

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Interim Director



Mayor Timothy M. Keller

November 1, 2021

Verlyn Miller, P.E.
Miller Engineering Consultants, Inc
3500 Comanche NE Bldg. F
Albuquerque, NM 87107

**RE: Midtown Sports & Wellness
4100 Prospect Ave NE
Grading and Drainage Plan
Engineer's Stamp Date: 09/07/21
Hydrology File: H17D001A**

Dear Mr. Miller:

PO Box 1293
Based upon the information provided in your submittal received 09/09/2021, the Grading & Drainage Plan is approved for Grading Permit and Paving Permit. Once the grading and paving of the project is complete, please provide an as-built for Hydrology's records.

Albuquerque
Also, the Payment-in-Lieu of \$ **1,248.00** must be paid ASAP. Please follow the instructions:

NM 87103
Please use the attached City of Albuquerque Treasury Deposit form and when ready please email this form to Shannon Cordero (sdcordero@cabq.gov). She will then produce and email back with a receipt and instructions on how to pay online. Once paid, please email me proof of payment.

www.cabq.gov
As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 924-3420) 14 days prior to any earth disturbance.

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Sincerely,

Renée C. Brissette

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: Midtown Sports & Wellness Building Permit #: _____ Hydrology File #: _____

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: TR 6B UNIT 2 REPL TR 6 UNIT 2 DALE J BELLAMAH'S CARLISLE REP L CONT

City Address: 4100 Prospect Ave NE, Albuquerque, NM 87110

Applicant: Sports & Wellness Contact: Johnny Feely

Address: 7120 Wyming Blvd. NE, Ste. 20 Albuquerque, NM 87109

Phone#: 505-280-7358 Fax#: _____ E-mail: jfeely@wellbridge.com

Other Contact: Miller Engineering Consultants, Inc. Contact: Verlyn Miller

Address: 3500 Comanche NE, Bldg. F

Phone#: 505-888-7500 Fax#: _____ E-mail: vmiller@mecnm.com

TYPE OF DEVELOPMENT: _____ PLAT (# of lots) _____ RESIDENCE _____ DRB SITE X ADMIN SITE

IS THIS A RESUBMITTAL? _____ Yes X No

DEPARTMENT _____ TRANSPORTATION X HYDROLOGY/DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- ____ ENGINEER/ARCHITECT CERTIFICATION
____ PAD CERTIFICATION
____ CONCEPTUAL G & D PLAN
X GRADING PLAN
____ DRAINAGE REPORT
____ DRAINAGE MASTER PLAN
____ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
____ ELEVATION CERTIFICATE
____ CLOMR/LOMR
____ TRAFFIC CIRCULATION LAYOUT (TCL)
____ TRAFFIC IMPACT STUDY (TIS)
____ STREET LIGHT LAYOUT
____ OTHER (SPECIFY) _____
____ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

