERTY LINE TO BE REMOVED
 - NEW PROPERTY LINE
 - NEW CHAIN LINK 6' FENCE
 - LANDSCAPE AREAS
 - ACCESSIBLE CONCRETE RAMP (1/12 SLOPE MAX.), RAMP IS PART OF ACCESSIBLE PEDESTRIAN WALK-WAY TO BUILDING. REF DETAIL A-10/AS-2.0
 - P.V. AND FDC LOCATION

PARKING REQUIREMENTS:

TOTAL BUILDING AREA = 15,000 S.F.
IDO TABLE 5-5-1= WAREHOUSING - NO PARKING REQUIRED

PARKING PROVIDED
ON SITE 18 SPACES, ON STREET 8 SPACES
ACCESSIBLE PARKING =1-25 SPACES=1 VAN ACCESSIBLE REQUIRED
=1 VAN ACCESSIBLE PROVIDED

IDO TABLE 5-5-4 MOTORCYCLES = 1-25 = 1 SPACES REQUIRED
= 1 SPACE PROVIDED

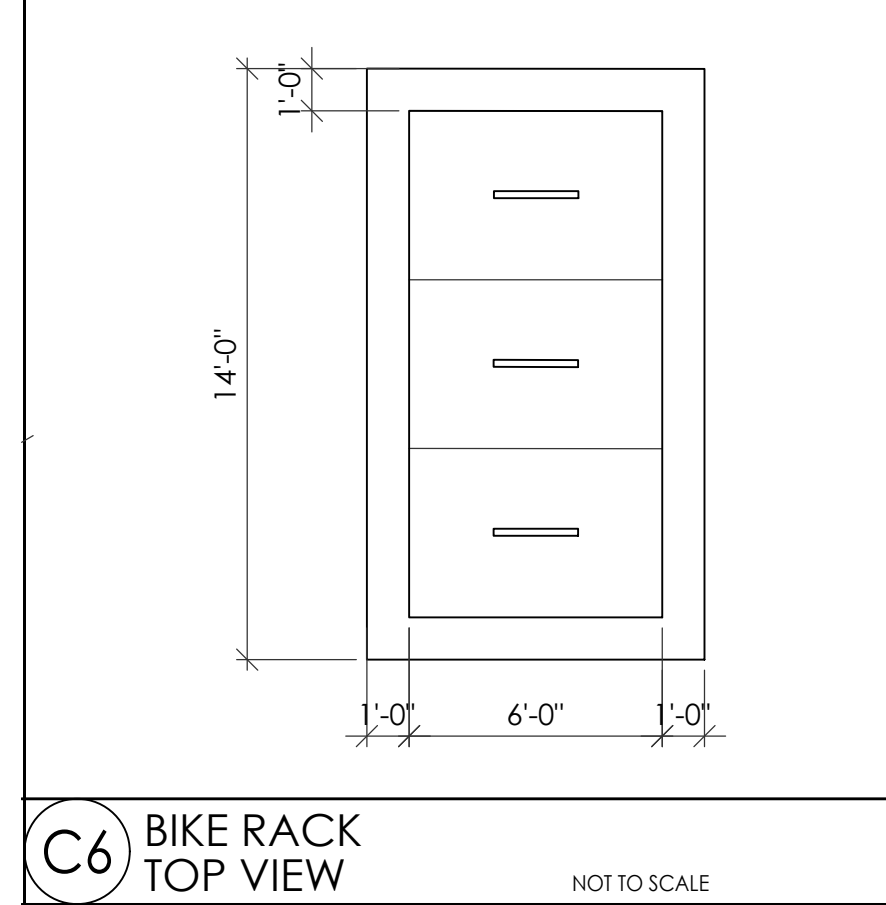
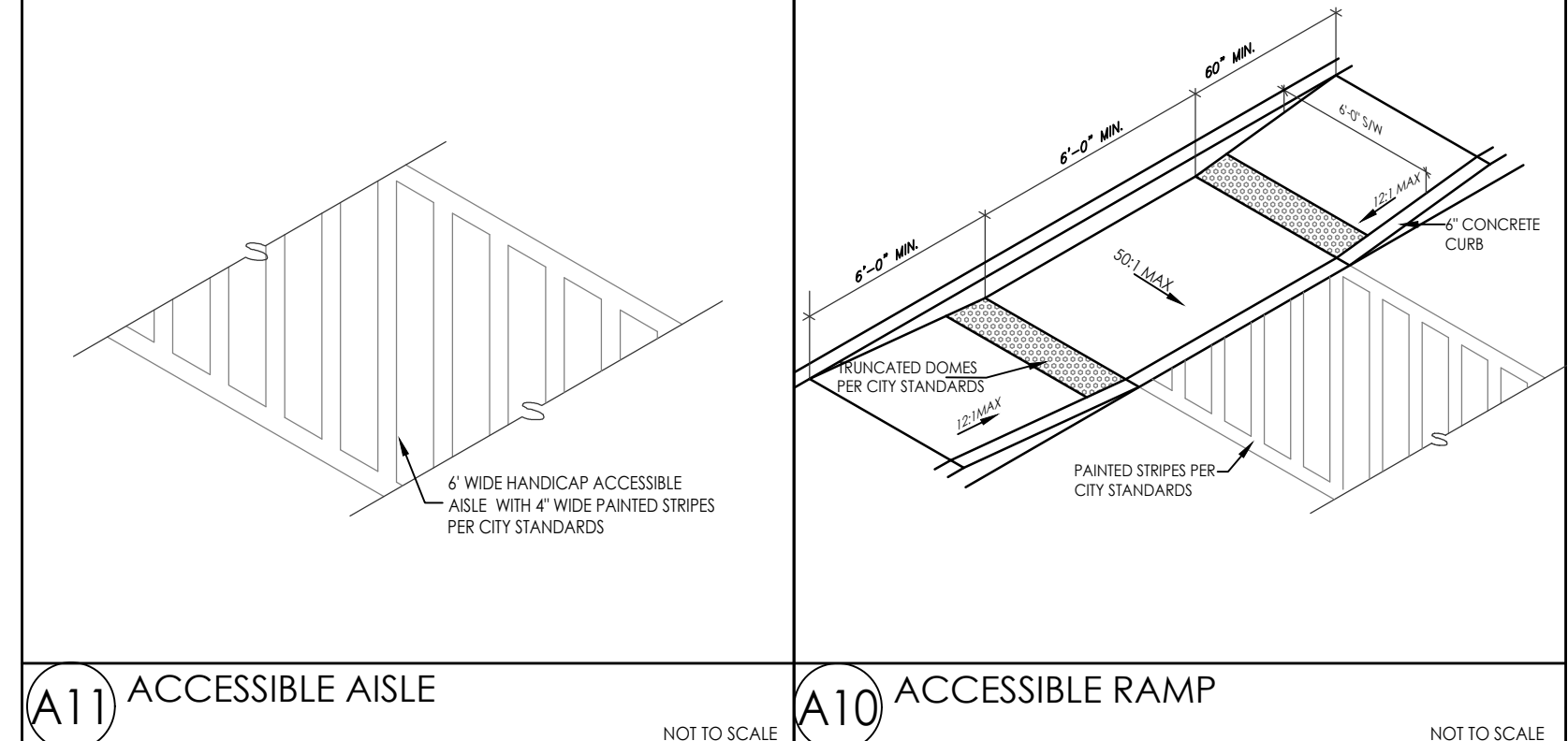
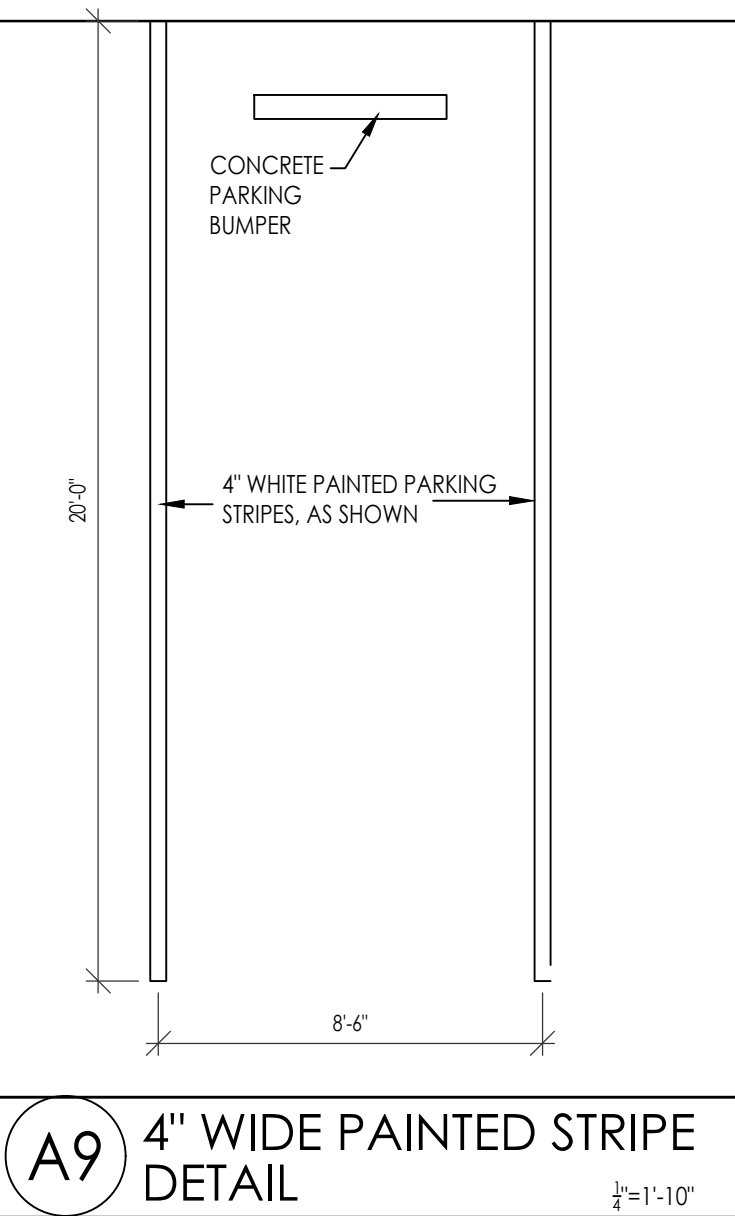
