



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

Project Title: Blvd 2500 **Building Permit #** _____ **Hydrology File #** _____

DRB# PR-2018-00158 **EPC#** _____

Legal Description: TRS 1 2 & 3 Unit 1 Together w/TRS 4 5 & 6A Unit 2
Dale J Bellamahs Carlisle Replat & Lot 22A Plat of Lt 22A City Address OR Parcel 2500 & 2412 Carlisle Blvd NE
Blk 22 Timoteo Chavez Addition & Port of BLKS N & O Timoteo Chavez Addition

Applicant/Agent: Tierra West LLC **Contact:** VINNY PEREA

Address: 5571 Midway Park Place NE Albuquerque, NM 87109 **Phone:** 505-858-3100

Email: vperea@tierrawestllc.com

Applicant/Owner: Rhino Investments NM Hotel LLC **Contact:** Sanjiv Chopra

Address: 101 E Vineyard Ave Suite 201 **Phone:** 702-843-4251

Email: sanjiv@rhinoig.com

TYPE OF DEVELOPMENT: ☒ PLAT (#of lots) 3 RESIDENCE ☐ DRB SITE ☐ ADMIN SITE: ☐

RE-SUBMITTAL: ☐ YES ☒ NO

DEPARTMENT: ☒ TRANSPORTATION ☐ HYDROLOGY/DRAINAGE

Check all that apply:

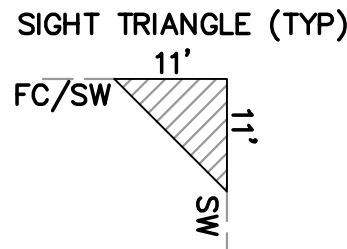
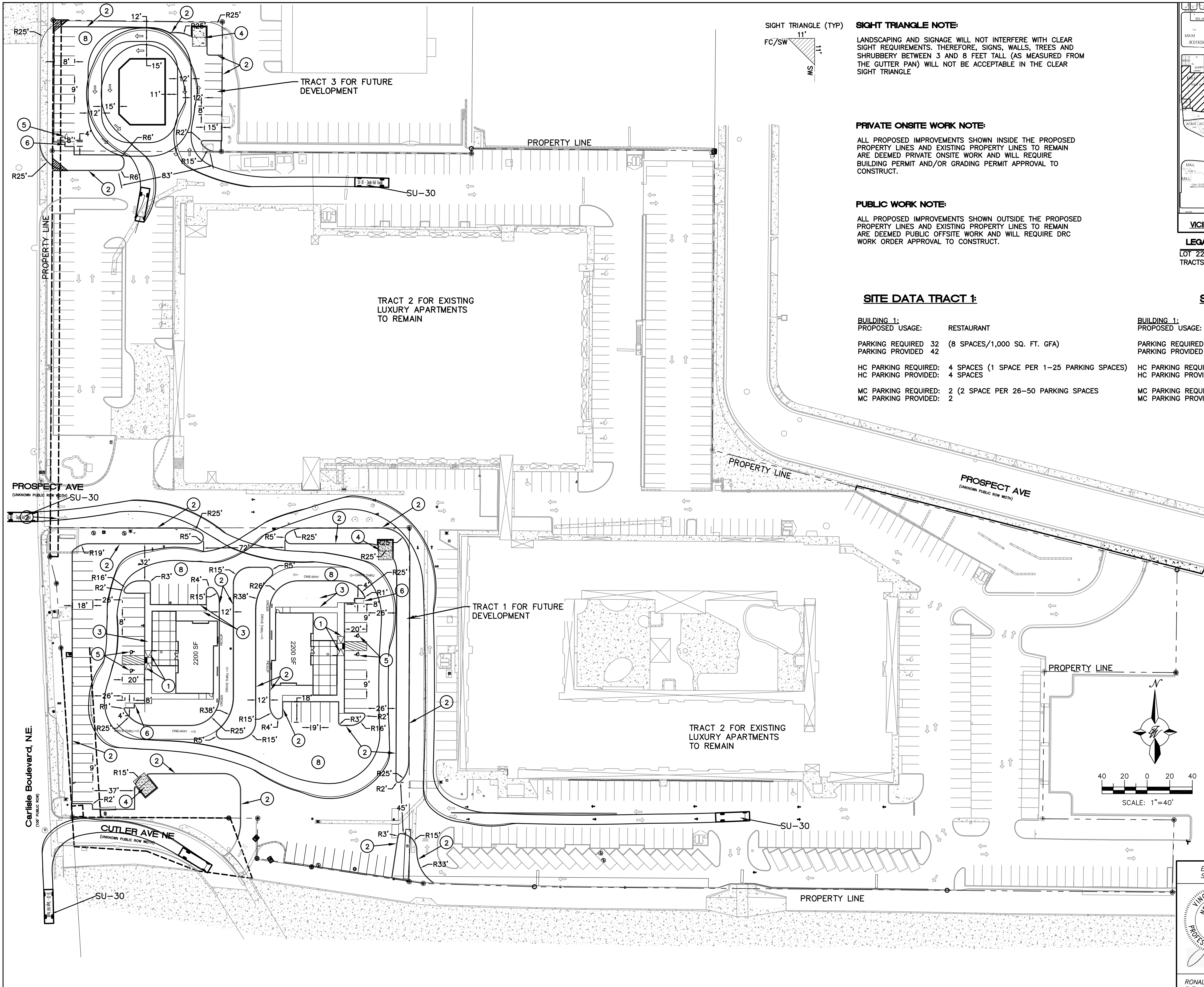
TYPE OF SUBMITTAL:

- ☐ ENGINEER/ARCHITECT CERTIFICATION
- ☐ PAD CERTIFICATION
- ☐ CONCEPTUAL G&D PLAN
- ☐ GRADING PLAN
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE MASTER PLAN
- ☐ FLOOD PLAN DEVELOPMENT PERMIT APP.
- ☐ ELEVATION CERTIFICATE
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ADMINISTRATIVE
- ☒ TRAFFIC CIRCULATION LAYOUT FOR DRB APPROVAL (CONCEPTUAL)
- ☐ TRAFFIC IMPACT STUDY (TIS)
- ☐ STREET LIGHT LAYOUT
- ☐ OTHER (SPECIFY)
- ☐ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY
- ☒ CONCEPTUAL TCL DRB APPROVAL
- ☒ PRELIMINARY PLAT APPROVAL
- ☐ SITE PLAN FOR SUB'D APPROVAL
- ☐ SITE PLAN FOR BLDG PERMIT APPROVAL
- ☒ FINAL PLAT APPROVAL
- ☐ SIA/RELEASE OF FINANCIAL GUARANTEE
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ GRADING PAD CERTIFICATION
- ☐ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ FLOOD PLAN DEVELOPMENT PERMIT
- ☐ OTHER (SPECIFY) _____

DATE SUBMITTED: 02.22.2023



SIGHT TRIANGLE NOTE:
LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.

PRIVATE ONSITE WORK NOTE:
ALL PROPOSED IMPROVEMENTS SHOWN INSIDE THE PROPOSED PROPERTY LINES AND EXISTING PROPERTY LINES TO REMAIN ARE DEEMED PRIVATE ONSITE WORK AND WILL REQUIRE BUILDING PERMIT AND/OR GRADING PERMIT APPROVAL TO CONSTRUCT.

PUBLIC WORK NOTE:
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SITE DATA TRACT 1:

BUILDING 1:
PROPOSED USAGE: RESTAURANT
PARKING REQUIRED 32 (8 SPACES/1,000 SQ. FT. GFA)
PARKING PROVIDED 42
HC PARKING REQUIRED: 4 SPACES (1 SPACE PER 1-25 PARKING SPACES)
HC PARKING PROVIDED: 4 SPACES
MC PARKING REQUIRED: 2 (2 SPACE PER 26-50 PARKING SPACES)
MC PARKING PROVIDED: 2

SITE DATA TRACT 3:

BUILDING 1:
PROPOSED USAGE: RESTAURANT
PARKING REQUIRED 16 (8 SPACES/1,000 SQ. FT. GFA)
PARKING PROVIDED 22
HC PARKING REQUIRED: 1 SPACES (1 SPACE PER 1-25 PARKING SPACES)
HC PARKING PROVIDED: 1 SPACES
MC PARKING REQUIRED: 1 (1 SPACE PER 1-25 PARKING SPACES)
MC PARKING PROVIDED: 1

KEYED NOTES

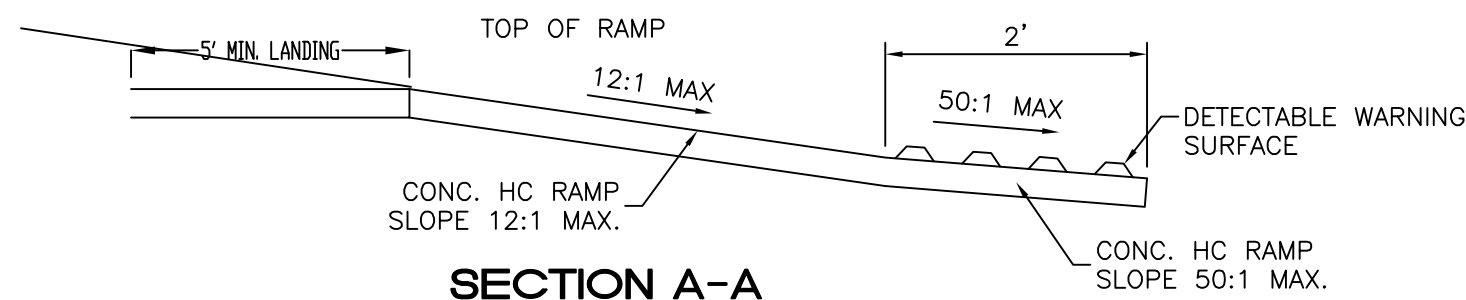
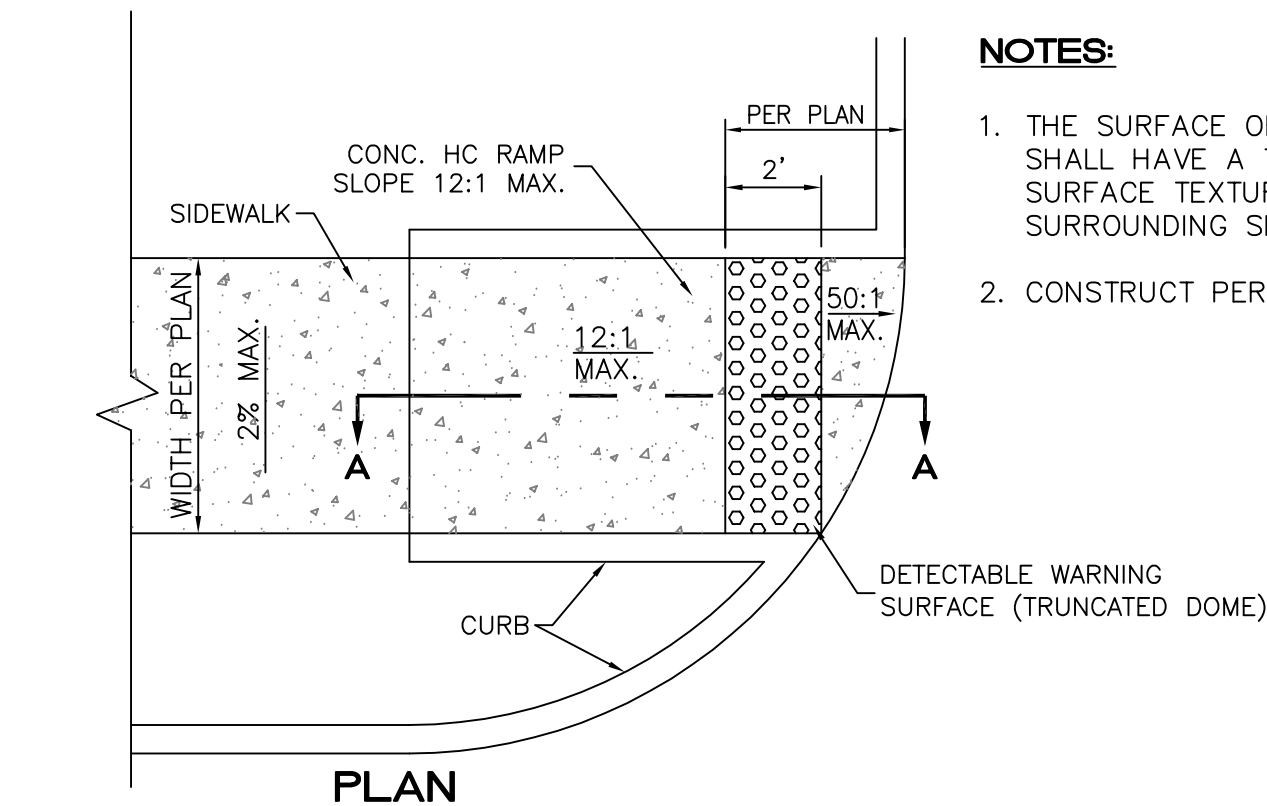
- UNIDIRECTIONAL ACCESSIBLE RAMP PER COA STD 2443 AND DETECTABLE WARNING SURFACE PER COA STD 2446
- 6" CURB AND GUTTER PER COA STD 2415A
- CONCRETE SIDEWALK PER COA STD 2430, WIDTH PER PLAN
- DUMPSTER W/RECYCLING
- ACCESSIBLE PARKING W/ WHEEL STOP AND SIGN PER ADA AND NMSA STANDARDS
- 4'x8'D MOTORCYCLE PARKING W/SIGN
- NEW PUBLIC ASPHALT PAVEMENT EXTENSION, MATCH EXISTING PAVEMENT SECTION
- PRIVATE ONSITE ASPHALT PAVEMENT, PAVEMENT SECTION PER GEOTECH REPORT

LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- BUILDING
- PROPOSED SIDEWALK
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE
- PARKING COUNT (NOT INCL. MC SPACES)
- CLEAR SIGHT TRIANGLE
- PROPOSED PUBLIC ASPHALT PAVEMENT
- PROPOSED BICYCLE RACK (2 SPACES)
- 6'-WIDE ADA PEDESTRIAN ROUTE

VEHICLE TRACKING NOTE:
AN AASHTO 2011 SU-30 WAS USED.

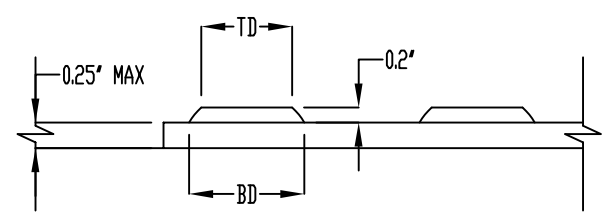
	BLVD 2500 ALBUQUERQUE, NM	DRAWN BY SB
	TRAFFIC CIRCULATION LAYOUT	DATE 01-16-23
	TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	DRAWING
		SHEET # TCL-1
RONALD R. BOHANNAN P.E. #7868		JOB # 2022083



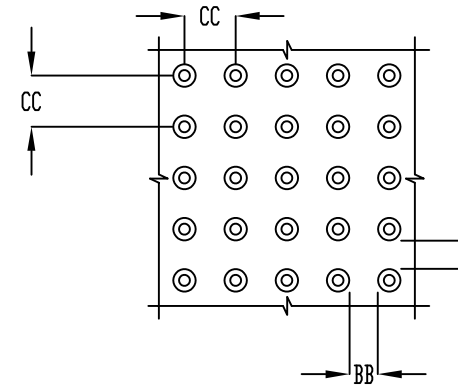
UNIDIRECTIONAL HC RAMP
NOT TO SCALE

NOTES:

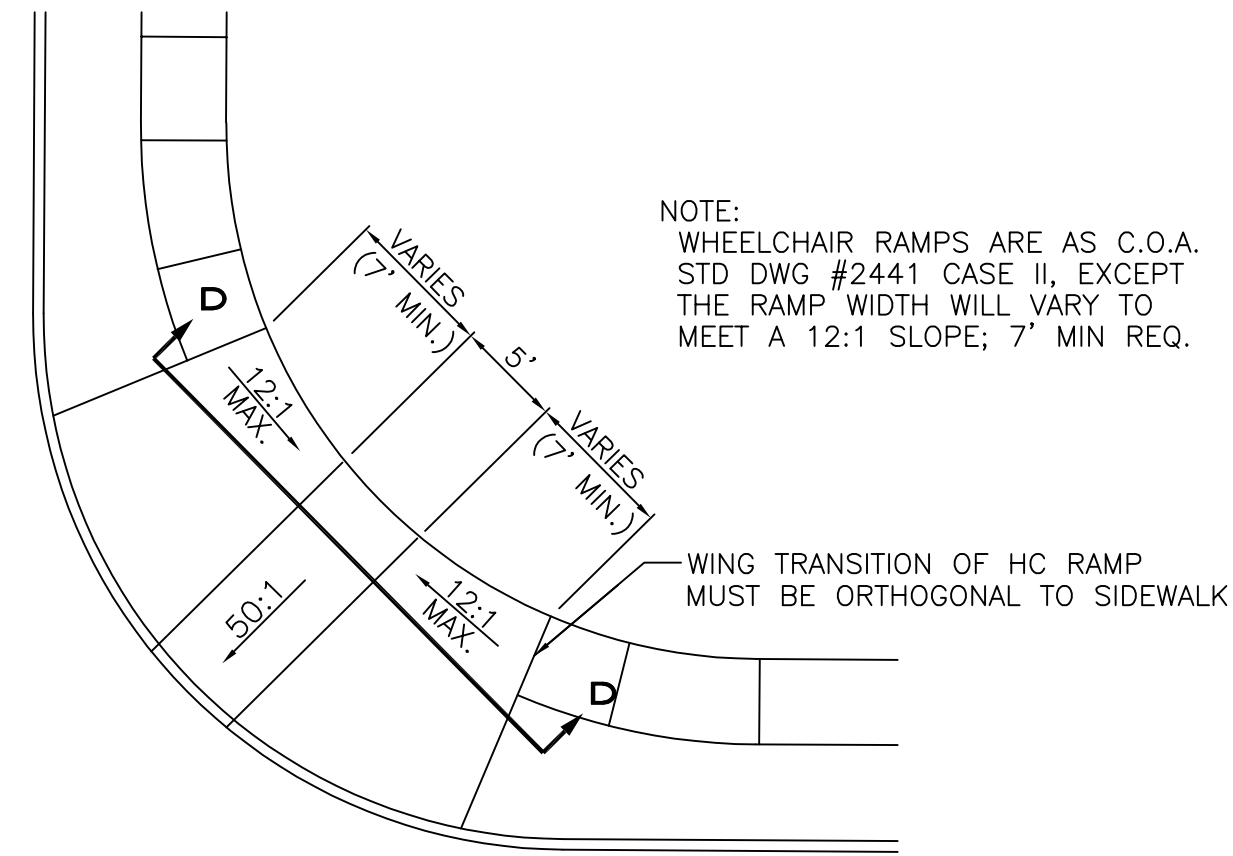
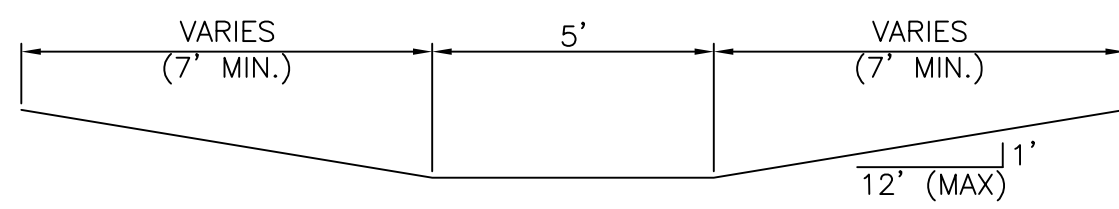
1. THE SURFACE OF RAMP AND SIDES SHALL HAVE A TRANSVERSE BROOMED SURFACE TEXTURE ROUGHER THAN THE SURROUNDING SIDEWALK.
2. CONSTRUCT PER A.D.A. STANDARDS.