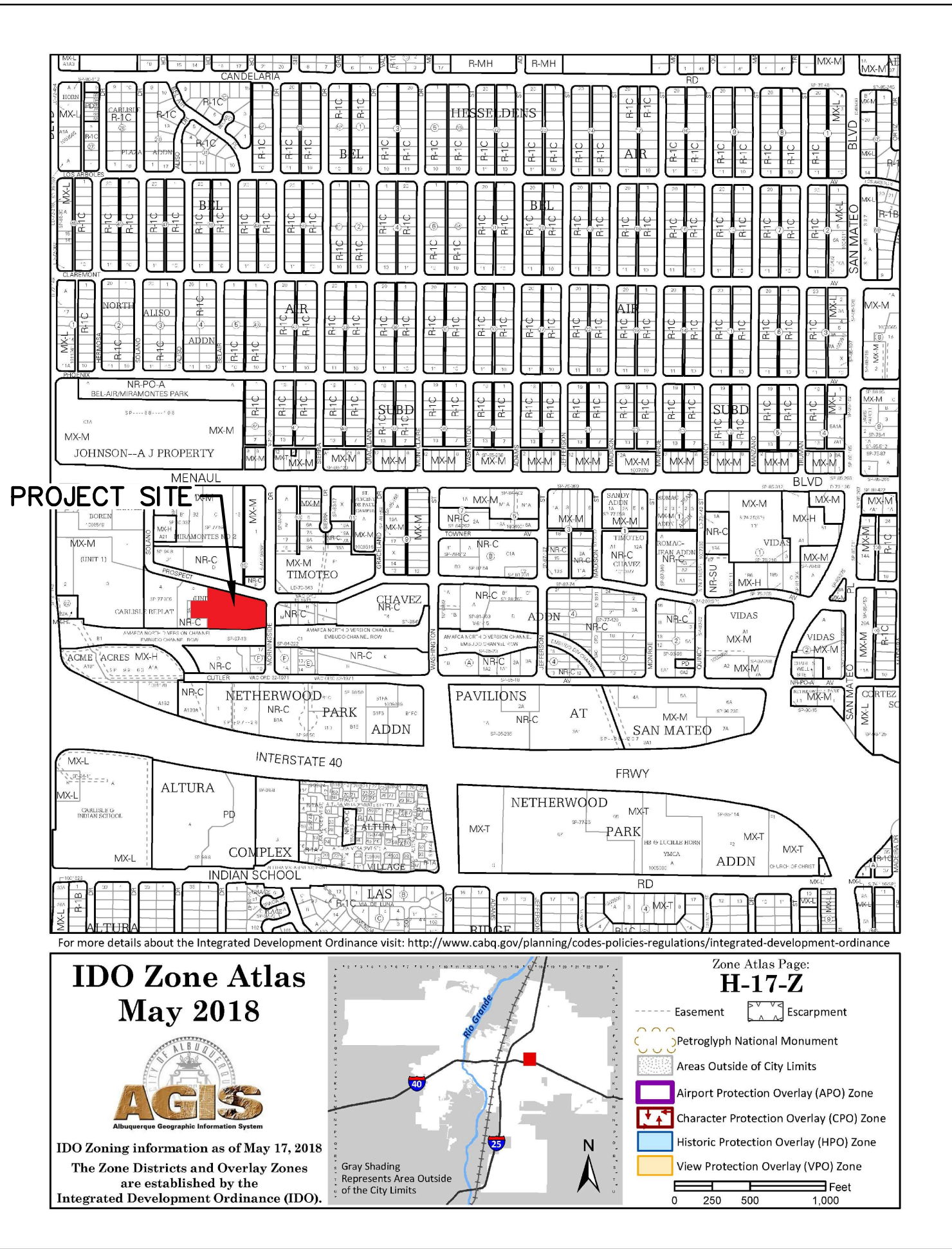
- ____ BUILDING PERMIT APPROVAL
____ CERTIFICATE OF OCCUPANCY
____ PRELIMINARY PLAT APPROVAL
____ SITE PLAN FOR SUB'D APPROVAL
____ SITE PLAN FOR BLDG. PERMIT APPROVAL
____ FINAL PLAT APPROVAL
____ SIA/ RELEASE OF FINANCIAL GUARANTEE
____ FOUNDATION PERMIT APPROVAL
X GRADING PERMIT APPROVAL
____ SO-19 APPROVAL
____ PAVING PERMIT APPROVAL
____ GRADING/ PAD CERTIFICATION
____ WORK ORDER APPROVAL
____ CLOMR/LOMR
____ FLOODPLAIN DEVELOPMENT PERMIT
____ OTHER (SPECIFY) _____

DATE SUBMITTED: 9-9-2021 By: Verlyn Miller

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____



B1 VICINITY MAP

SCALE: NOT TO SCALE

SITE LOCATION

The existing site is an approximate 2.5-acre site located at 4100 Prospect Ave NE. The site is bound on the north and east sides by existing City streets, the south side by an existing parking lot and the west by an existing apartment complex (see vicinity map this sheet).

EXISTING CONDITIONS

The existing site is estimated at 2.5 acres and is currently developed with a commercial development and associated parking lot areas.

The site does not lie within a 100-year FEMA floodplain (see FEMA panel on this sheet). The site is not adversely impacted by offsite flows. The site currently slopes from east to west.