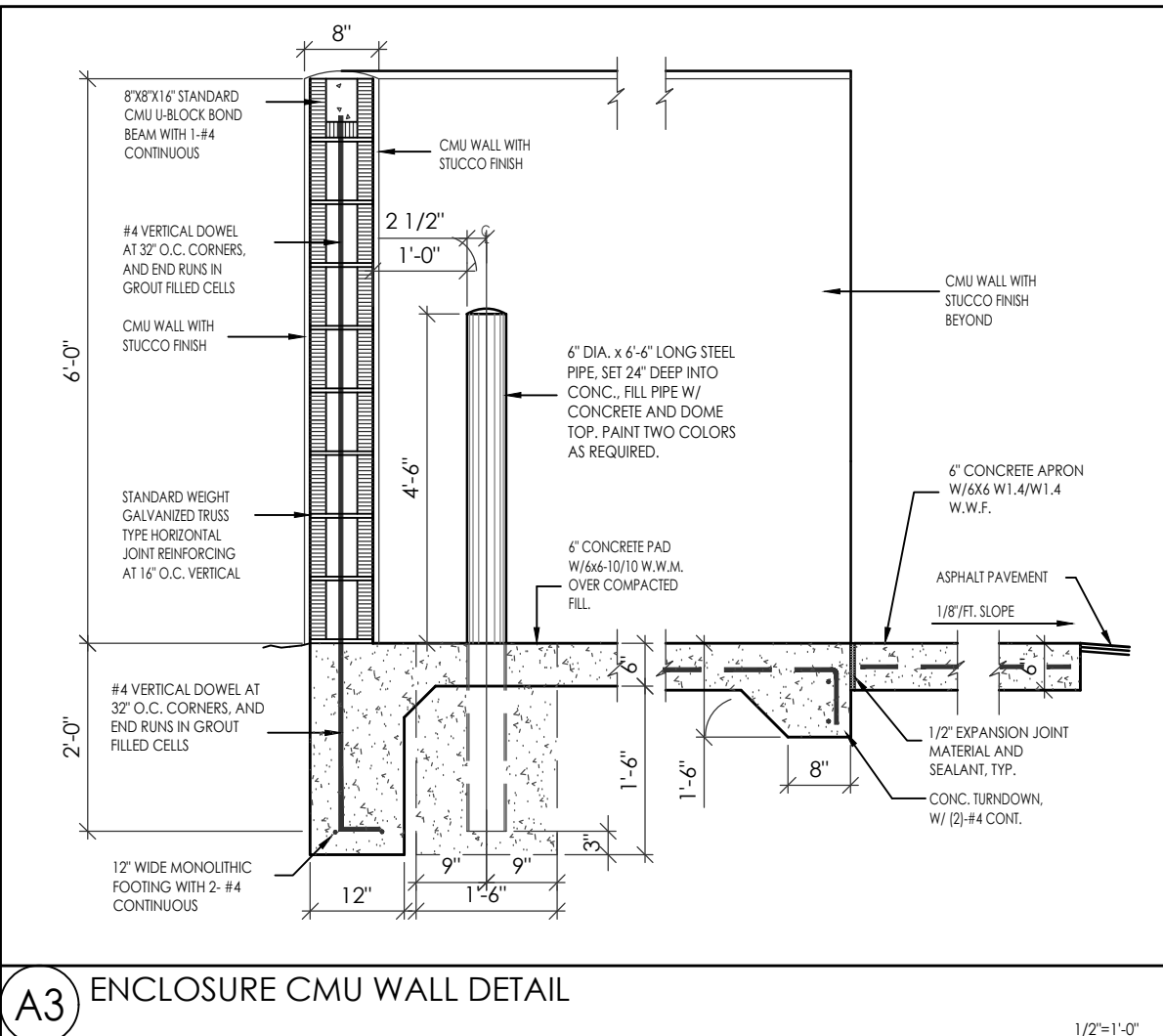
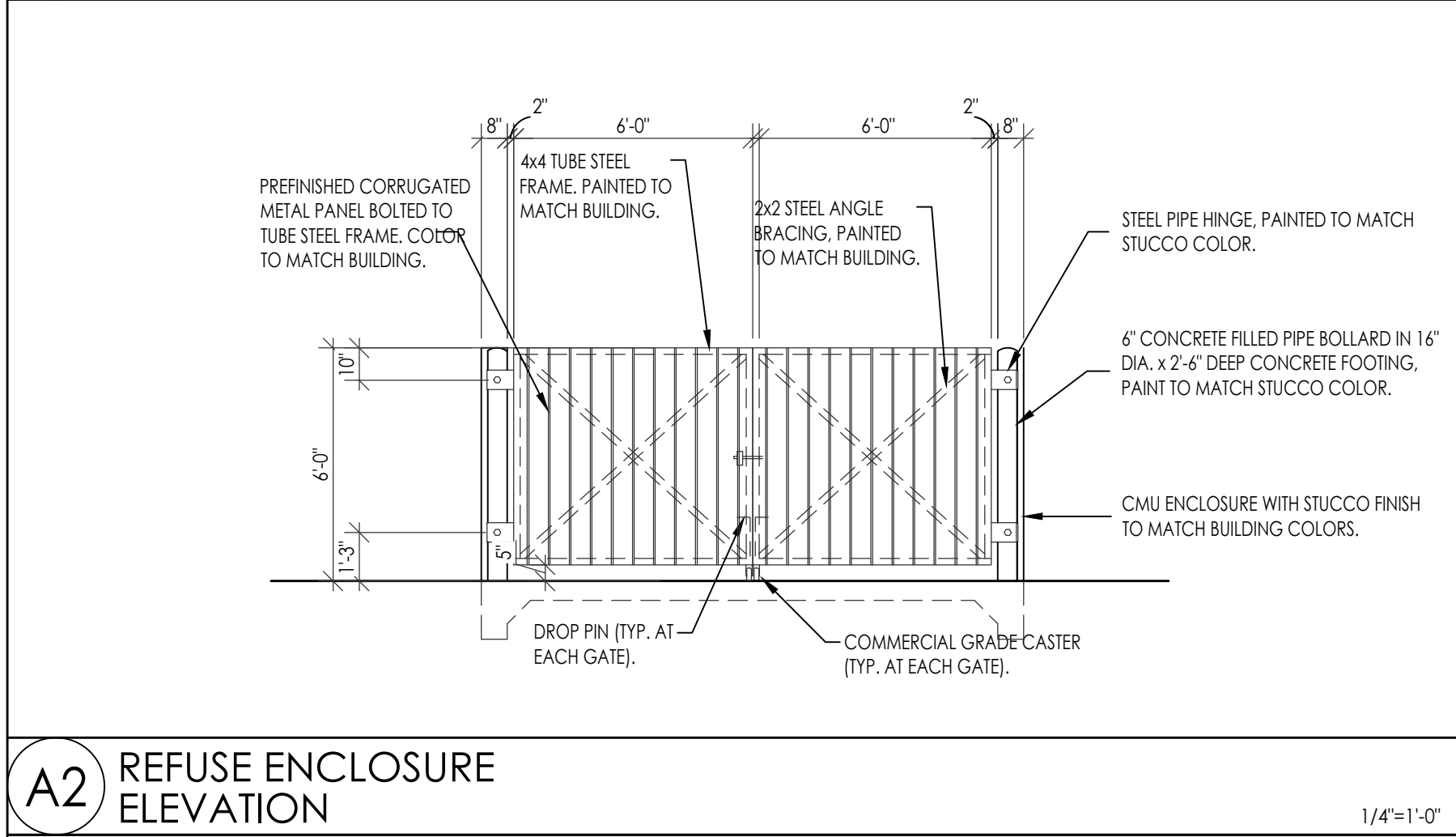
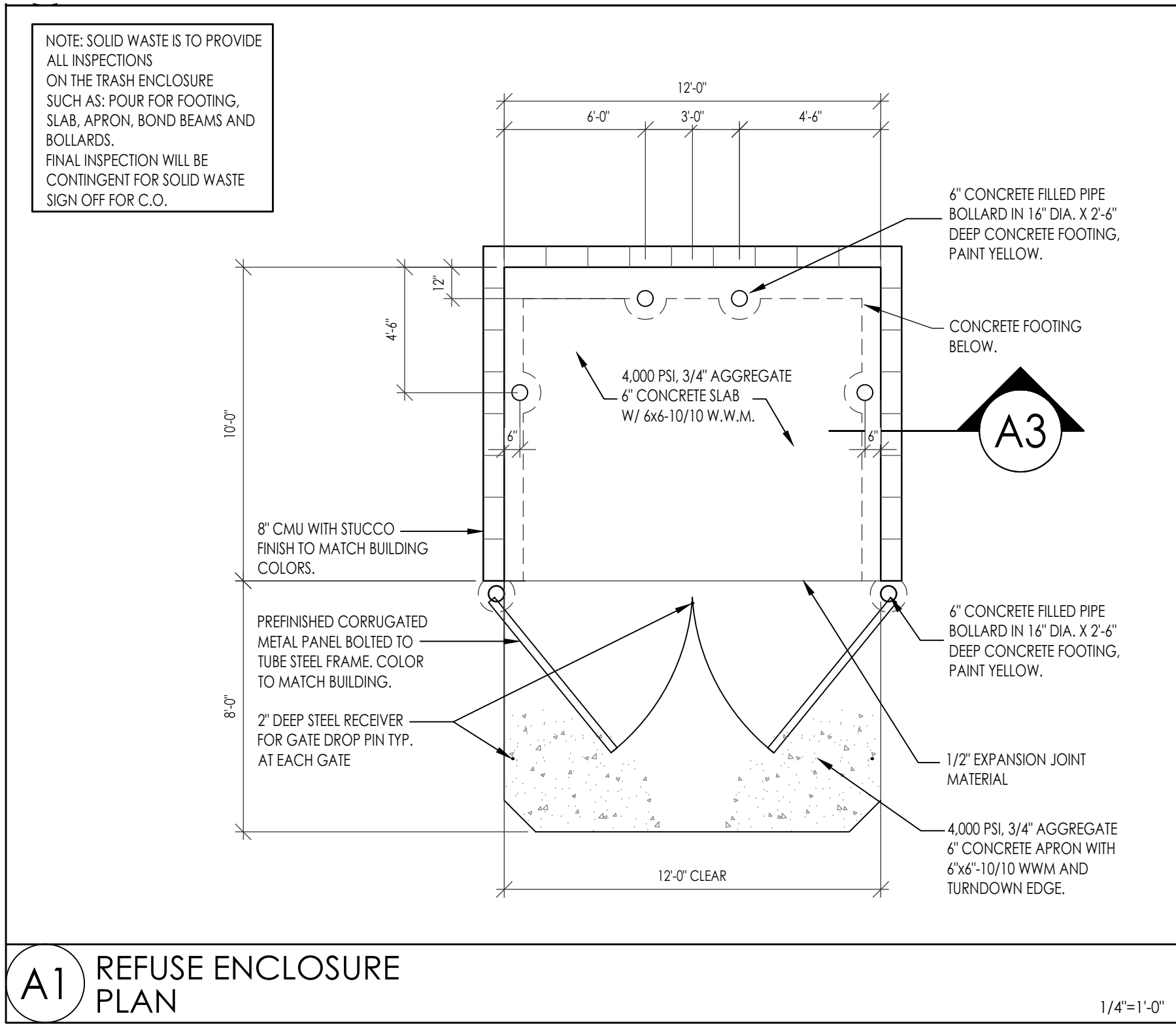
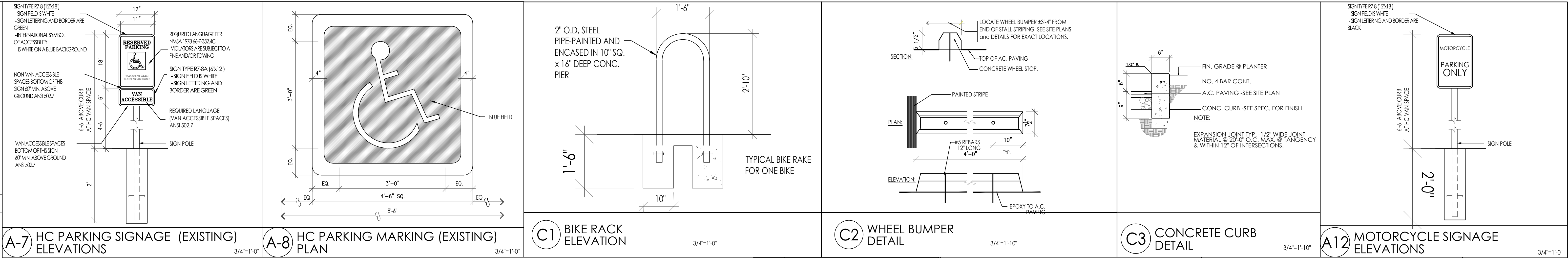
BICYCLE SPACES NON-RESIDENTIAL = 3 SPACES REQUIRED
= 3 SPACES PROVIDED