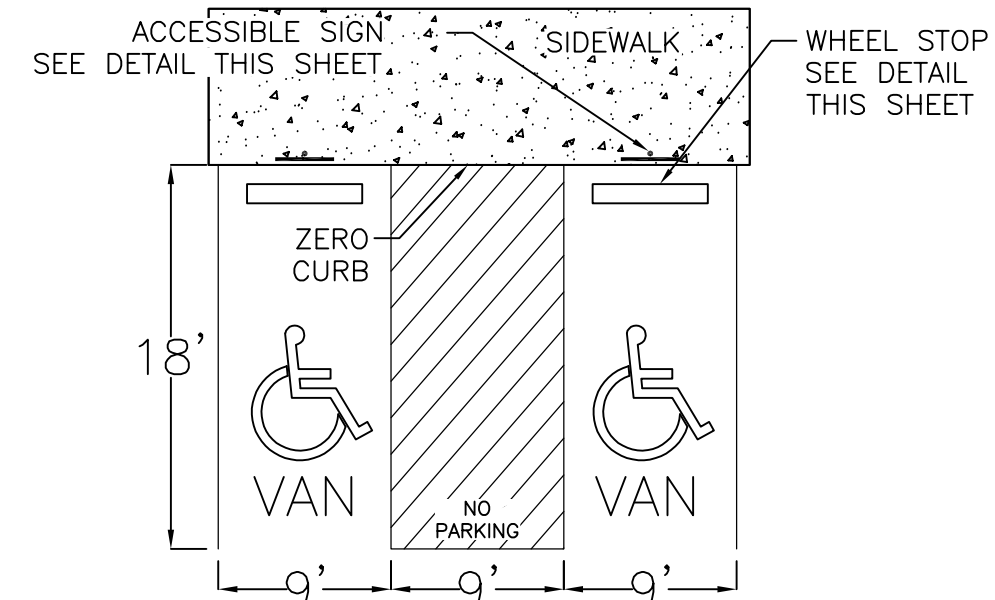
BD - BASE DIAMETER 0.9" MIN
TD - TOP DIAMETER 50% OF BD MIN TO 65% OF BD MAX



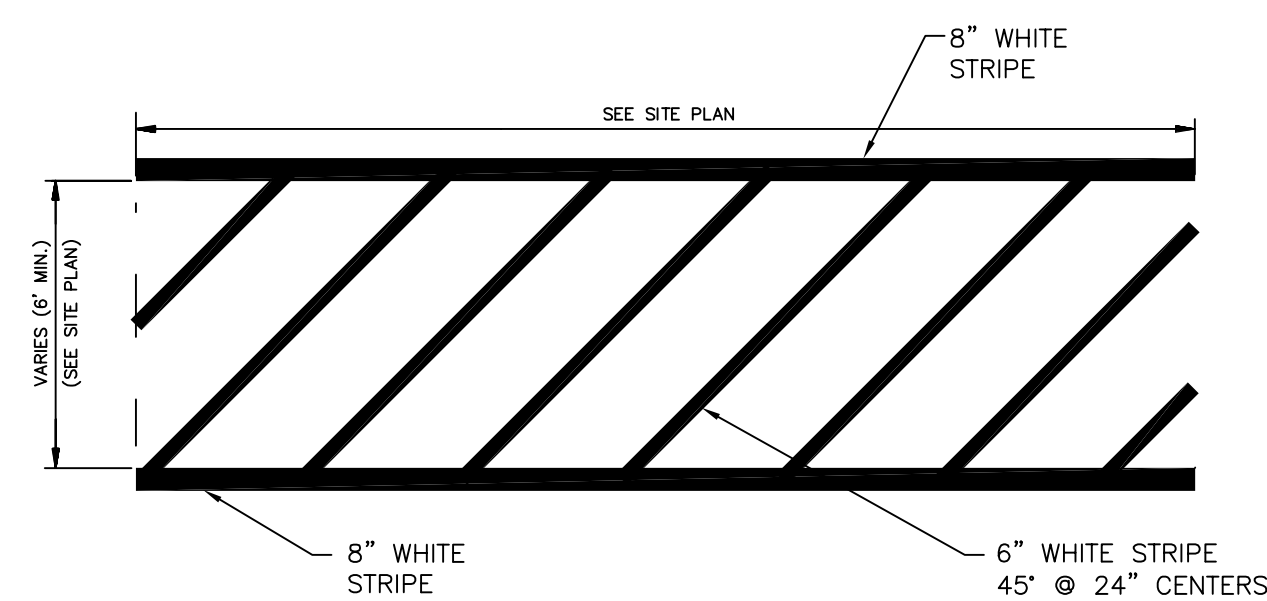
CC - CENTER TO CENTER SPACING 2.35"
BB - BASE TO BASE SPACING 1.48" MIN



NOTE:
WHEELCHAIR RAMPS ARE AS C.O.A. STD DWG #2441 CASE II, EXCEPT THE RAMP WIDTH WILL VARY TO MEET A 12:1 SLOPE; 7' MIN REQ.

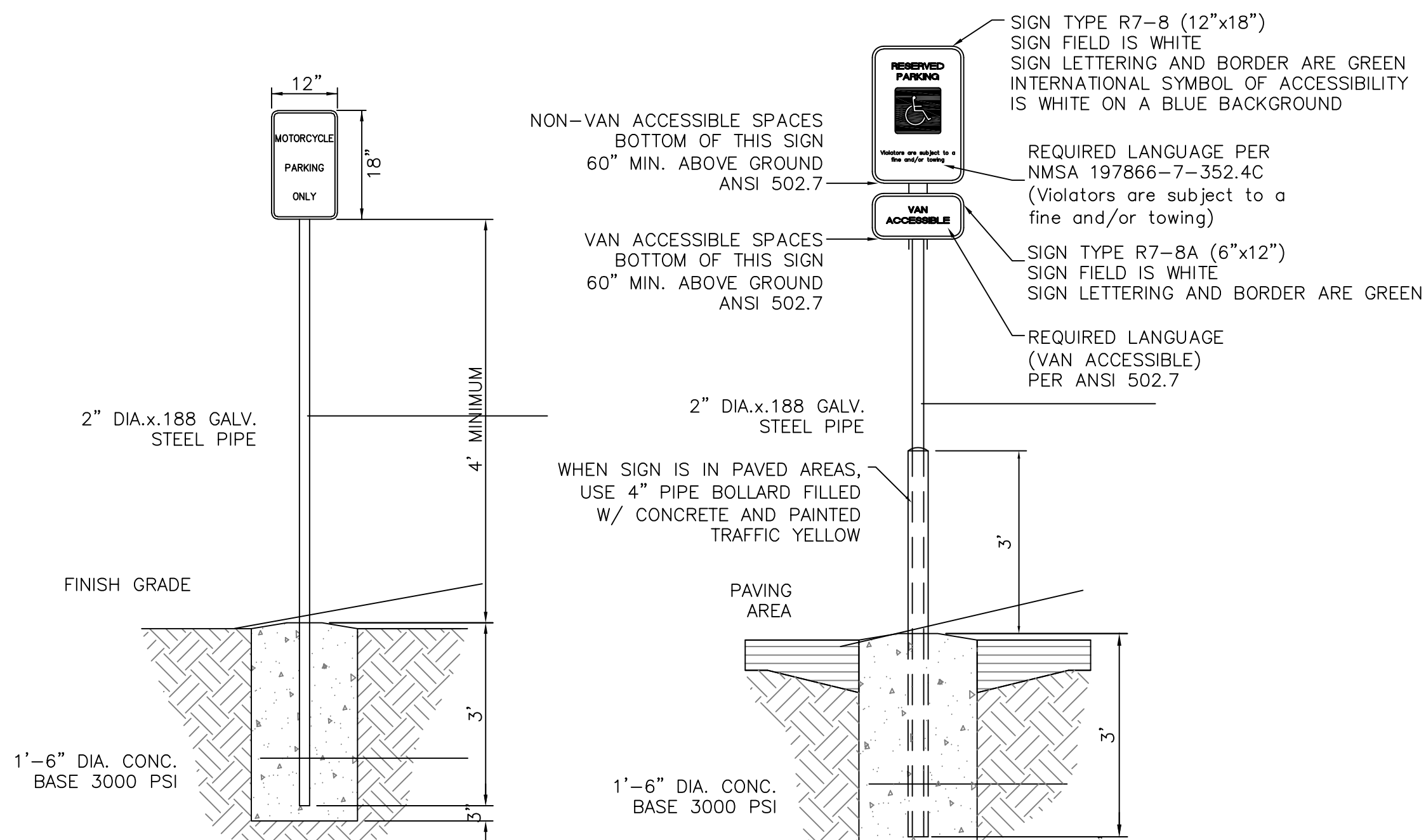


- NOTES:**
- 1) International Symbol of Accessibility shall be painted on the pavement at rear of space, white symbol on blue background.
 - 2) Parking space lines and diagonal striping to be painted blue.
 - 3) Access aisle shall have the words "NO PARKING" in capital letters, each of which shall be at least one foot high and at least two inches wide, placed at the rear of the parking space so as to be close to where an adjacent vehicle's rear tires would be placed.



- NOTE:**
1. MARKINGS WITHIN PRIVATE PARKING LOT SHALL BE PER THIS DETAIL.
 2. THESE MARKINGS ARE TO BE PAINTED REFLECTIVE WHITE.

CROSSWALK/PED. CROSSING
NTS



SIGN TYPE R7-8 (12"x18")
SIGN FIELD IS WHITE
SIGN LETTERING AND BORDER ARE GREEN
INTERNATIONAL SYMBOL OF ACCESSIBILITY IS WHITE ON A BLUE BACKGROUND

REQUIRED LANGUAGE PER NMSA 197866-7-352.4C (Violators are subject to a fine and/or towing)

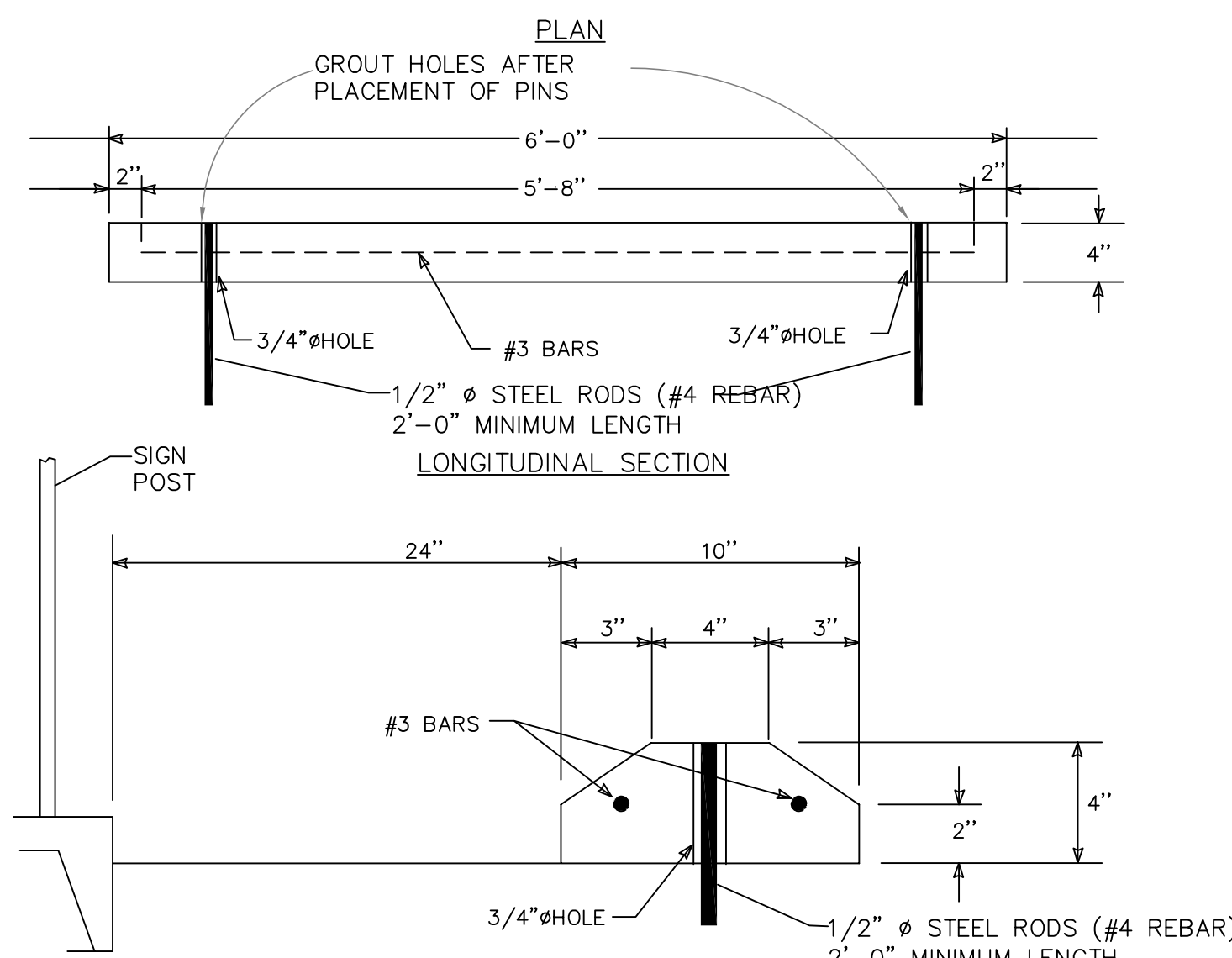
SIGN TYPE R7-8A (6"x12")
SIGN FIELD IS WHITE
SIGN LETTERING AND BORDER ARE GREEN

