



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

Project Title: Blvd 2500 **Building Permit #** _____ **Hydrology File #** _____
DRB# PR-2018-00158 **EPC#** _____
Legal Description: TRS 1 2 & 3 Unit 1 Together w/TRS 4 5 & 6A Unit 2 Dale J Bellamahs Carlisle Replat & Lot 22A Plat of Lt 22A City Address OR Parcel 2500 & 2412 Carlisle Blvd NE
Blk 22 Timoteo Chavez Addition & Port of BLKS N & O Timoteo Chavez Addition

Applicant/Agent: Tierra West LLC **Contact:** VINNY PEREA
Address: 5571 Midway Park Place NE Albuquerque, NM 87109 **Phone:** 505-858-3100
Email: vperea@tierrawestllc.com

Applicant/Owner: Rhino Investments NM Hotel LLC **Contact:** Sanjiv Chopra
Address: 101 E Vineyard Ave Suite 201 **Phone:** 702-843-4251
Email: sanjiv@rhinoig.com

TYPE OF DEVELOPMENT: ☒ PLAT (#of lots) 3 RESIDENCE ☐ DRB SITE ☐ ADMIN SITE: _____
RE-SUBMITTAL: ☒ YES ☐ NO

DEPARTMENT: ☒ TRANSPORTATION ☐ HYDROLOGY/DRAINAGE
Check all that apply:

TYPE OF SUBMITTAL:

☐ ENGINEER/ARCHITECT CERTIFICATION
☐ PAD CERTIFICATION
☐ CONCEPTUAL G&D PLAN
☐ GRADING PLAN
☐ DRAINAGE REPORT
☐ DRAINAGE MASTER PLAN
☐ FLOOD PLAN DEVELOPMENT PERMIT APP.
☐ ELEVATION CERTIFICATE
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ ADMINISTRATIVE
☒ TRAFFIC CIRCULATION LAYOUT FOR DRB
APPROVAL (CONCEPTUAL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ STREET LIGHT LAYOUT
☐ OTHER (SPECIFY) _____
☐ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☐ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY
☒ CONCEPTUAL TCL DRB APPROVAL
☒ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG PERMIT APPROVAL
☒ FINAL PLAT APPROVAL
☐ SIA/RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR
☐ FLOOD PLAN DEVELOPMENT PERMIT
☐ OTHER (SPECIFY) _____

DATE SUBMITTED: 03.21.2023



March 21, 2023

Ms. Marwa Al-Najjar
Associate Engineer, Planning Dept.
P.O. Box 1293
Albuquerque, NM 87103

**RE: RESPONSE TO CONCEPTUAL TRAFFIC CIRCULATION LAYOUT COMMENTS
BLVD 2500
NE CORNER OF CARLISLE BLVD & CUTLER AVE**

Dear Ms. Al-Najjar,

Please find the following responses addressing the review comments from correspondence dated March 17, 2023 below. These comments addressed are only the site comments provided, as we are seeking conceptual approval for preliminary/final plat submittal to the DHO. Addressal of any right-of-way comments and access easement will be addressed at a later date when seeking final approval for Building Permit submittal.

1. List the number of bicycle spaces required by the IDO.
RESPONSE: Required and provide bicycle spaces are shown under the "Site Data". Bike racks have also been added and called out with keyed note 9.
2. Grades and slopes in the parking area and/or the ADA Accessible parking areas appear to be too large. Please provide more detail.
RESPONSE: The proposed grading plan for the property was reviewed to show that all of these ADA parking areas do not exceed 2% in any direction. Keyed note 5 has been updated to stated 2% max slope in any direction.
3. Provide Motorcycle parking space posted upright sign, either free standing or wall mounted per the zoning code.
RESPONSE: Keyed note 6 mentions motorcycle parking space w/ sign. A free standing sign detail can be found on Sheet C1.2.
4. Please clarify, is the site access off Cutler ONE Way? If so, please provide "ONE WAY" sign and pavement marking.
RESPONSE: The access off Cutler is one way. "ONE WAY" and "DO NO ENTER" sign and pavement markings are shown and called out as Keyed Note 10.
5. ADA Curb ramps for site accesses along Carlisle must be updated to current standard and have truncated domes installed.
RESPONSE: ADA unidirectional ramps w/ truncated domes are now shown along Carlisle to be removed and replaced and called out with Keyed Note 11.
6. Motorcycle parking spaces shall be designated by its own conspicuously posted upright sign, either free-standing or wall mounted per the zoning code.
RESPONSE: Keyed note 6 mentions motorcycle parking space w/ sign. A free standing sign detail can be found on Sheet C1.2.