LANDSCAPE REQUIREMENTS:

GROSS LOT AREA 88,221 S.F. 2.00 AC.
BUILDING AREA: -15,000 S.F.
NET LOT AREA: 73,221 S.F.
REQUIRED LS:73,221 SF. X 15% = 10,983 S.F.
PROVIDED LS ONSITE: = 10,986 S.F.

**MENAU & VASSAR
SITE PLAN
2500 PHOENIX AVE NE 87107
ALBUQUERQUE, NM
PROJECT #2267**

REVISION	DATE
DATE	10/18/2024
SHEET NUMBER	AS-1.0

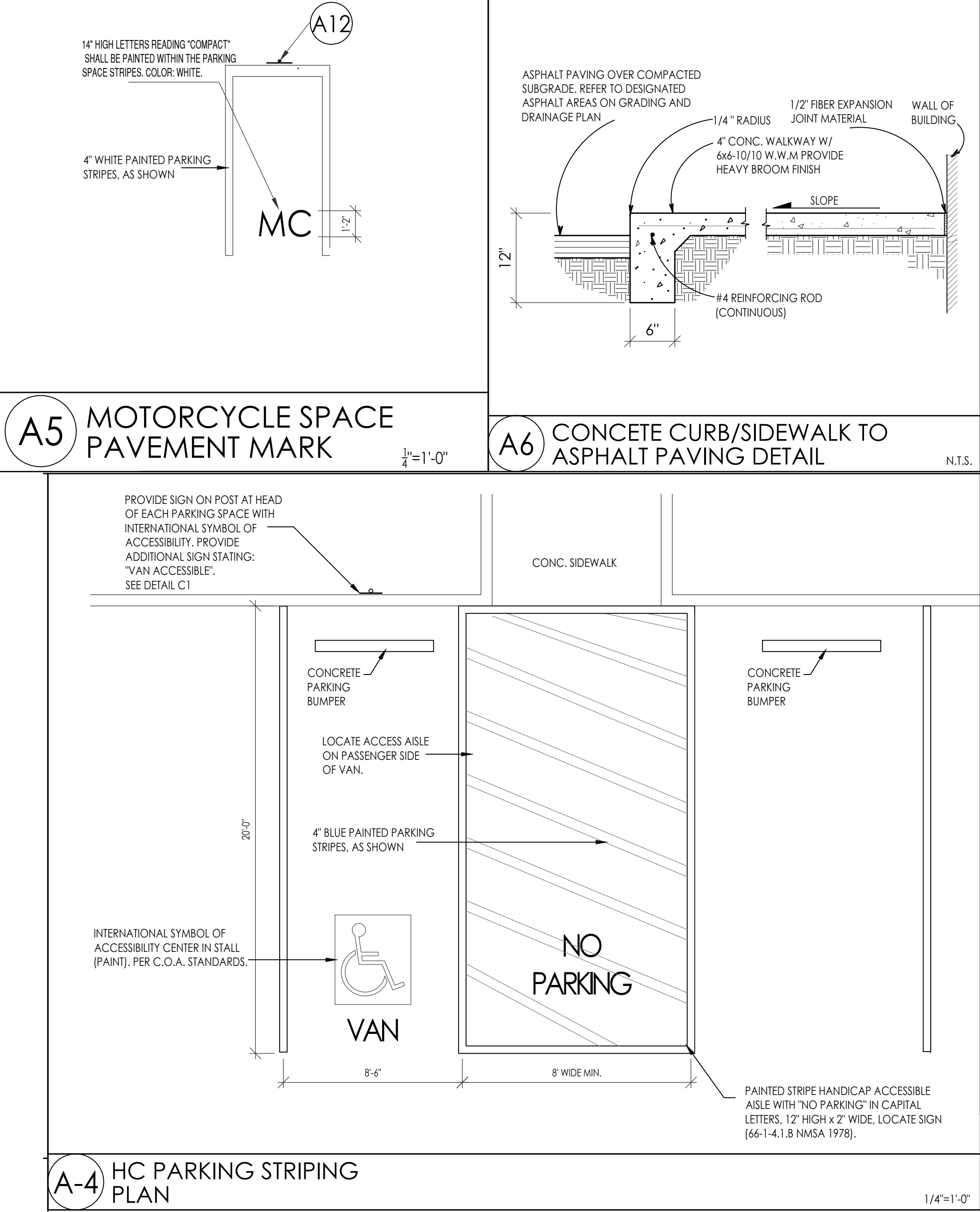


TRAFFIC CIRCULATION LAYOUT APPROVED

Sertil A. Kanbar 11/12/2024

Signed _____ Date _____

Approval Condition : Lot lines are removed per Note-28



MENAU & VASSAR
SITE PLAN DETAILS
2500 PHOENIX AVE NE87107
ALBUQUERQUE, NM
PROJECT #2267

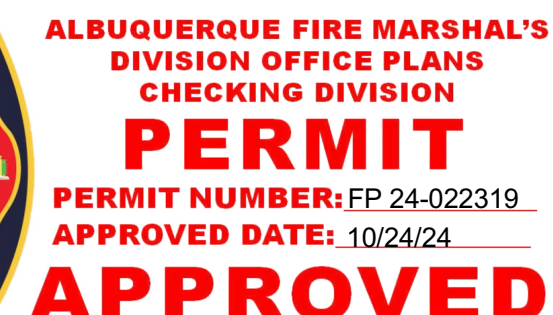
REVISION DATE

STATE OF NEW MEXICO
RICHARD P. BENNETT
No. 1240
10/17/2024
REGISTERED ARCHITECT

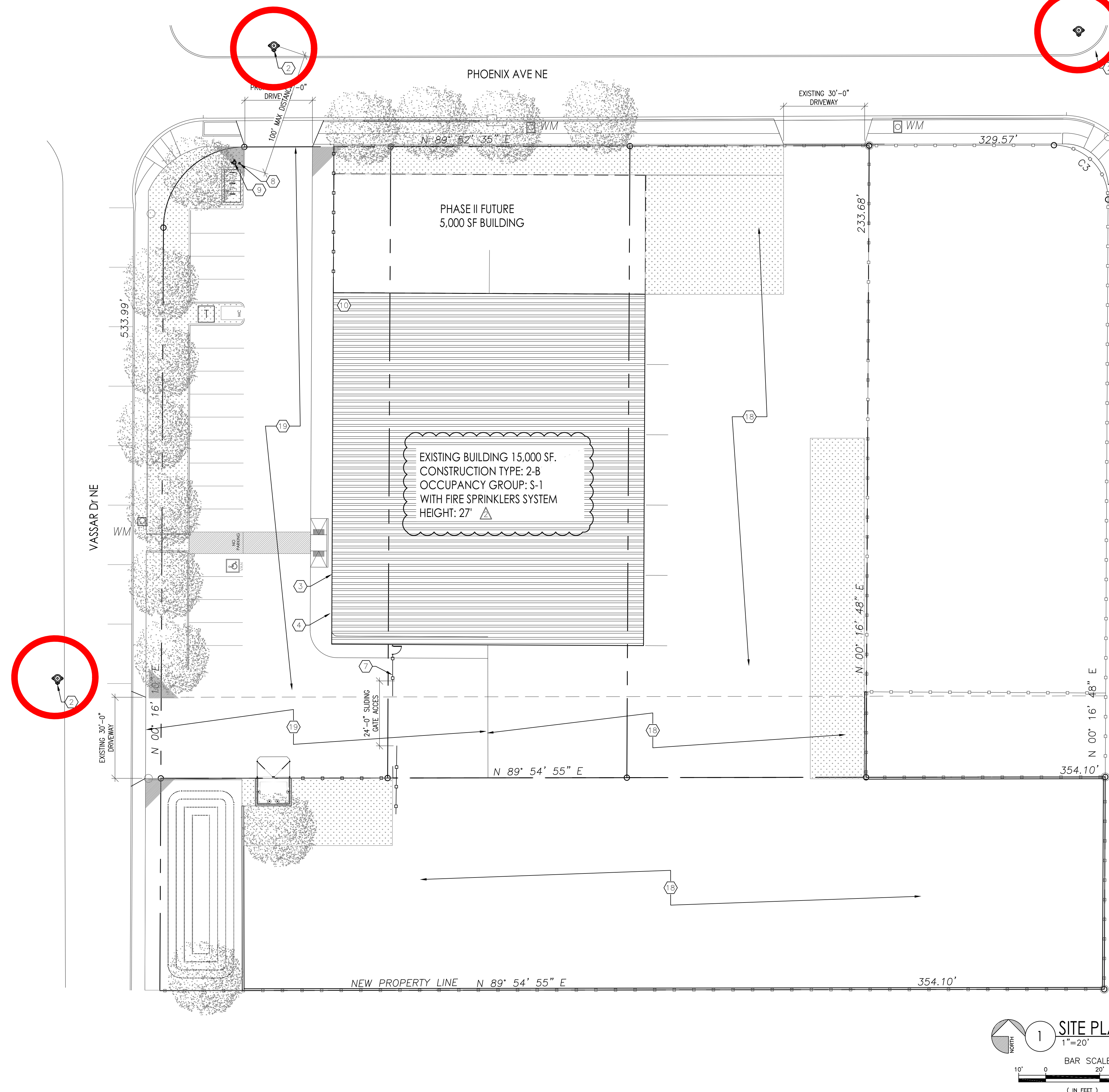
RBA ARCHITECTURE PC