REQUIRED LANGUAGE (VAN ACCESSIBLE) PER ANSI 502.7

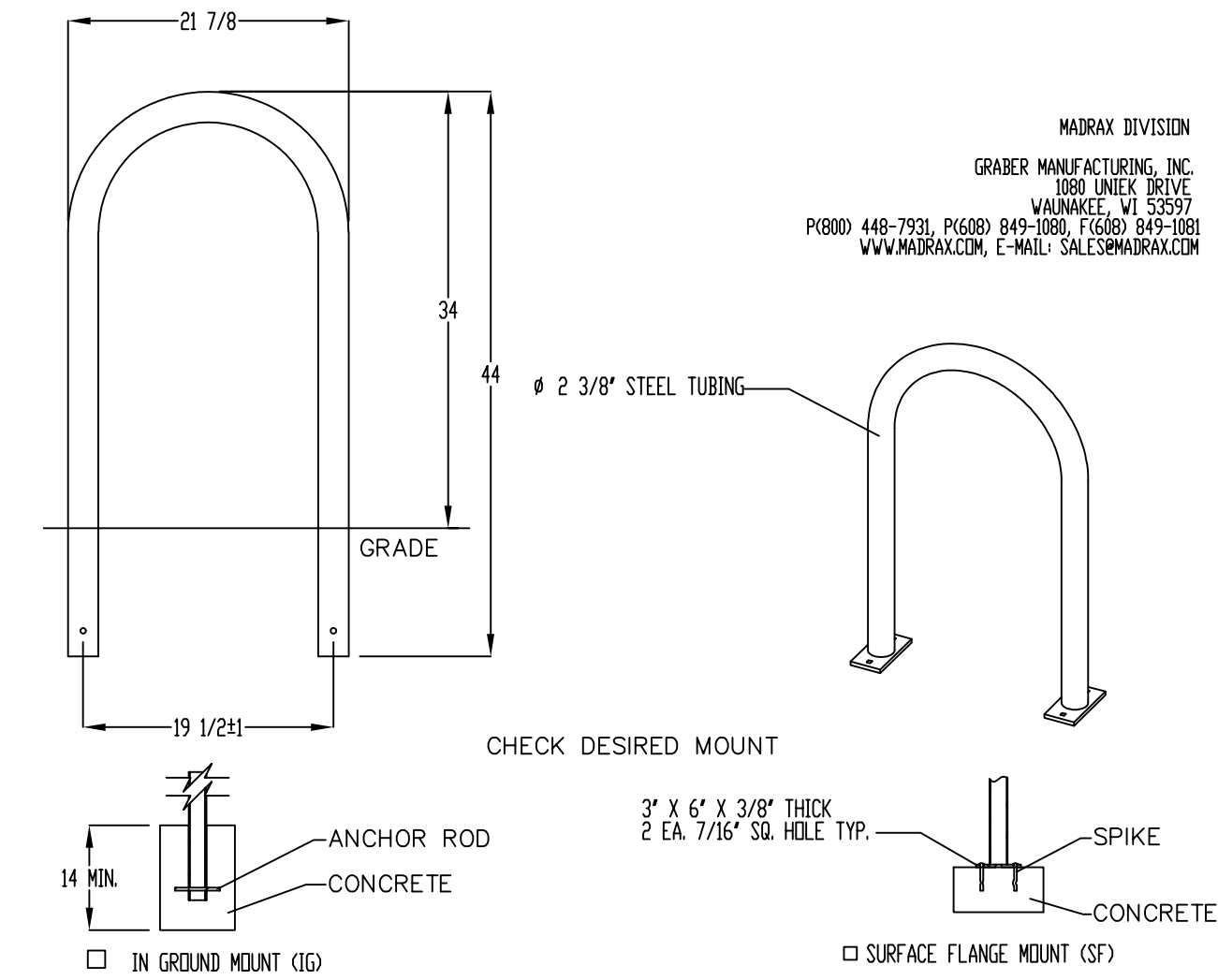
NON-VAN ACCESSIBLE SPACES
BOTTOM OF THIS SIGN
60" MIN. ABOVE GROUND
ANSI 502.7

VAN ACCESSIBLE SPACES
BOTTOM OF THIS SIGN
60" MIN. ABOVE GROUND
ANSI 502.7

WHEN SIGN IS IN PAVED AREAS,
USE 4" PIPE BOLLARD FILLED
W/ CONCRETE AND PAINTED
TRAFFIC YELLOW



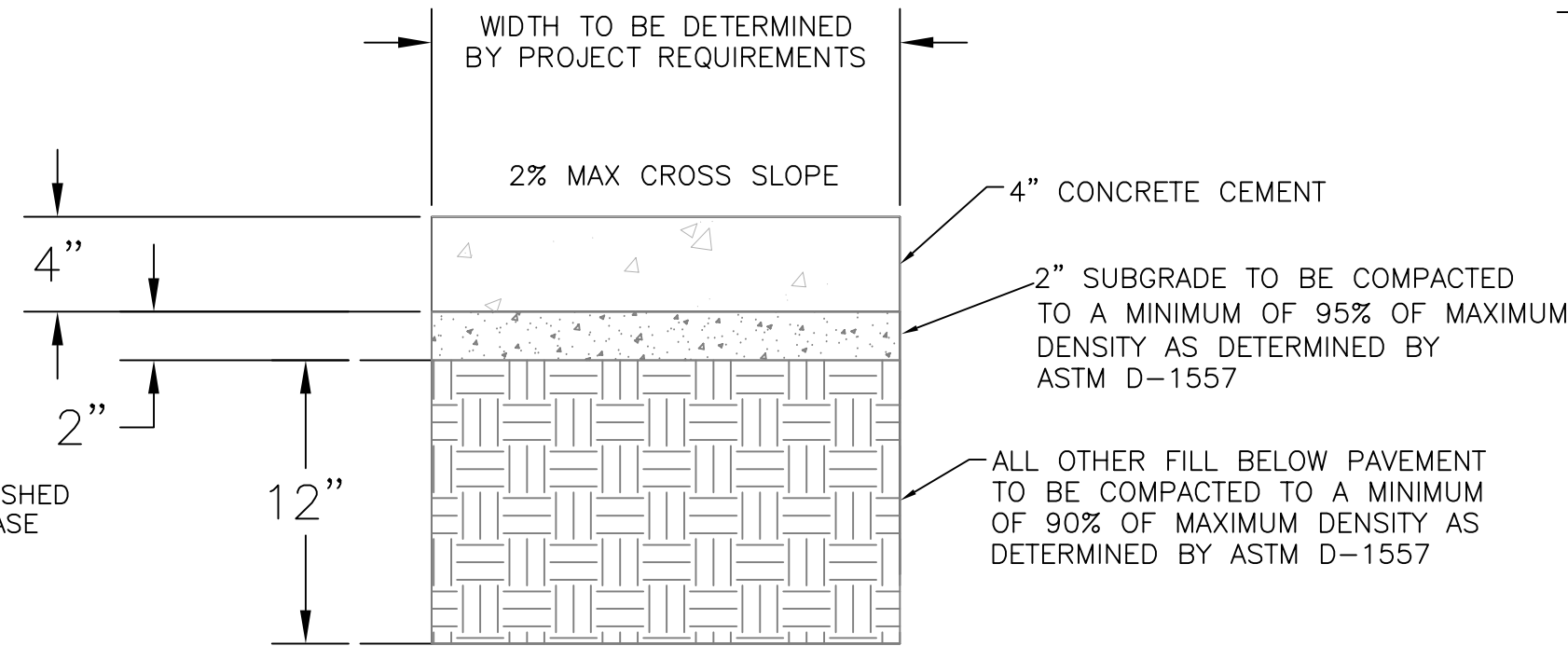
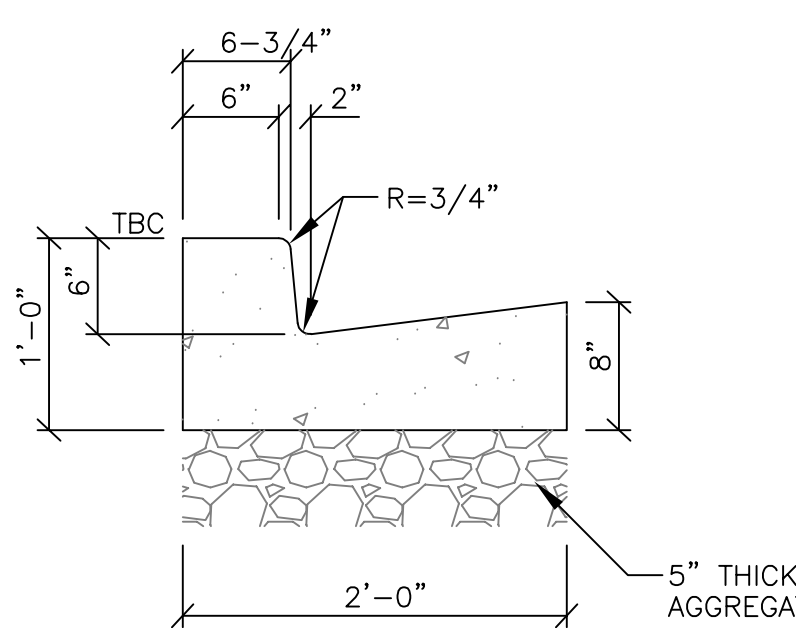
WHEEL STOP



- PRODUCT: U238-1G(SF)
DESCRIPTION: "U" BIKE RACK
2 BIKE, SURFACE OR IN GROUND MOUNT
- DATE: 10-4-18
ENG: SMC
- CONFIDENTIAL DRAWING AND INFORMATION IS NOT TO BE COPIED OR DISCLOSED TO OTHERS WITHOUT THE CONSENT OF GRABER MANUFACTURING, INC. SPECIFICATIONS ARE SUBJECT TO CHANGE WITHOUT NOTICE.
- ©2018 GRABER MANUFACTURING, INC. ALL PROPRIETARY RIGHTS RESERVED.
- NOTES:**
1. INSTALL BIKE RACKS ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
 2. CONSULTANT TO SELECT COLOR FINISH. SEE MANUFACTURER'S SPECIFICATIONS.
 3. SEE SITE PLAN FOR LOCATION OR CONSULT OWNER.
 3. BIKE RACK SHALL HAVE A 1-FOOT CLEAR ZONE ALL AROUND.
 3. EACH BIKE RACK SPACE SHALL BE AT LEAST 6 FEET LONG AND 2 FEET WIDE.