PROPOSED CONDITIONS

The proposed project will consist of a new parking lot addition to be located east of the existing building. The site impervious area under proposed conditions will increase by 4454sf. The new parking lot will be graded to drain south toward the existing parking lot area. There is no room on the site for a first flush ponding area so the owner has agreed to pay a fine in lieu of first flush ponding. The drainage calculations for proposed conditions are indicated on this sheet.

CONCLUSIONS

When fully developed as indicated on the grading and drainage plan, the increased runoff from the site is estimated at 0.081 cfs and 0.057-acre feet during the 100-year, 24-hour event. Storm water runoff from the site will free discharge to its historical location. The owner has agreed to pay a fine in lieu of first flush ponding on this site.

GENERAL NOTES:

- EXISTING TOPOGRAPHIC DATA SHOWN ON THESE PLANS WAS PROVIDED BY SANDIA LAND SURVEYING LLC. MILLER ENGINEERING CONSULTANTS HAS UNDERTAKEN NO FIELD VERIFICATION OF THIS INFORMATION.
- ACS STA 6-G15
THE STATION IS LOCATED 2.2 MILES NORTH OF DOWNTOWN ALBUQUERQUE AT THE INTERSECTION OF CANDELARIA ROAD AND THE BNSF RAILROAD TRACKS. TO REACH THE STATION FROM THE INTERSECTION OF CANDELARIA ROAD AND I-25 NE, TRAVEL WEST ON CANDELARIA ROAD 0.8 MILES TO THE EAST SIDE OF THE BNSF RAILROAD TRACKS AND THE STATION ON THE RIGHT. THE STATION MARK IS A CITY OF ALBUQUERQUE SURVEY CONTROL 3" BRASS DISC STAMPED "6-G15 1979" SET IN A TRAFFIC SIGNAL BOX 0.6 FEET BELOW THE SURFACE OF THE GROUND ELEV. 4975.35 (NAVD 1988)
- THE CONTRACTOR IS RESPONSIBLE FOR ALL TEMPORARY SEDIMENT AND EROSION CONTROL DEVICES DURING THE CONSTRUCTION PHASE.
- CONTRACTOR SHALL OBTAIN A GRADING PERMIT FROM THE CITY OF ALBUQUERQUE, PRIOR TO ANY GRADING OR CONSTRUCTION.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION CONTRACTOR MUST CONTACT LINE LOCATING SERVICE 260-1990 FOR LOCATION OF EXISTING UTILITIES.
- ALL EMBANKMENTS SHALL BE PLACED AND COMPACTED IN LIFTS OF MAXIMUM OF 8". THE EMBANKMENTS SHALL BE WETTED AND COMPACTED TO 95% OPTIMUM DENSITY PER ASTM D1557 AND 95% UNDER ALL STRUCTURES INCLUDING DRIVEWAYS AND PARKING LOTS.
- MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER(S) OF THE PROPERTY SERVED.
- THE CONTRACTOR SHALL FIELD VERIFY LOCATION AND SIZE OF ALL UTILITIES PRIOR TO CONSTRUCTION.