7. Per the IDO, a 6 ft. wide ADA accessible pedestrian pathway is required from the public sidewalk to the building entrances. Please clearly show this pathway and provide details.
RESPONSE: A 6' wide pathway is highlighted in red to show ADA access from the public sidewalk to each building.
8. Per the IDO, a 6 ft. wide ADA accessible pedestrian pathway is required from the ADA parking stall access aisles to the building entrances. Please clearly show this pathway and provide details.
RESPONSE: A 6' wide pathway is highlighted in red to show ADA access from the Parking to each building.
9. It is not apparent what type of pavement surface is being proposed. A hard driving surface will be required as part of this proposed project for parking area and drive aisles.
RESPONSE: Keyed Note 8 calls for Private onsite asphalt pavement, with pavement section to follow Geotech report.
10. The proposed drive-thru lanes: all one way drives shall have "One Way" and "Do Not Enter" signage and pavement markings. Please show detail and location of posted signs and striping.
RESPONSE: "One Way" and "Do Not Enter" signage and pavement markings are shown on the plan for the drive-thru lanes.
11. Show the intersection clear sight triangle at the north side site access off Carlisle Blvd.
RESPONSE: Clear sight triangles are shown on all access points off of Carlisle Blvd.
12. Please specify the City Standard Drawing Number when applicable.
RESPONSE: City Standard Drawing Numbers can be found under the keyed notes.
13. Work within the public right of way requires a work order with DRC approved plans.
RESPONSE: A "Public Work Note" is on the plan stating that any work within public right-of-way will require DRC Work Order approval.
14. Unused curb cuts must be replaced with sidewalk and curb & gutter. A build note must be provided referring to the appropriate City Standard drawing.
RESPONSE: Keyed Note 12 calls for replacing existing driveway with curb, gutter, and sidewalk per COA Std Dwgs 2415A and 2430.
15. Add a note stating "All broken or cracked sidewalk must be replaced with sidewalk and curb & gutter." A build note must be provided referring to the appropriate City Standard drawing.
RESPONSE: A Sidewalk and Curb Note has been added providing this language.
16. Please provide a letter of response for all comments given.
RESPONSE: This letter acts as the response to comments given.
17. Traffic Studies: See the Traffic Impact Study (TIS) thresholds. In general, a minimum combination of 100 vehicles entering and exiting in the peak hour warrants a Traffic Impact Study. Visit with Traffic Engineer for determination, and fill out a TIS Form that states whether one is warranted. In some cases, a trip generation may be requested for determination.
RESPONSE: A TIS for this development was approved by the City, HT#17D002A and applies to this conceptual TCL. Matt Grush confirmed via email on 3/21/2023 that no other traffic study is needed.

If you have any questions, please feel free to contact me at (505) 858-3100 or vperea@tierrawestllc.com.