ARCHITECTURE
PLANNING
DESIGN
1000 N. 10th St., Ste. 100
Albuquerque, NM 87102
Phone: (505) 243-6600
Fax: (505) 243-6601

DATE
10/18/2024

SHEET NUMBER
AS-2.0



THESE CONSTRUCTION DOCUMENTS WERE REVIEWED AND APPROVED BY THE ALBUQUERQUE FIRE MARSHAL'S OFFICE IN ACCORDANCE WITH THE CITY ORDINANCE, THE INTERNATIONAL FIRE CODE, AND NFPA STANDARDS. THIS PERMIT IS VALID FOR 180 DAYS. FINAL INSPECTION IS REQUIRED.



- FIRE APPARATUS ACCESS ROADS SHALL HAVE AN ASPHALT, CONCRETE, OR OTHER APPROVED DRIVING SURFACE CAPABLE OF SUPPORTING THE IMPOSED LOAD OF FIRE APPARATUS WEIGHING AT LEAST 75,000 POUNDS.
- ENGINEERING DATA SHALL BE SUBMITTED TO SUBSTANTIATE FIRE BEARING CAPABILITY AND ALL WEATHER DRIVING CAPABILITIES FOR FIRE APPARATUS ACCESS ROADS.
- FIRE APPARATUS ACCESS ROADS SHALL NOT EXCEED 10 PERCENT IN GRADE.