- THE SUBJECT PROPERTY IS LOCATED WITHIN ZONE X (500 YEAR) DESIGNATING AREAS DETERMINED TO BE OUTSIDE THE 100-YEAR FLOOD PLANE, ACCORDING TO THE FLOOD INSURANCE RATE MAP, ALBUQUERQUE, NEW MEXICO AND UNINCORPORATED AREAS PER MAP NO 35001C 0332G.
- ALL WORK PERFORMED SHALL COMPLY WITH THE REQUIREMENTS OF THE CITY OF ALBUQUERQUE STORM DRAINAGE REGULATIONS. ALL WORK PERFORMED SHALL COMPLY WITH THE REQUIREMENTS OF THE CITY OF ALBUQUERQUE "GRADING AND DRAINAGE DESIGN REQUIREMENTS AND POLICIES FOR LAND DEVELOPMENT."
- THE OWNER, CONTRACTOR AND/OR BUILDER SHALL COMPLY WITH ALL APPROPRIATE LOCAL, STATE AND FEDERAL REGULATIONS AND REQUIREMENTS.
- THE CONTRACTOR SHALL TAKE ALL APPROPRIATE AND REASONABLE MEASURES TO PREVENT SEDIMENT OR POLLUTANT LADEN STORM WATER FROM EXITING THE SITE DURING CONSTRUCTION. STORMWATER MAY BE DISCHARGED IN A MANNER, WHICH COMPLIES WITH THE APPROVED GRADING AND DRAINAGE PLAN.
- THE CONTRACTOR SHALL TAKE ALL APPROPRIATE MEASURES TO PREVENT THE MOVEMENT OF CONSTRUCTION RELATED SEDIMENT, DUST, MUD, POLLUTANTS, DEBRIS, WASTE, ETC FROM THE SITE BY WIND, STORM FLOW OR ANY OTHER METHOD EXCLUDING THE INTENTIONAL, LEGAL TRANSPORTATION OF SAME IN A MANNER ACCEPTABLE BY THE CITY.
- THE CONTRACTOR SHALL NOT DISTURB AREAS OUTSIDE THE AREAS SHOWN AS "SLOPE LIMITS" ON THE GRADING AND DRAINAGE PLAN.
- SEE ARCHITECTURAL DRAWINGS FOR SIDEWALK AND HANDICAPPED RAMPS, DETAILS AROUND THE BUILDING.
- THE CONTRACTOR SHALL CONTACT THE PROJECT ENGINEER FOR CLARIFICATION IF THERE ARE ANY SPOT ELEVATIONS ON THE GRADING AND DRAINAGE PLAN WHICH APPEAR TO BE AMBIGUOUS OR DO NOT MEET THE INTENT OF THE GRADING AND DRAINAGE PLAN.
- THE CONTRACTOR SHALL CONTACT THE PROJECT ENGINEER FOR CLARIFICATION IF THERE ARE SIDEWALKS OR CONCRETE FLATWORK WHICH DOES NOT MEET ADA ACCESSIBILITY REQUIREMENTS. ALL SIDEWALKS SHALL HAVE A MAXIMUM CROSS SLOPE OF 2.0%, ALL SIDEWALKS SHALL HAVE A MAXIMUM LONGITUDINAL SLOPE OF 5.0%, AND ALL RAMPS SHALL HAVE A MAXIMUM LONGITUDINAL SLOPE OF 15:1.
- ALL SIDEWALKS AND CONCRETE FLATWORK SHALL HAVE A MINIMUM OF 0.5% SLOPE. CONTRACTOR SHALL CONTACT PROJECT ENGINEER IF THERE ARE SIDEWALKS OR CONCRETE FLATWORK WHICH DO NOT MEET THIS REQUIREMENT.
- THE CONTRACTOR SHALL SUBMIT MATERIAL SUBMITTALS, CUT SHEETS AND SHOP DRAWINGS FOR ALL CIVIL RELATED ITEMS FOR REVIEW PRIOR TO CONSTRUCTION.
- THIS PROJECT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS (UPDATE 8, AMENDMENT 1)
- ALL EXISTING MANHOLES, VALVES AND METERS SHALL BE ADJUSTED TO NEW FINISH GRADE.