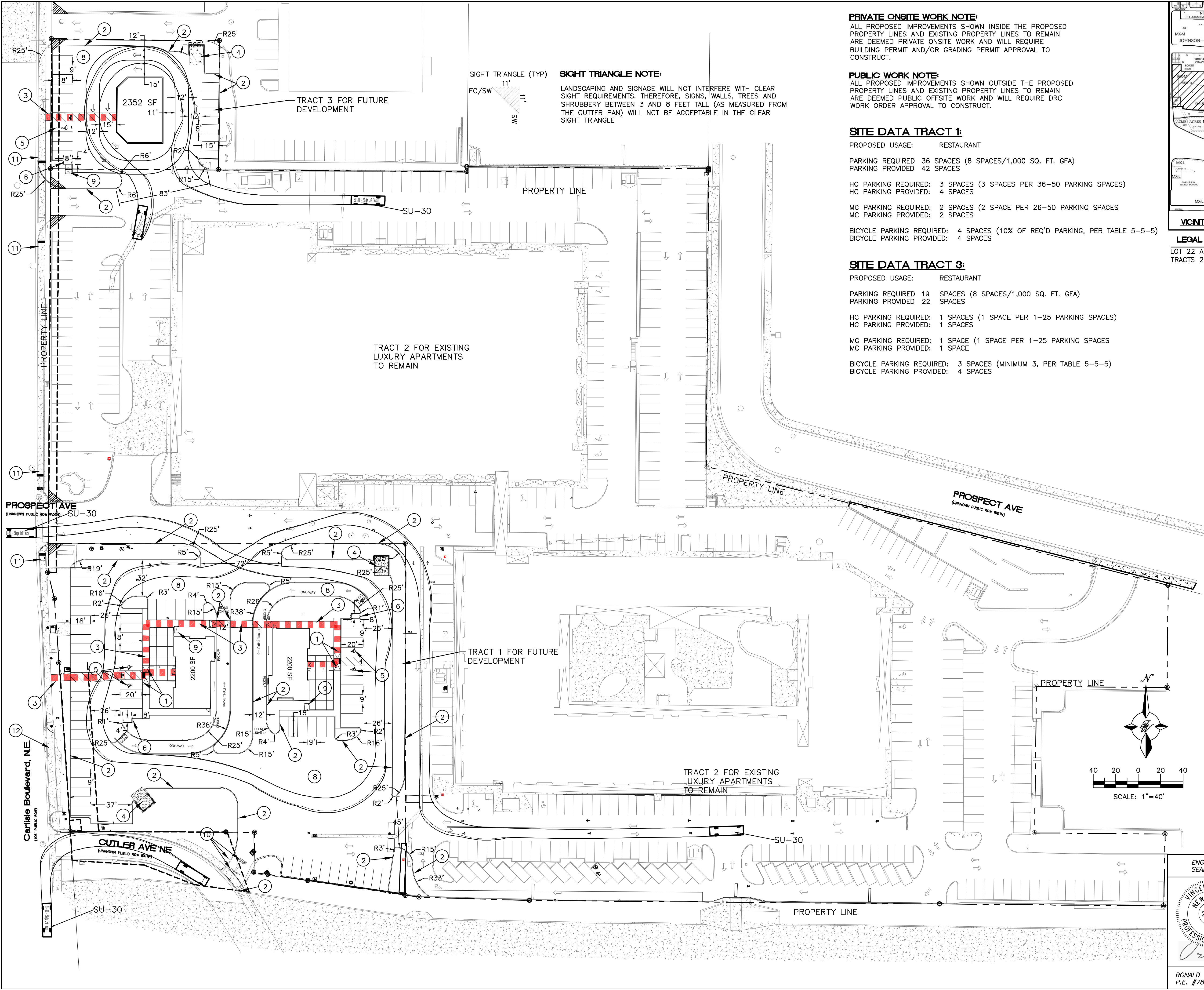
Sincerely,

A handwritten signature in black ink, appearing to read 'Vinny Perea', with a large, stylized 'V' and 'P'.

Vinny Perea, P.E.

cc: Sanjiv Chopra, Rhino Investments
Delcie Durbrovolny, Equiterre Architects

JN: 2022083
RRB/vp/



PRIVATE ONSITE WORK NOTE:

ALL PROPOSED IMPROVEMENTS SHOWN INSIDE THE PROPOSED PROPERTY LINES AND EXISTING PROPERTY LINES TO REMAIN ARE DEEMED PRIVATE ONSITE WORK AND WILL REQUIRE BUILDING PERMIT AND/OR GRADING PERMIT APPROVAL TO CONSTRUCT.

PUBLIC WORK NOTE:

ALL PROPOSED IMPROVEMENTS SHOWN OUTSIDE THE PROPOSED PROPERTY LINES AND EXISTING PROPERTY LINES TO REMAIN ARE DEEMED PUBLIC OFFSITE WORK AND WILL REQUIRE DRC WORK ORDER APPROVAL TO CONSTRUCT.