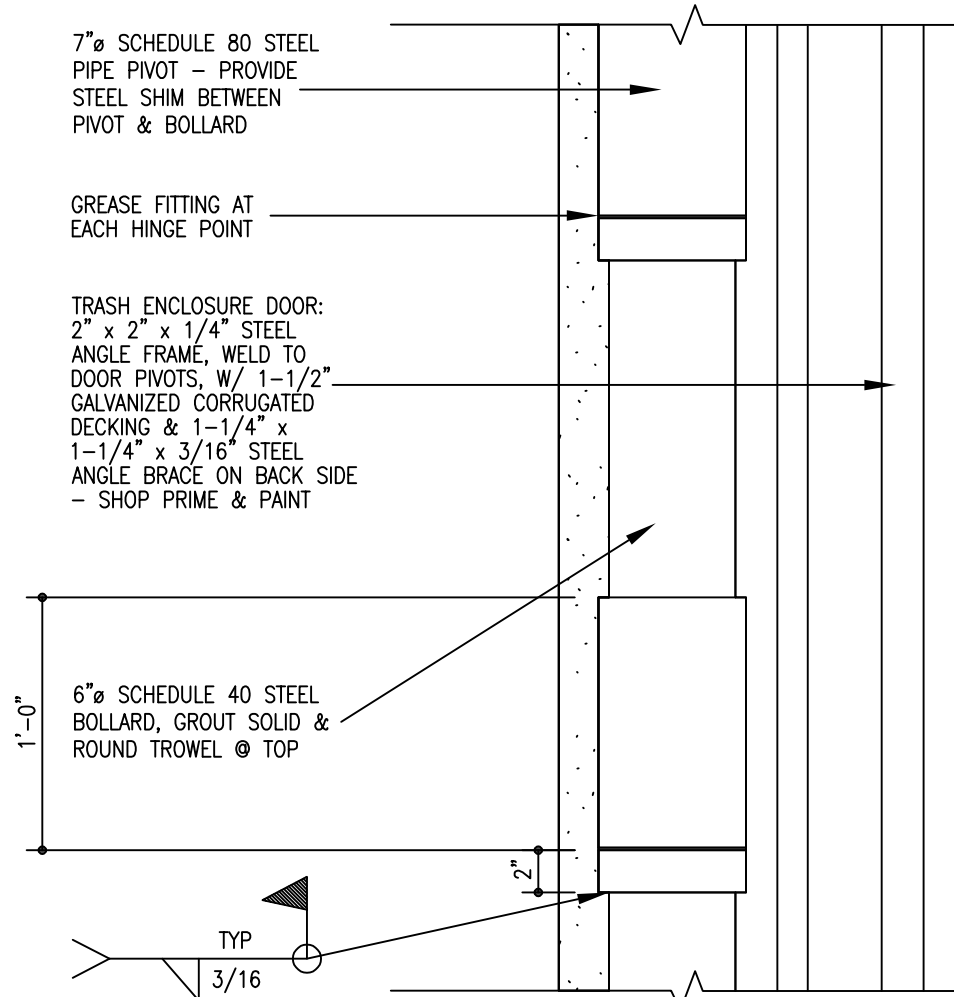
MOTORCYCLE PARKING SIGN
NTS

ACCESSIBLE PARKING SIGN
NTS

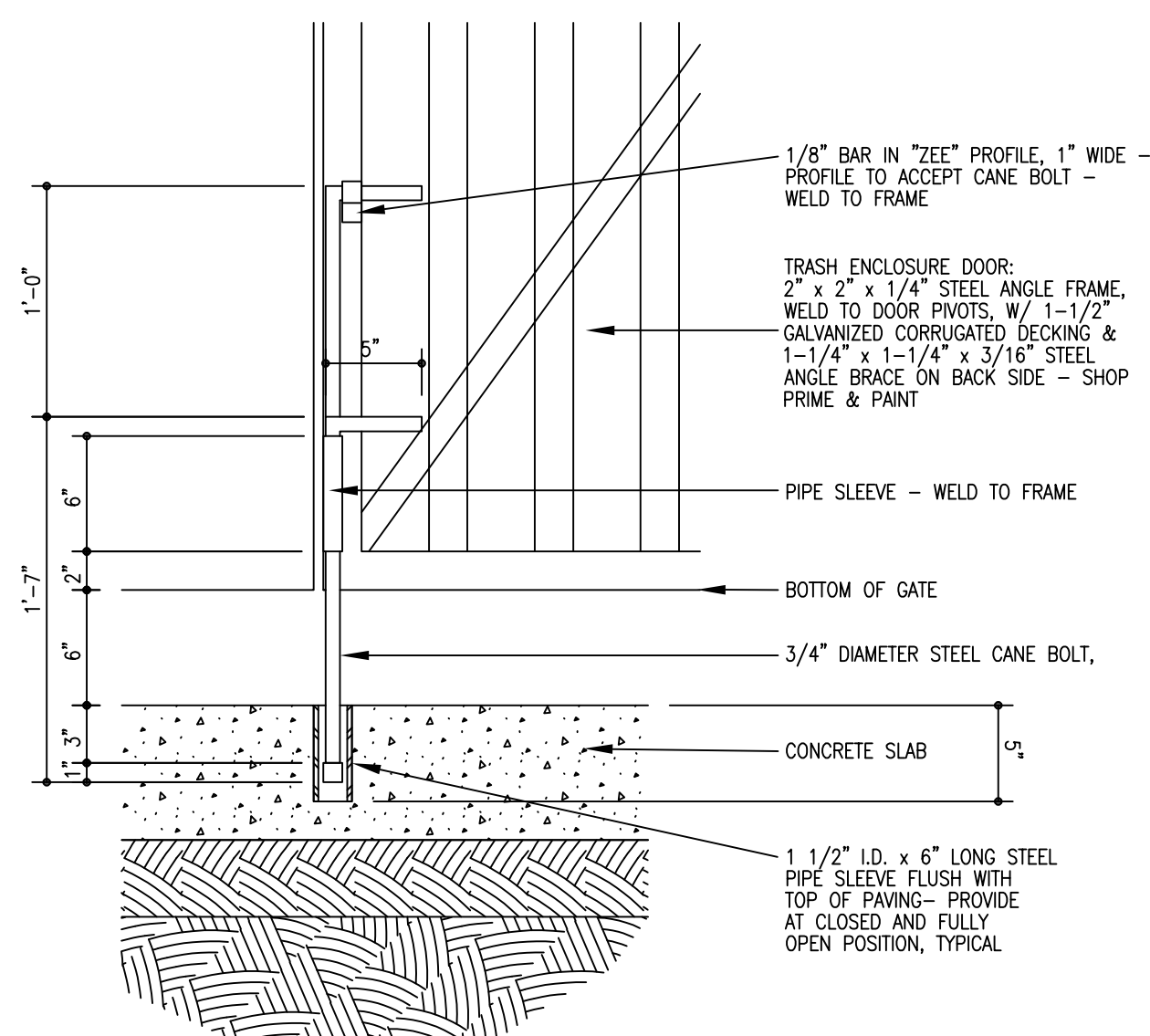


CONCRETE SIDEWALK SECTION

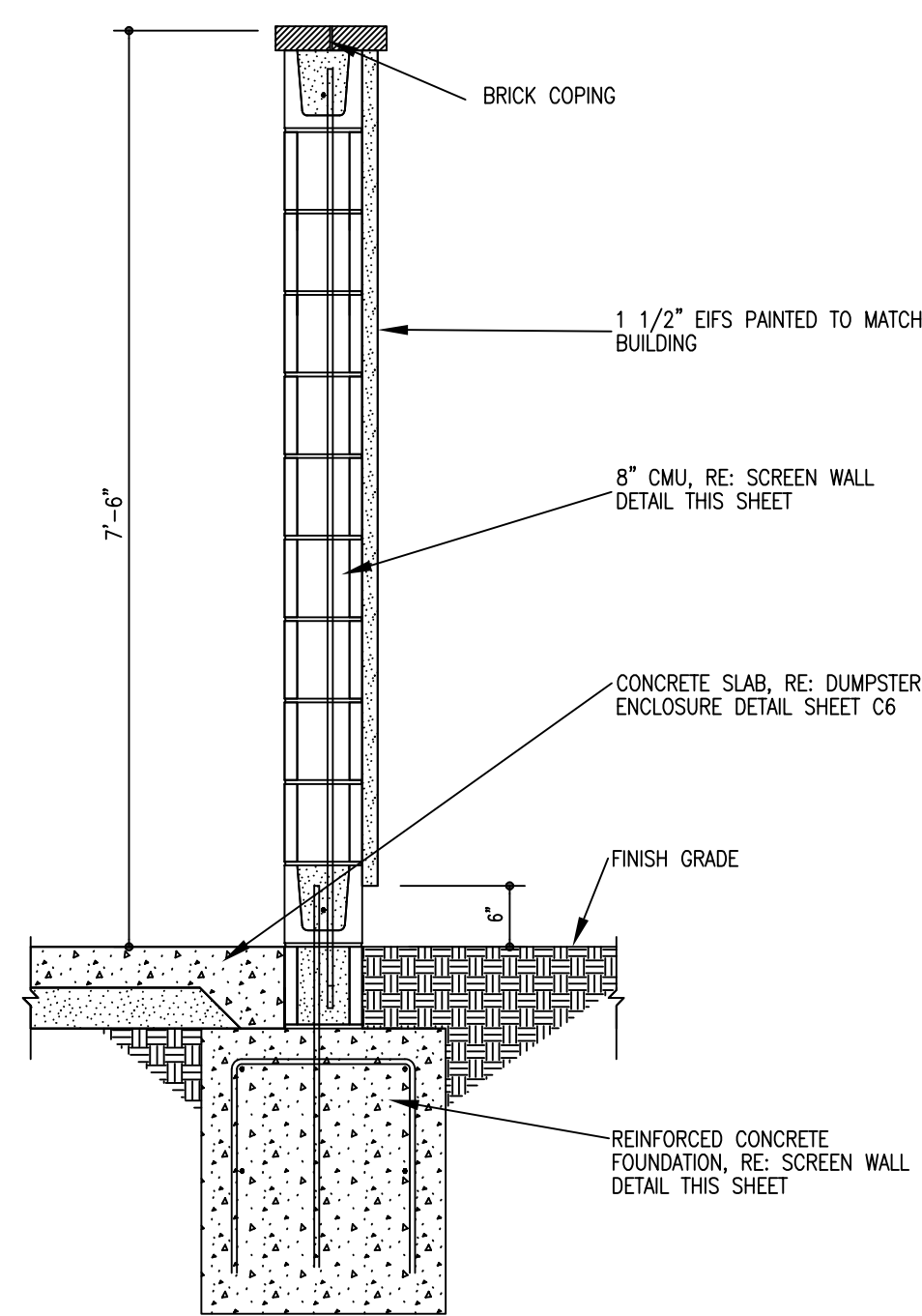
<p>ENGINEER'S SEAL</p> <p>RONALD R. BOHANNAN P.E. #7868</p>	<p>BLVD 2500 ALBUQUERQUE, NM</p> <p>SITE PLAN</p>	<p>DRAWN BY SB</p>
		<p>DATE 01-16-23</p>
	<p>TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com</p>	<p>DRAWING</p>
		<p>SHEET # TCL-2</p>
		<p>JOB # 2022083</p>