HYDROLOGY CALCULATIONS

Precipitation Zone 2 - 100-year Storm					P(360) =	2.35 in	P(1440) =	2.75 in	
Basin	Basin Area (Ac)	Land Treatment Factors				Ew (in)	V(100-6) (af)	V(100-24) (af)	Q(100) (cfs)
		A	B (Acres)	C	D				
Existing Conditions									
Site	2.500	0.000	0.370	0.380	1.750	1.771	0.369	0.427	10.262
Total	2.500							0.427	10.262
Proposed Conditions									
Site	2.500	0.000	0.280	0.000	2.220	1.97	0.410	0.484	11.072
Total	2.500							0.484	11.072

FIRST FLUSH CALCULATIONS

FIRST FLUSH =(4454 SF * 0.42"/12) = 156 CF

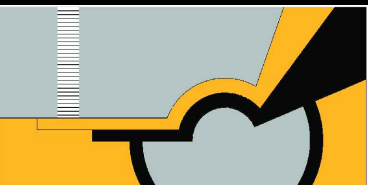
PAYMENT-IN-LIEU = 156 CF* \$8/CF = \$1,248.00



CIVIL DRAWING INDEX

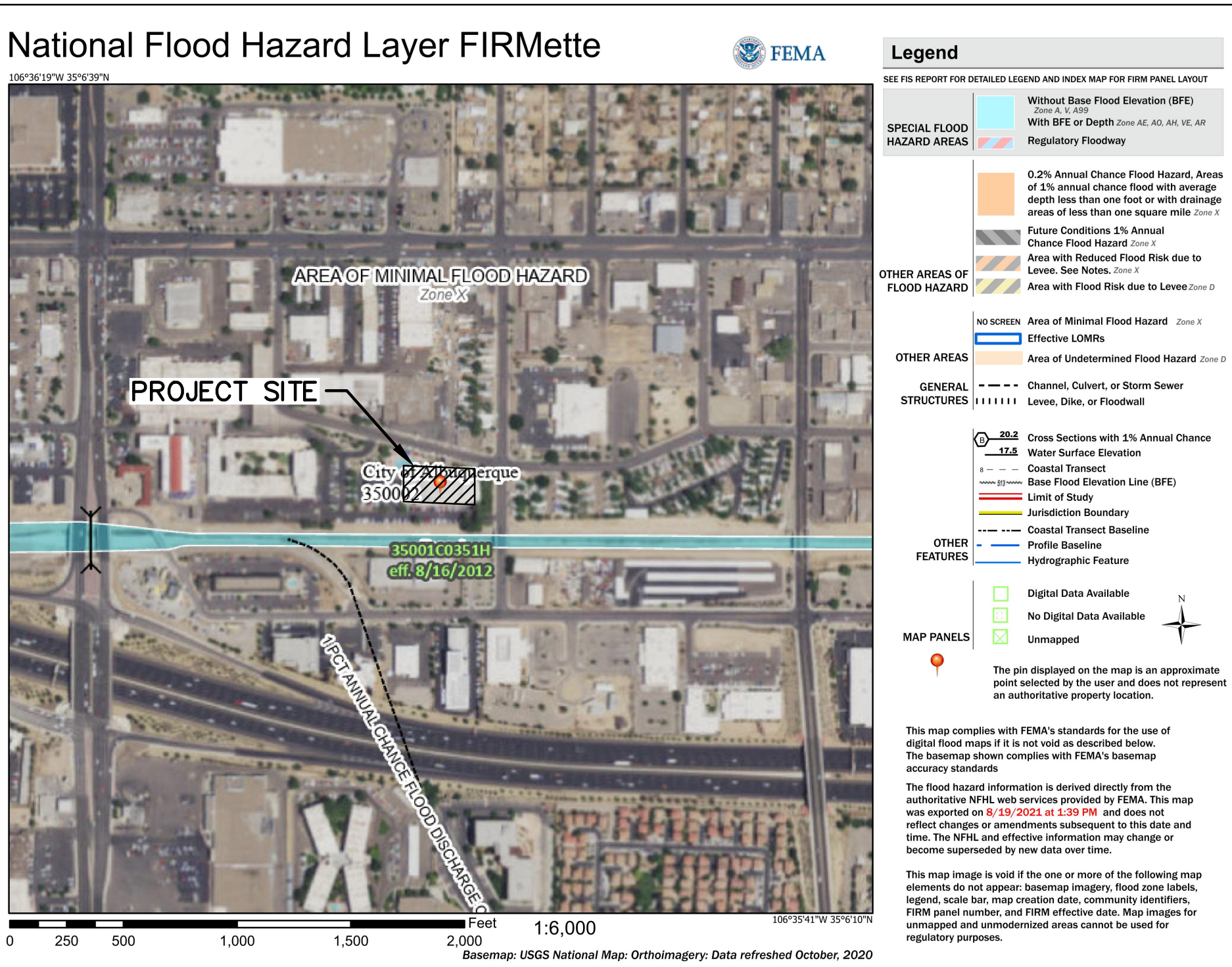
SHEET No.	SHEET TITLE
C-100	HYDROLOGY PLAN AND DRAWING INDEX
C-101	GRADING AND DRAINAGE PLAN