SITE DATA TRACT 1:

PROPOSED USAGE: RESTAURANT

PARKING REQUIRED 36 SPACES (8 SPACES/1,000 SQ. FT. GFA)
PARKING PROVIDED 42 SPACES

HC PARKING REQUIRED: 3 SPACES (3 SPACES PER 36-50 PARKING SPACES)
HC PARKING PROVIDED: 4 SPACES

MC PARKING REQUIRED: 2 SPACES (2 SPACE PER 26-50 PARKING SPACES)
MC PARKING PROVIDED: 2 SPACES

BICYCLE PARKING REQUIRED: 4 SPACES (10% OF REQ'D PARKING, PER TABLE 5-5-5)
BICYCLE PARKING PROVIDED: 4 SPACES

SITE DATA TRACT 3:

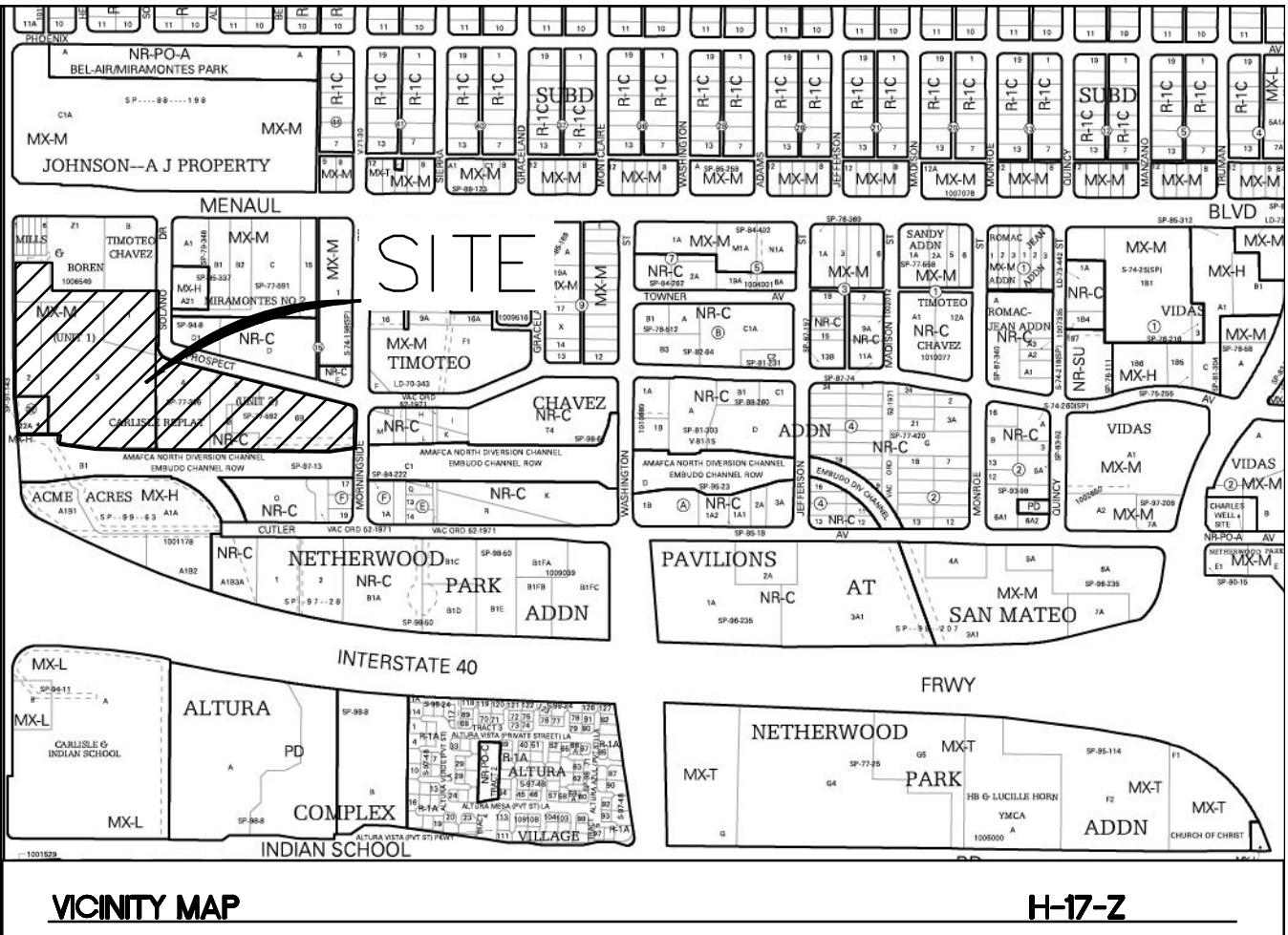
PROPOSED USAGE: RESTAURANT

PARKING REQUIRED 19 SPACES (8 SPACES/1,000 SQ. FT. GFA)
PARKING PROVIDED 22 SPACES

HC PARKING REQUIRED: 1 SPACES (1 SPACE PER 1-25 PARKING SPACES)
HC PARKING PROVIDED: 1 SPACES

MC PARKING REQUIRED: 1 SPACE (1 SPACE PER 1-25 PARKING SPACES)
MC PARKING PROVIDED: 1 SPACE

BICYCLE PARKING REQUIRED: 3 SPACES (MINIMUM 3, PER TABLE 5-5-5)
BICYCLE PARKING PROVIDED: 4 SPACES



LEGAL DESCRIPTION

LOT 22 A & PORTION OF BLOCKS N & O TIMOTEO CHAVEZ ADDITION, A PORTION OF TRACTS 2 & 3, UNIT 1, DALE J. BELLAHMAH'S CARLISLE REPLAT

KEYED NOTES

- UNIDIRECTIONAL ACCESSIBLE RAMP PER COA STD 2443 AND DETECTABLE WARNING SURFACE PER COA STD 2446
- 6" CURB AND GUTTER PER COA STD 2415A
- CONCRETE SIDEWALK PER COA STD 2430, WIDTH PER PLAN