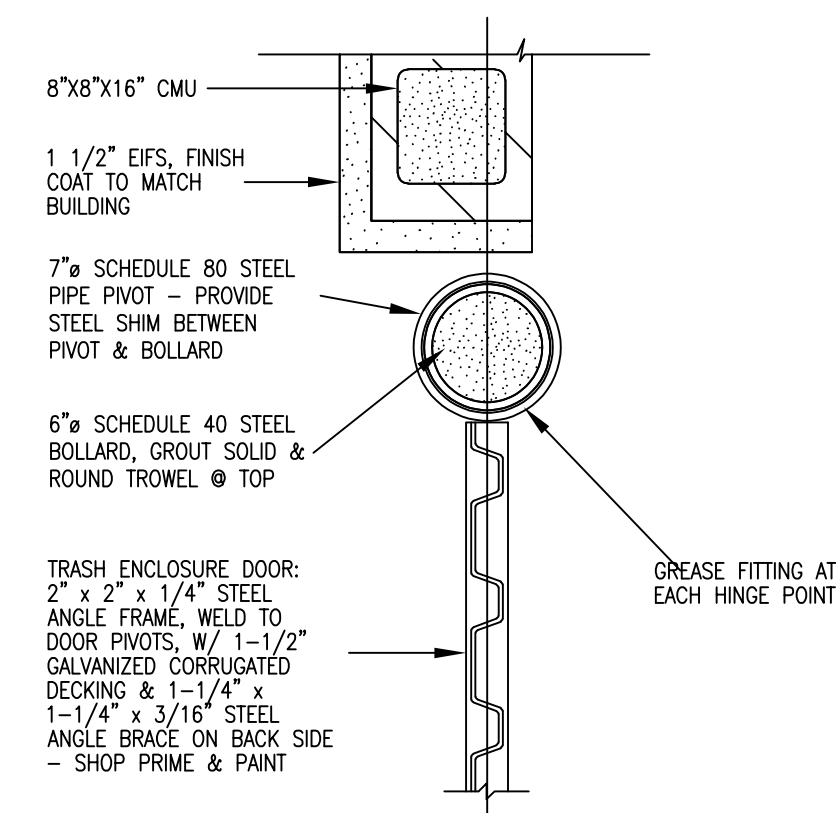
9 Dumpster Door Pivot
1 1/2" = 1'-0"



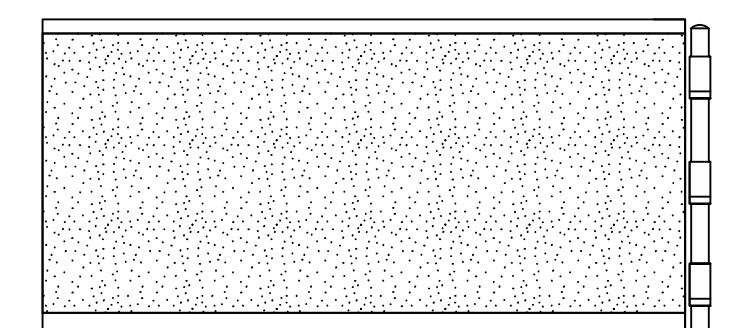
8 Cane Bolt Detail
1 1/2" = 1'-0"



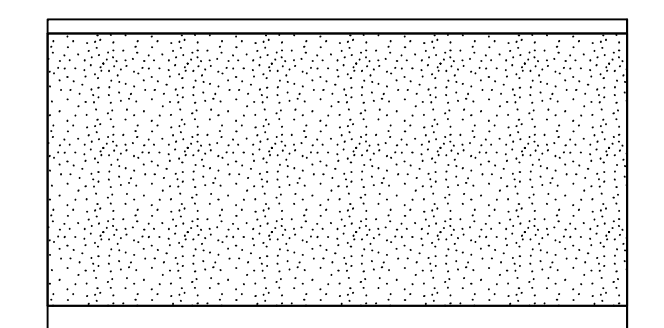
7 Wall Section
3/4" = 1'-0"



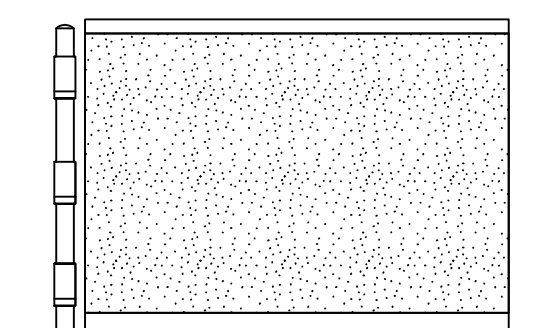
6 Plan Detail
1 1/2" = 1'-0"