No	Revision	Item	Date
1		ADDED 1st FLUSH PAYMENT PER COA COMMENTS	11/01/21
 SCOTT C. ANDERSON & associates architects 4419 4th st ne, suite b albuquerque, nm 87107 scott@scottarchitects.com 505.460.1575			
MIDTOWN SPORTS AND WELLNESS 4100 PROSPECT AVE NE ALBUQUERQUE NM, 87110			
DRAWING TITLE HYDROLOGY PLAN AND INDEX			
SEAL	DESIGNED	MEC	PROJECT NO
	DRAWN	MEC	SCALE NOTED
	CHECKED	VAM	DRAWING NO
	REVIEWED		
DATE 8/26/21		C-100 OF	

A1 FLOOD ZONE MAP

FLOOD ZONE MAP: 35001C0351H



GENERAL SHEET NOTES

1. TWO WORKING DAYS PRIOR TO ANY EXCAVATION CONTRACTOR MUST CONTACT LINE LOCATING SERVICE 260-1990 FOR LOCATION OR EXISTING UTILITIES.
2. BACKFILL AND COMPACTION FOR SITEWORK SHALL BE ACCORDING TO THE GEOTECHNICAL REPORT FOR THE PROJECT.
3. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER(S) OF THE PROPERTY SERVED.
4. THE CONTRACTOR SHALL FIELD VERIFY LOCATION AND SIZE OF ALL UTILITIES PRIOR TO CONSTRUCTION.
5. ALL DISTURBED AREAS SHALL RECEIVE LANDSCAPE FABRIC WITH SEEDING, SEE GENERAL NOTES.
6. CONTRACTOR SHALL FIELD VERIFY THE FINISH FLOOR ELEVATIONS ON THE EXISTING BUILDINGS AND NOTIFY THE PROJECT ENGINEER OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
7. CONTRACTOR SHALL CONTACT THE PROJECT ENGINEER IF THERE IS A CONFLICT BETWEEN THE STORM DRAIN LINES AND EXISTING UTILITIES, SO THAT THE PROPER ADJUSTMENTS CAN BE MADE PRIOR TO CONSTRUCTION.
8. FOR ADDITIONAL SITE KEYNOTES AND SPOT ELEVATIONS SEE SHEET C-101.

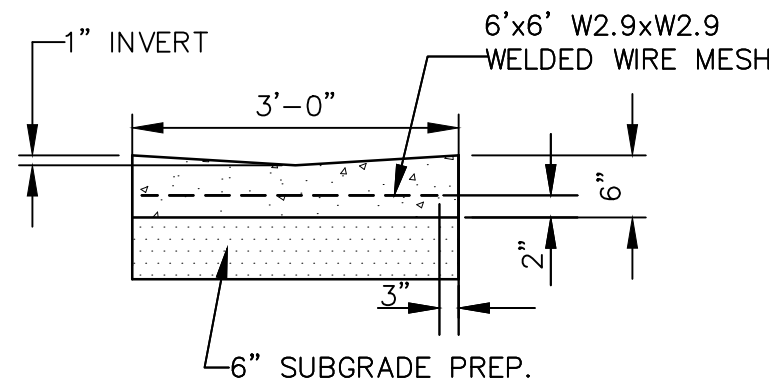
LEGEND:

• 38.00 FG	PROPOSED SPOT ELEVATIONS (FINISHED GRADE)
• MATCH (95.19)	MATCH EXISTING ELEVATIONS
TCON	TOP OF CONCRETE
FL	FLOW LINE, CURB
INV	INVERT
FG	FINISH GRADE
TBC	TOP OF BASE COURSE
TC	TOP OF CURB
TG	TOP OF GRATE
TA	TOP OF ASPHALT
→	FLOW ARROW
==	GRADE BREAK-HIGH POINT
---	SWALE
SD	STORM DRAIN LINE
5895	PROPOSED MAJOR CONTOUR
5895	PROPOSED MINOR CONTOUR
5895	EXISTING MAJOR CONTOUR
5895	EXISTING MINOR CONTOUR