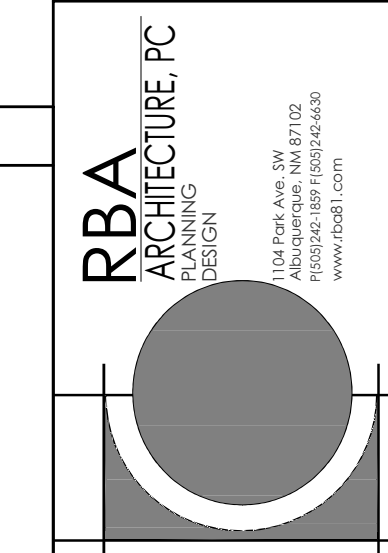
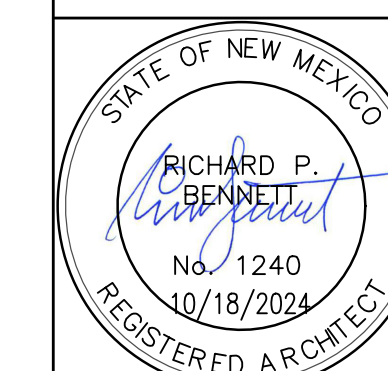
TYPE IIB 15,000 S.F. (1 STORY)
12,601-15,400 S.F. = 2,500 G.P.M. = 2 HOUR FLOW DURATIONS
2,500 G.P.M. = 3 HYDRANT = 450 FEET SPACING =
225 FEET MAX DISTANCE FROM ROAD TO HYDRANT

1. FIRE LANE, PAVING CONC. CURB RED AND ADD SIGNAGE TO CURBS 5' WIDE WHITE LETTER "NO PARKING, FIRE LANE", TYP. EVERY 15' OVER 6' WIDE RED STRIPE, REF: FIRE ORD. 503.3.1.
2. EXISTING FIRE HYDRANT LOCATION.
3. KNOX BOX LOCATION BETWEEN 4' AND 6' A.F.F., ILLUMINATED AND IMMEDIATELY VISIBLE.
4. PREMIS ID LOCATION COORDINATE WITH FIRE MARSHAL.
5. ASPHALT PAVING.
6. BASE COURSE
7. KNOX SWITCH FOR GATES
8. PIV VALVE
9. FDC
10. FIRE RISER ROOM

A.	PREMISE IDENTIFICATION - SHALL BE MINIMUM 12 INCHES HIGH X 1 INCH WIDE STROKE AND SHALL CONTRAST WITH THEIR BACKGROUND AND SHALL BE VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY
B.	G.C. TO PROVIDE FIRE EXTINGUISHERS 2A-10-BC, 1 PER EACH 3,000 S.F., REF: FLOOR PLANS FOR QUANTITY, LOCATIONS AND TYPE.
C.	ALL PENETRATIONS THROUGH A FIRE RATED WALL ASSEMBLY TO BE FIRESTOPPED WITH THERMAFIBER AS MANUFACTURED BY THERMAFIBER, LLC, WABASH, 46992 OR OTHER APPROVED EQUAL.
D.	ALL EXIT SIGNS AND EMERGENCY LIGHTING SHALL HAVE BATTERY BACK-UP, REF: ELECTRICAL.

MENAU & VASSAR
FIRE 1 PLAN
2500 PHOENIX AVE NE 87107
ALBUQUERQUE, NM
PROJECT #2267

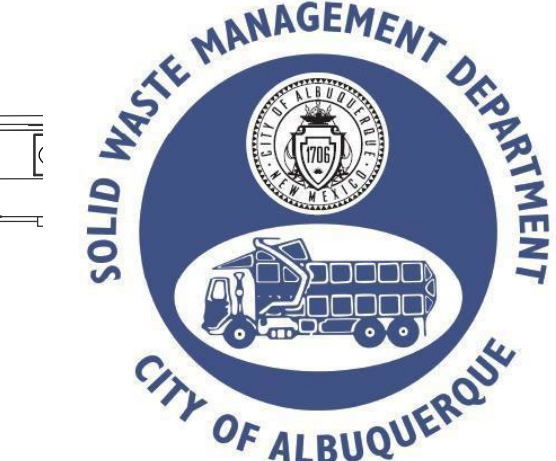
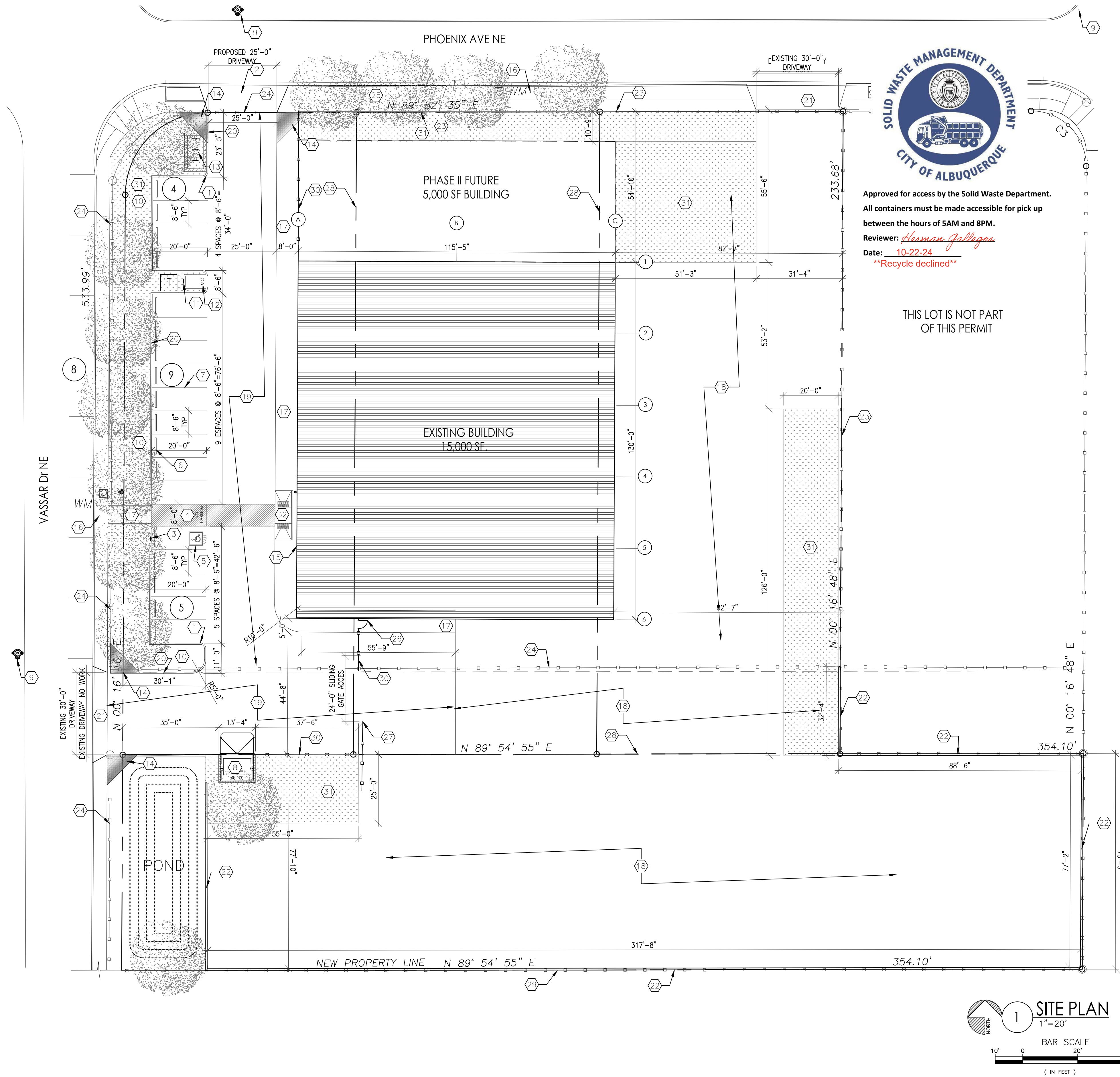
REVISION DATE
2 10/24/2024