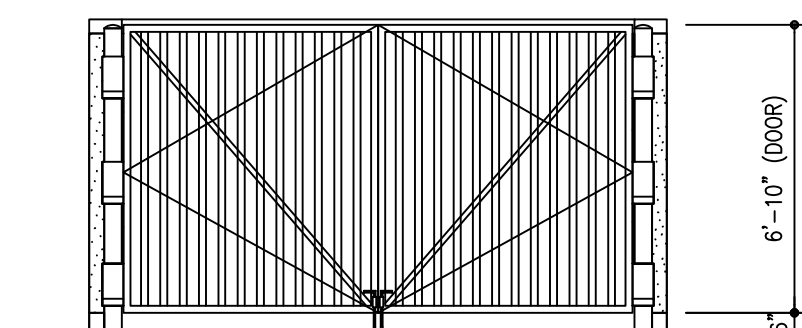
5 Side Elevation
NTS



4 Back Elevation
NTS



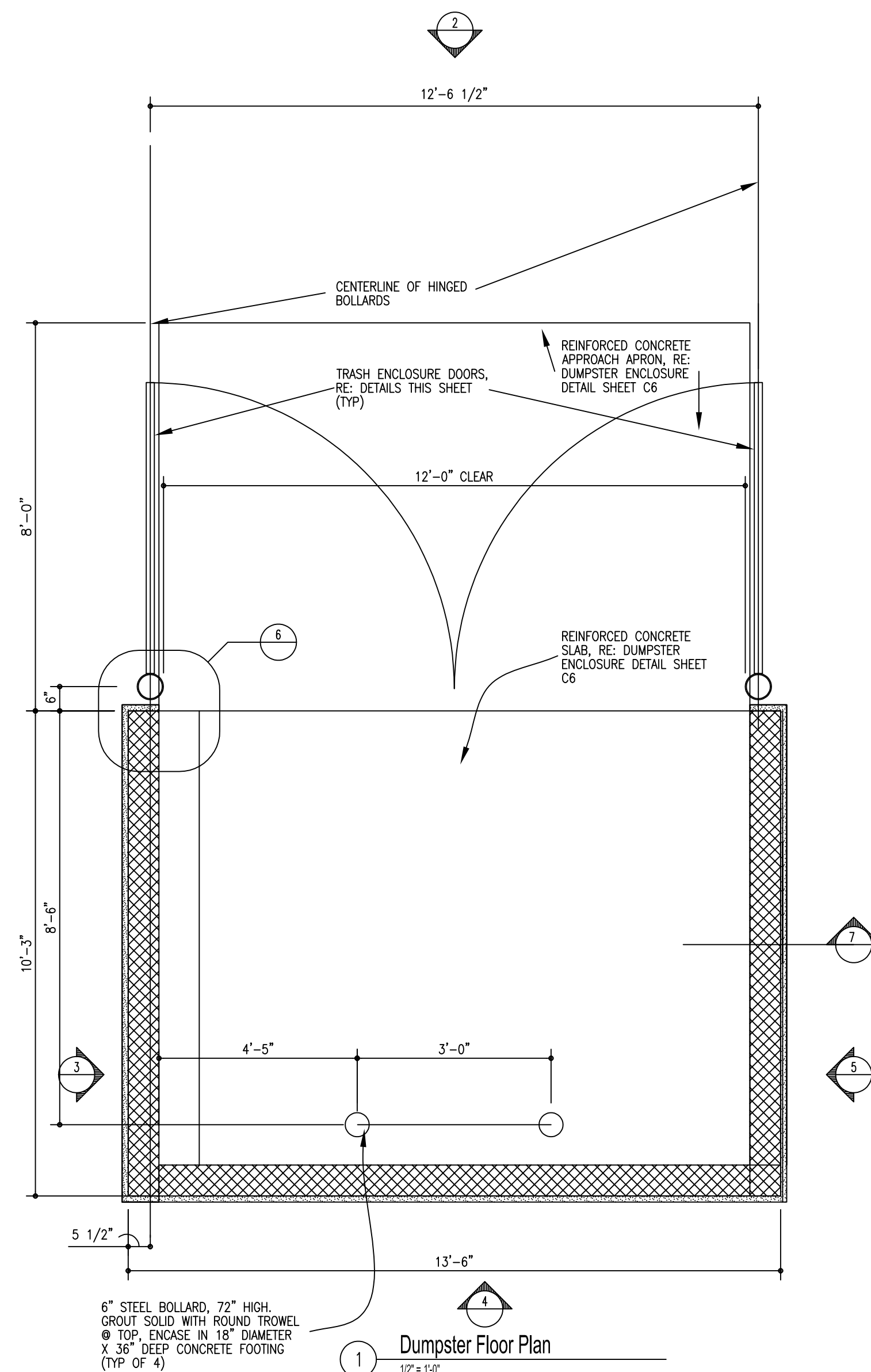
3 Side Elevation
NTS



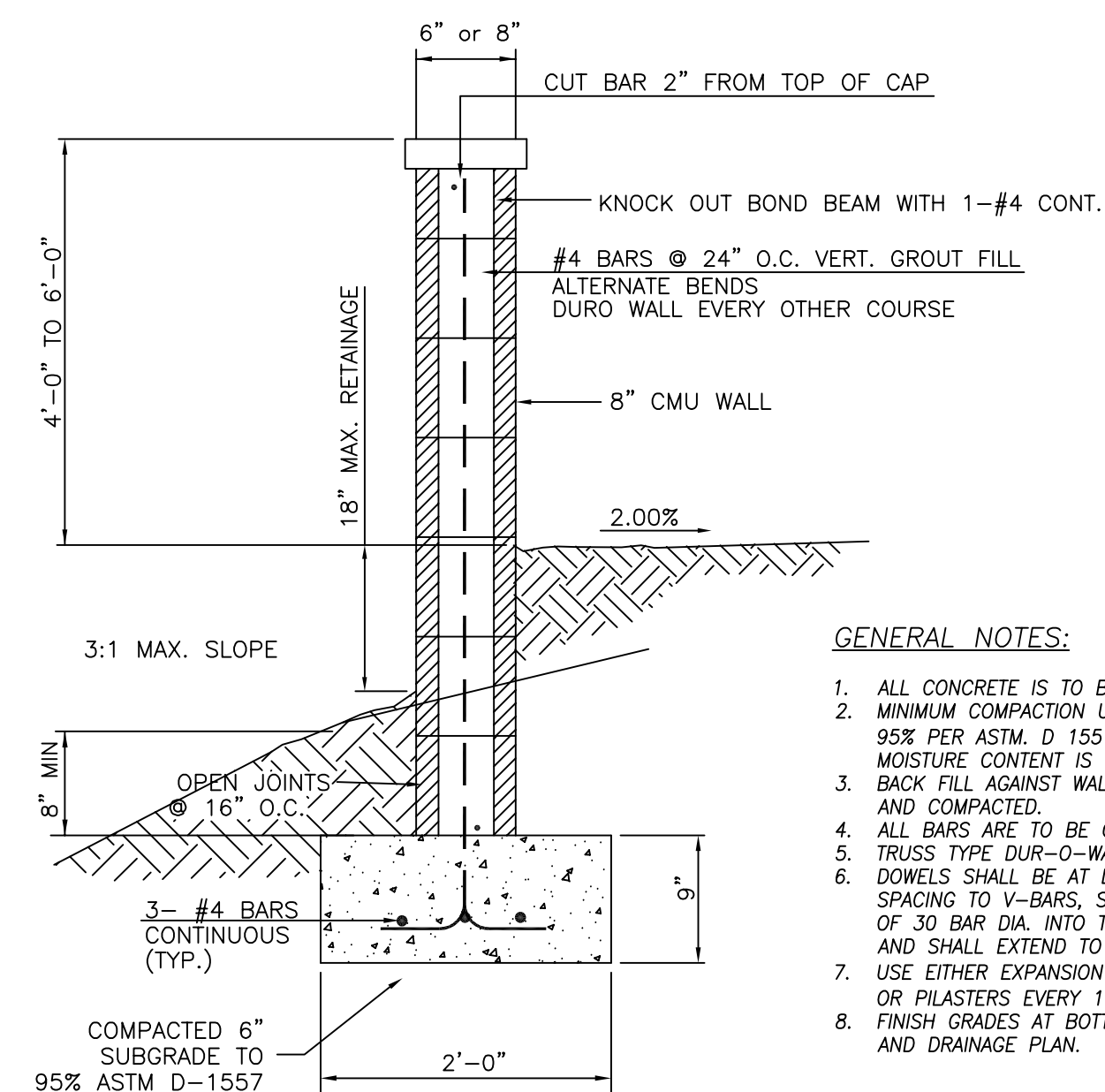
2 Front Elevation
NTS

General Notes

1. PAINT BOLLARDS, GATE HINGES, GATES & ANY OTHER FERROUS STEEL COMPONENT TO MATCH BUILDING



1 Dumpster Floor Plan
1 1/2" = 1'-0"

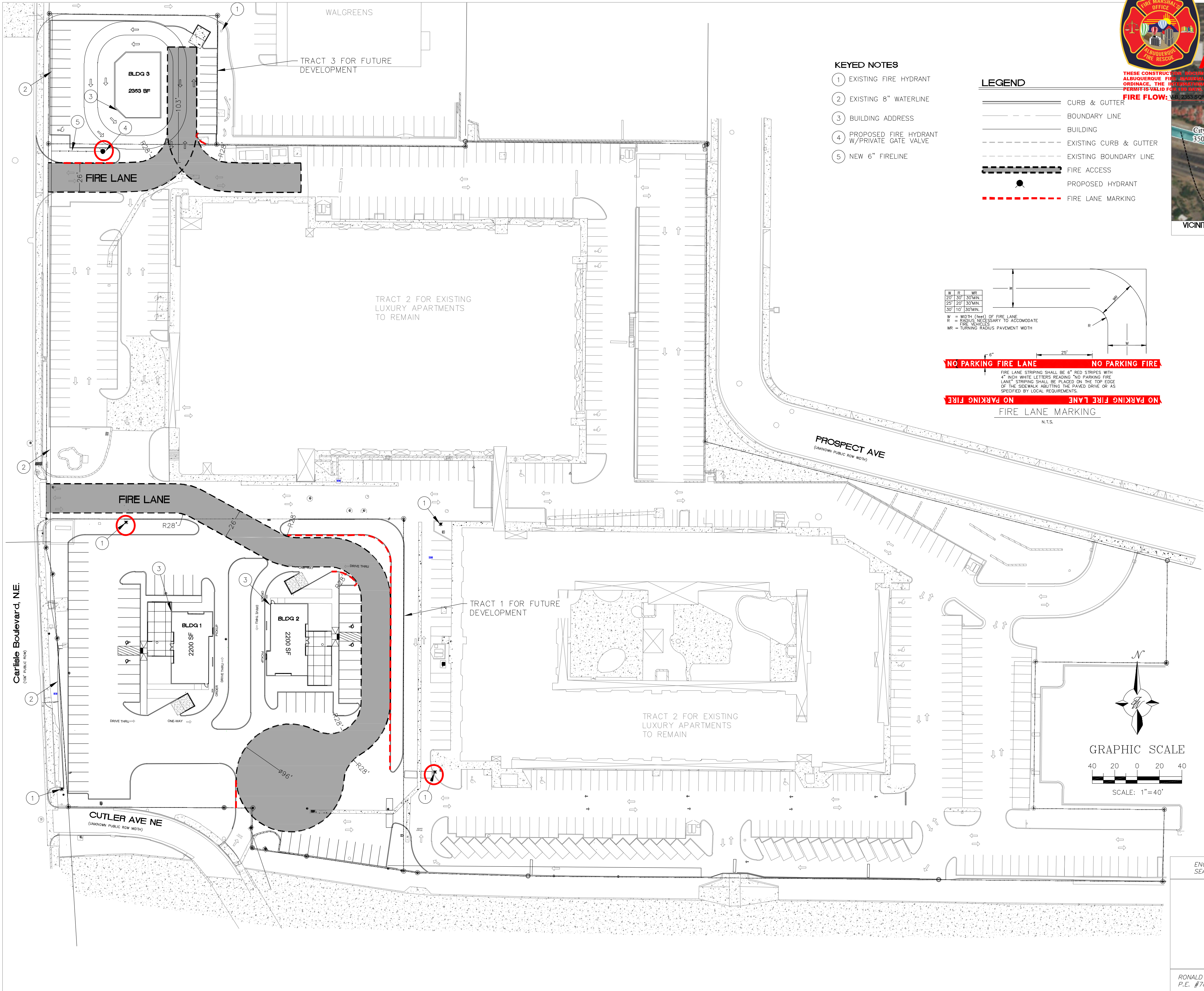


SCREEN WALL SECTION
NTS

GENERAL NOTES:

1. ALL CONCRETE IS TO BE 3000 PSI @ 28 DAYS.
2. MINIMUM COMPACTION UNDER FOOTINGS IS TO BE 95% PER ASTM. D 1557 FOR A DEPTH OF 12"
3. BACK FILL AGAINST WALLS IS TO BE HAND-PLACED AND COMPACTED.
4. ALL BARS ARE TO BE GRADE 60, ASTM 615.
5. TRUSS TYPE DUR-O-WALL EVERY OTHER COURSE.
6. DOWELS SHALL BE AT LEAST EQUAL IN SIZE AND SPACING TO V-BARS, SHALL PROJECT A MINIMUM OF 30 BAR DIA. INTO THE FILLED BLOCK CORES, AND SHALL EXTEND TO THE TOE OF THE FOOTING.
7. USE EITHER EXPANSION JOINTS ON 20' CENTERS OR PILASTERS EVERY 16'.
8. FINISH GRADES AT BOTTOM OF WALL PER GRADING AND DRAINAGE PLAN.

<p>ENGINEER'S SEAL</p> <p>VICENT PERA NEW MEXICO 25311 PROFESSIONAL ENGINEER 2/22/2023 RONALD R. BOHANNAN P.E. #7868</p>	<p>BLVD 2500 ALBUQUERQUE, NM</p> <p>SITE PLAN</p>	DRAWN BY SB
		DATE 01-16-23
		DRAWING
	<p>TIERRA WEST, LLC</p> <p>5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com</p>	<p>SHEET #</p> <p>TCL-3</p> <p>JOB #</p> <p>2022083</p>

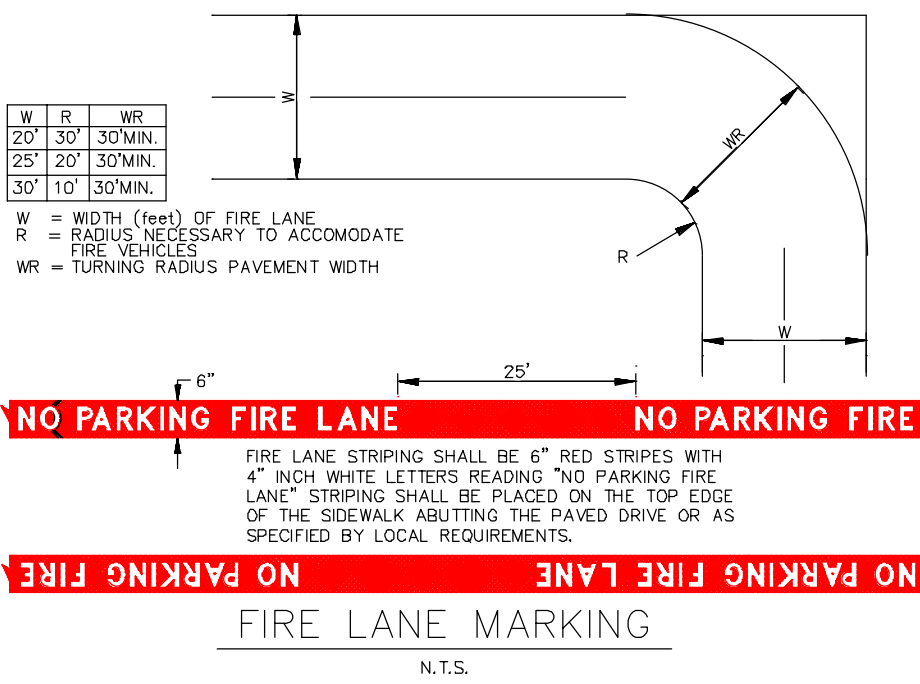


KEYED NOTES

- 1 EXISTING FIRE HYDRANT
- 2 EXISTING 8" WATERLINE
- 3 BUILDING ADDRESS
- 4 PROPOSED FIRE HYDRANT W/PRIVATE GATE VALVE
- 5 NEW 6" FIRELINE

LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- BUILDING
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE
- FIRE ACCESS
- PROPOSED HYDRANT
- FIRE LANE MARKING



ALBUQUERQUE FIRE MARSHAL'S
DIVISION OFFICE PLANS
CHECKING DIVISION
PERMIT
PERMIT NUMBER: EP 23-013034
APPROVED DATE: 02/16/2023
APPROVED
AREA OF MINIMAL FLOOD HAZARD

THESE CONSTRUCTION REQUIREMENTS, WHEN COMBINED WITH THE CITY OF ALBUQUERQUE FIRE DEPARTMENT'S ORDINANCE, THE INTERNATIONAL FIRE CODE, AND OTHER APPLICABLE PERMITS, SHALL BE USED TO DETERMINE THE FIRE FLOW REQUIRED FOR THE PROPOSED DEVELOPMENT.