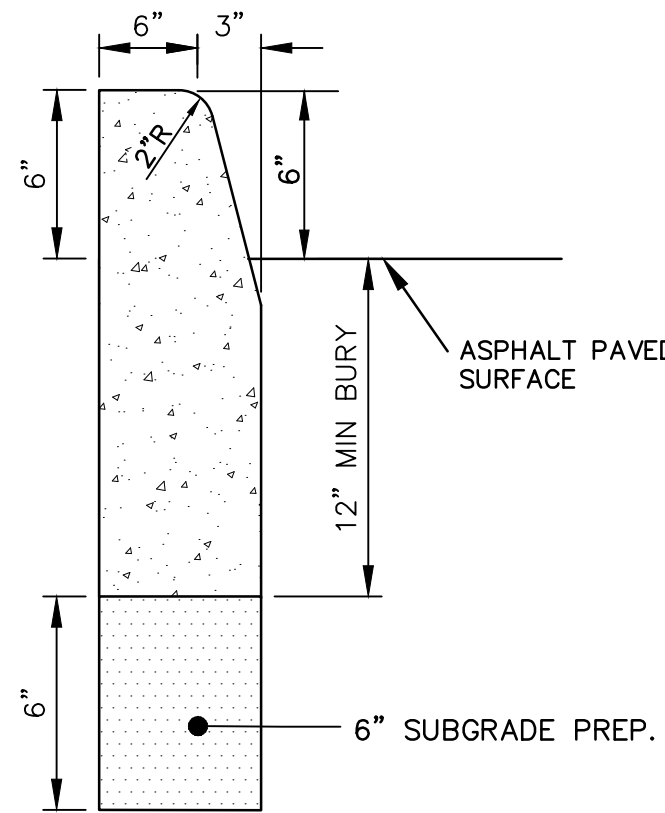
KEYED NOTES:

1. EXISTING BUILDING TO REMAIN.
2. EXISTING DRIVE ENTRANCE.
3. NEW PARKING SPACES, PAINTED MARKINGS AND SHALL BE IN ACCORDANCE WITH THE LATEST VERSION OF THE MUTCD AND NMAPWA STANDARD DETAILS AND SPECIFICATIONS. CONTRACTOR SHALL SUBMIT A PAVEMENT MARKING LAYOUT TO PROJECT ARCHITECT AND ENGINEER FOR REVIEW PRIOR TO CONSTRUCTION.
4. NEW HEADER CURB AS PER C.O.A. STANDARD DWG. 2415B.
5. EXISTING HEADER CURB TO REMAIN.
6. SAWCUT, REMOVE AND REPLACE EXISTING ASPHALT. SAWCUT TO CLEAN STRAIGHT EDGE AND MATCH EXISTING GRADE ELEVATION.
7. NEW HEAVY DUTY ASPHALT HMA PAVING SEE ARCHITECTURAL DRAWINGS.
8. EXISTING PARKING AND DRIVE LANE TO REMAIN.
9. APPROXIMATE LOCATION OF EXISTING PROPERTY LINE.
10. NOT USED.
11. EXISTING 6' SIDEWALK TO REMAIN.
12. EXISTING FENCE TO REMAIN.
13. NEW 36" CONCRETE VALLEY GUTTER SEE DETAIL THIS SHEET.
14. NOT USED.
15. NEW RETAINING WALL WITH GUARDRAIL WALL PROTECTION. SEE STRUCTURAL PLANS FOR DETAILS.
16. EXISTING TREE TO BE REMOVED.
17. EXISTING SIDEWALK TO REMAIN.
18. EXISTING CURB TO BE REMOVED.