DATE	10/18/2024
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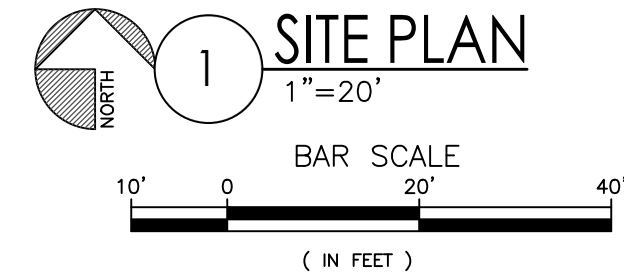
SHEET NUMBER

F-1



Approved for access by the Solid Waste Department.
All containers must be made accessible for pick up
between the hours of 5AM and 8PM.
Reviewer: *Herman Gallagos*
Date: *10-22-24*
****Recycle declined****

THIS LOT IS NOT PART
OF THIS PERMIT



- KEY NOTES**
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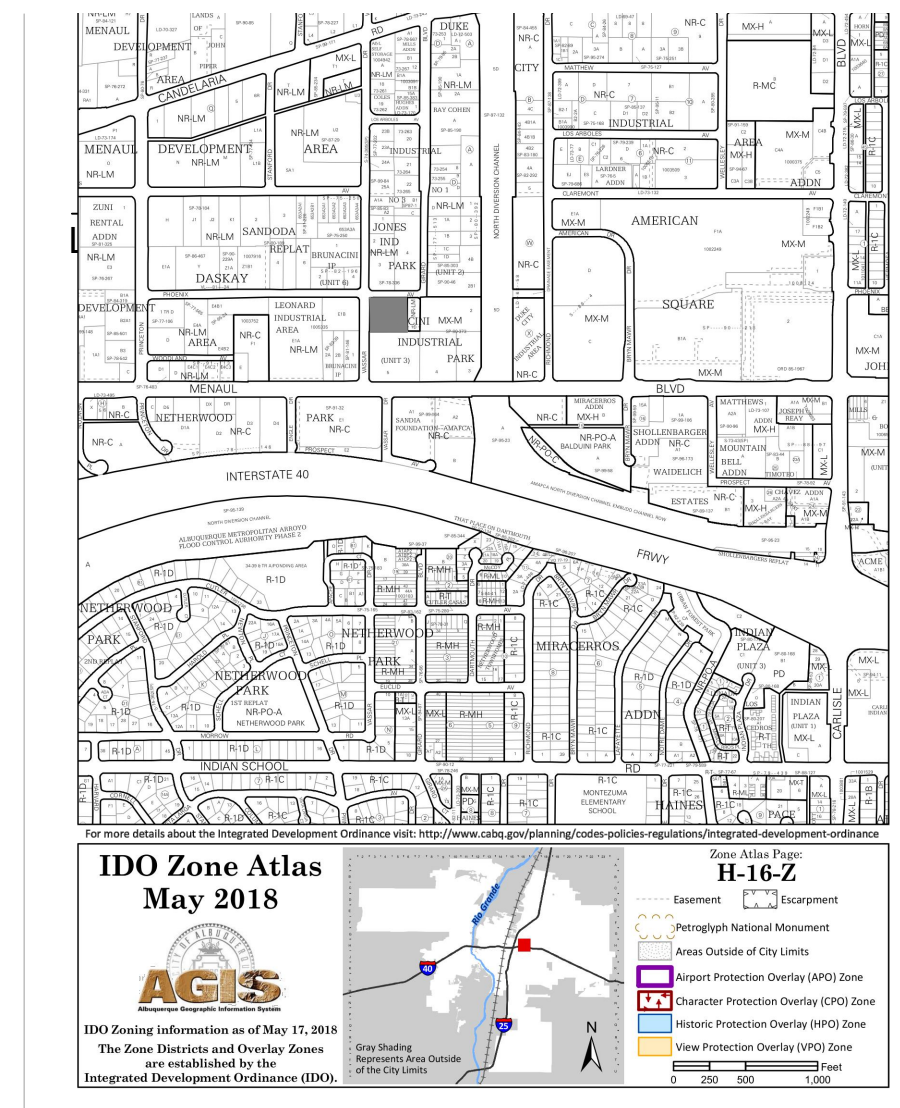
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