NOTES

- 1. ON SITE FIRE LANE ROAD SHALL BE MARKED ON BOTH SIDES, AS DIRECTED BY FIRE MARSHALL
- 2. FIRE APPARATUS ACCESS ROADS SHALL NOT EXCEED 10 PERCENT IN GRADE AND SHALL HAVE AN ALL WEATHER DRIVING SURFACE CAPABLE OF SUPPORTING THE IMPOSED LOAD OF FIRE APPARATUS WEIGHING AT LEAST 75000 LBS
- 3. KEY BOX (KNOX BOX) SHALL BE MOUNTED BETWEEN 4 AND 6 FEET ABOVE GRADE AND SHALL BE ILLUMINATED.
- 4. STANDPIPE SYSTEMS SHALL BE INSTALLED THROUGHOUT BUILDINGS WHERE THE FLOOR LEVEL OF THE HIGHEST STORY IS LOCATED MORE THAN 30 FEET ABOVE THE LOWEST LEVEL OF THE FIRE DEPT. VEHICLE ACCESS

TRACT 1 — BLDG 1

COMMERCIAL
OCCUPANCY TYPE A-2
LOT AREA 84369 SF (1.94 ACRES)
BUILDING FOOTPRINT 2200 SF
CONSTRUCTION TYPE V-B
NON-SPRINKLERED
MAX BUILDING HEIGHT 16'
FIRE FLOW 1500 GPM

TRACT 1 — BLDG 2

COMMERCIAL
OCCUPANCY TYPE A-2
LOT AREA 84369 SF (1.94 ACRES)
BUILDING FOOTPRINT 2200 SF
CONSTRUCTION TYPE V-B
NON-SPRINKLERED
MAX BUILDING HEIGHT 16'
FIRE FLOW 1500 GPM

TRACT 3 — BLDG 3

COMMERCIAL
OCCUPANCY TYPE A-2
LOT AREA 17209 SF (0.40 ACRES)
BUILDING FOOTPRINT 2353 SF
CONSTRUCTION TYPE V-B
NON-SPINKLERED
MAX BUILDING HEIGHT 16'
FIRE FLOW 1500 GPM

ENGINEER'S
SEAL

BLVD 2500
ALBUQUERQUE, NM
FIRE-1 PLAN

DRAWN BY
SB

DATE
01-16-23

DRAWING
2022083 FO-1

SHEET #

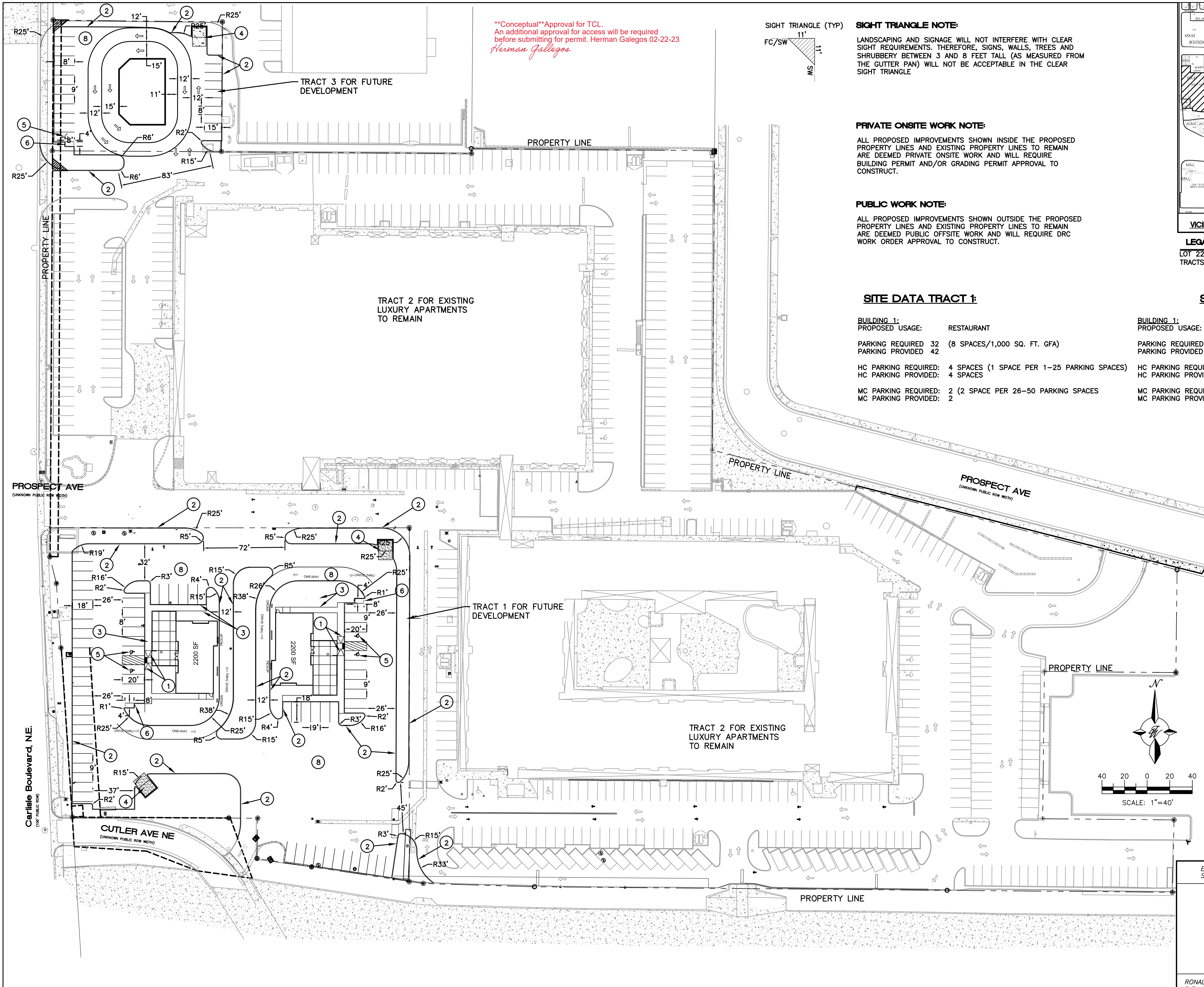
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JOB #
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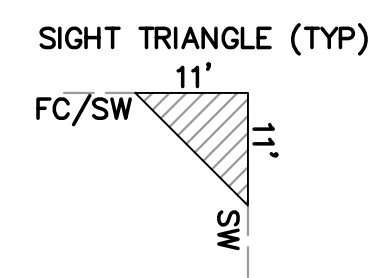
9-06-22

RONALD R. BOHANNAN
P.E. #7868

TERRA WEST, LLC
5571 MIDWAY PARK PL NE
ALBUQUERQUE, NEW MEXICO 87109
(505) 858-3100
www.tierrawestllc.com



****Conceptual**Approval for TCL.**
An additional approval for access will be required before submitting for permit. Herman Galegos 02-22-23
Herman Galegos



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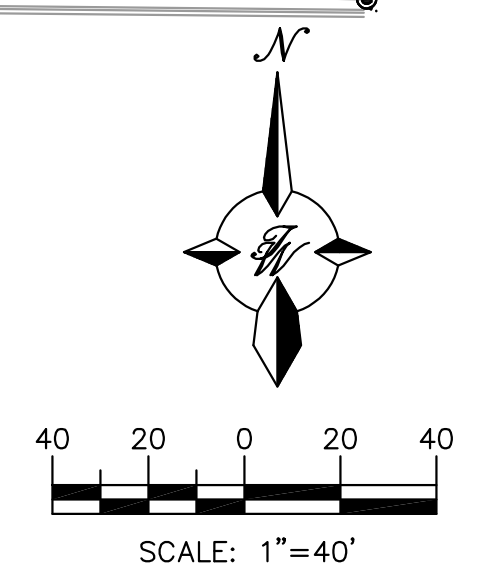
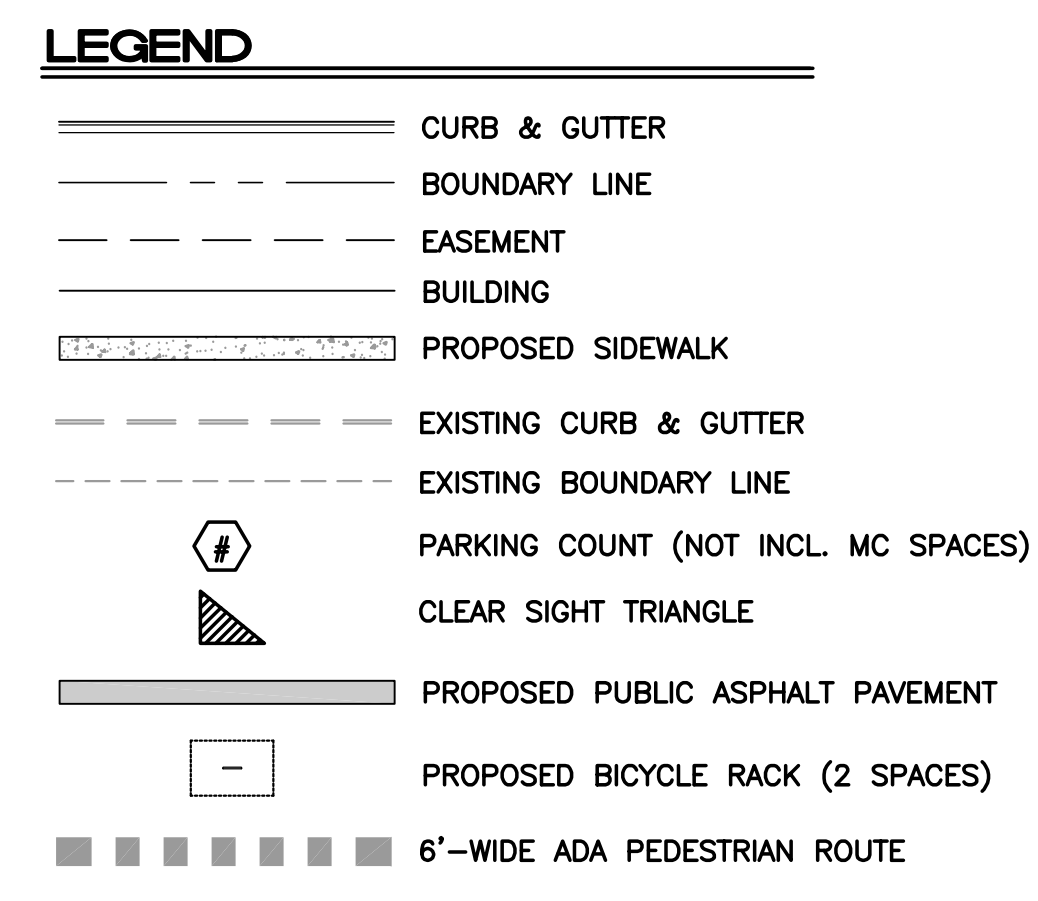
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PARKING REQUIRED 16 PARKING PROVIDED 22	(8 SPACES/1,000 SQ. FT. GFA)
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MC PARKING REQUIRED: 1 (1 SPACE PER 1-25 PARKING SPACES) MC PARKING PROVIDED: 1	

- KEYED NOTES**
- ① UNIDIRECTIONAL ACCESSIBLE RAMP PER COA STD 2443 AND DETECTABLE WARNING SURFACE PER COA STD 2446
 - ② 6" CURB AND GUTTER PER COA STD 2415A
 - ③ CONCRETE SIDEWALK PER COA STD 2430, WIDTH PER PLAN
 - ④ DUMPSTER W/RECYCLING
 - ⑤ ACCESSIBLE PARKING W/ WHEEL STOP AND SIGN PER ADA AND NMSA STANDARDS
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		SHEET # JOB # 2022083