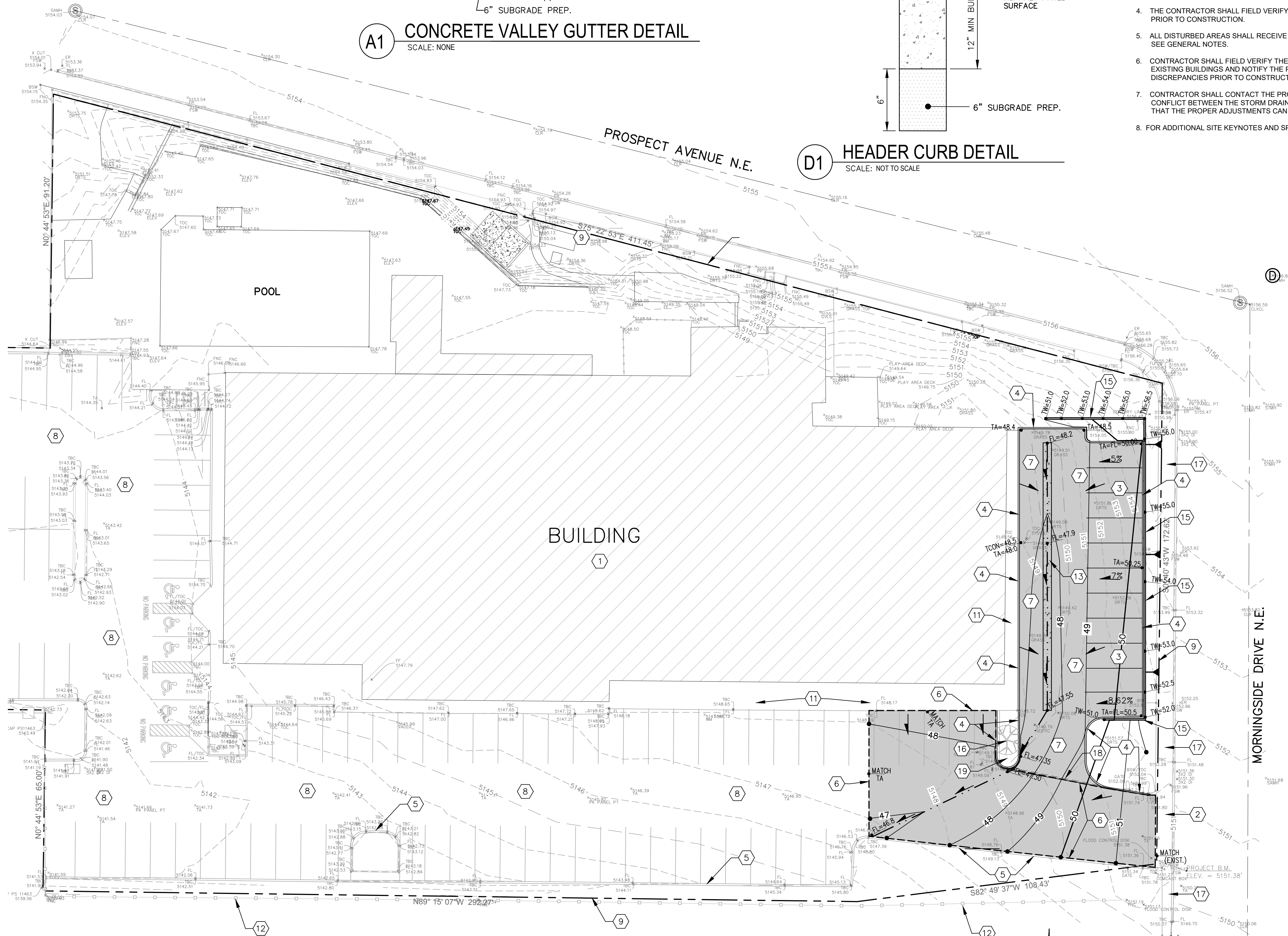
A1 CONCRETE VALLEY GUTTER DETAIL
SCALE: NONE



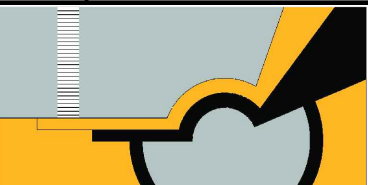
D1 HEADER CURB DETAIL
SCALE: NOT TO SCALE



A1 GRADING AND DRAINAGE PLAN
SCALE: 1"=20'



ME MILLER ENGINEERING CONSULTANTS
Engineers • Planners
3500 COMANCHE, NE
BUILDING F
ALBUQUERQUE, NM 87107
(505)888-7500
(505)888-3800 (FAX)

No	Revision	Item	Date
 SCOTT C. ANDERSON & associates architects 4419 4th st n.w., suite b albuquerque, nm 87107 scott@scottanderson.com 505.490.1575			
MIDTOWN SPORTS AND WELLNESS 4100 PROSPECT AVE NE ALBUQUERQUE NM, 87110			
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			C-101 OF