- DUMPSTER W/RECYCLING
- ACCESSIBLE PARKING W/ WHEEL STOP AND SIGN PER ADA AND NMSA STANDARDS, 2% MAX SLOPE IN ANY DIRECTION
- 4'Wx8'D MOTORCYCLE PARKING W/SIGN
- NEW PUBLIC ASPHALT PAVEMENT EXTENSION, MATCH EXISTING PAVEMENT SECTION
- PRIVATE ONSITE ASPHALT PAVEMENT, PAVEMENT SECTION PER GEOTECH REPORT
- BICYCLE RACK
- "ONE WAY" AND "DO NOT ENTER" SIGNS AND PAVEMENT MARKINGS
- REMOVE AND REPLACE UNIDIRECTIONAL ADA RAMP W/ TRUNCATED DOMES PER COA STD DWG 2443 AND 2446
- REMOVE EX. DRIVEWAY AND REPLACE WITH CURB, GUTTER AND SIDEWALK PER COA STD DWG 2415A AND 2430

LEGEND



- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- BUILDING
- PROPOSED SIDEWALK
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE
- PARKING COUNT (NOT INCL. MC SPACES)
- CLEAR SIGHT TRIANGLE
- PROPOSED PUBLIC ASPHALT PAVEMENT
- PROPOSED BICYCLE RACK (2 SPACES)
- 6'-WIDE ADA PEDESTRIAN ROUTE

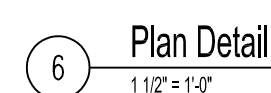
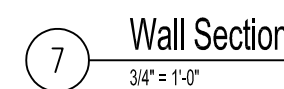
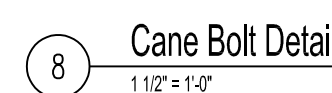
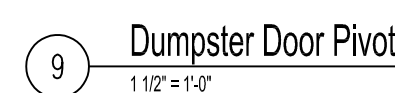
VEHICLE TRACKING NOTE:

AN AASHTO 2011 SU-30 WAS USED.

SIDEWALK AND CURB NOTE:



ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB & GUTTER PER COA STD DWG 2415A AND 2430.

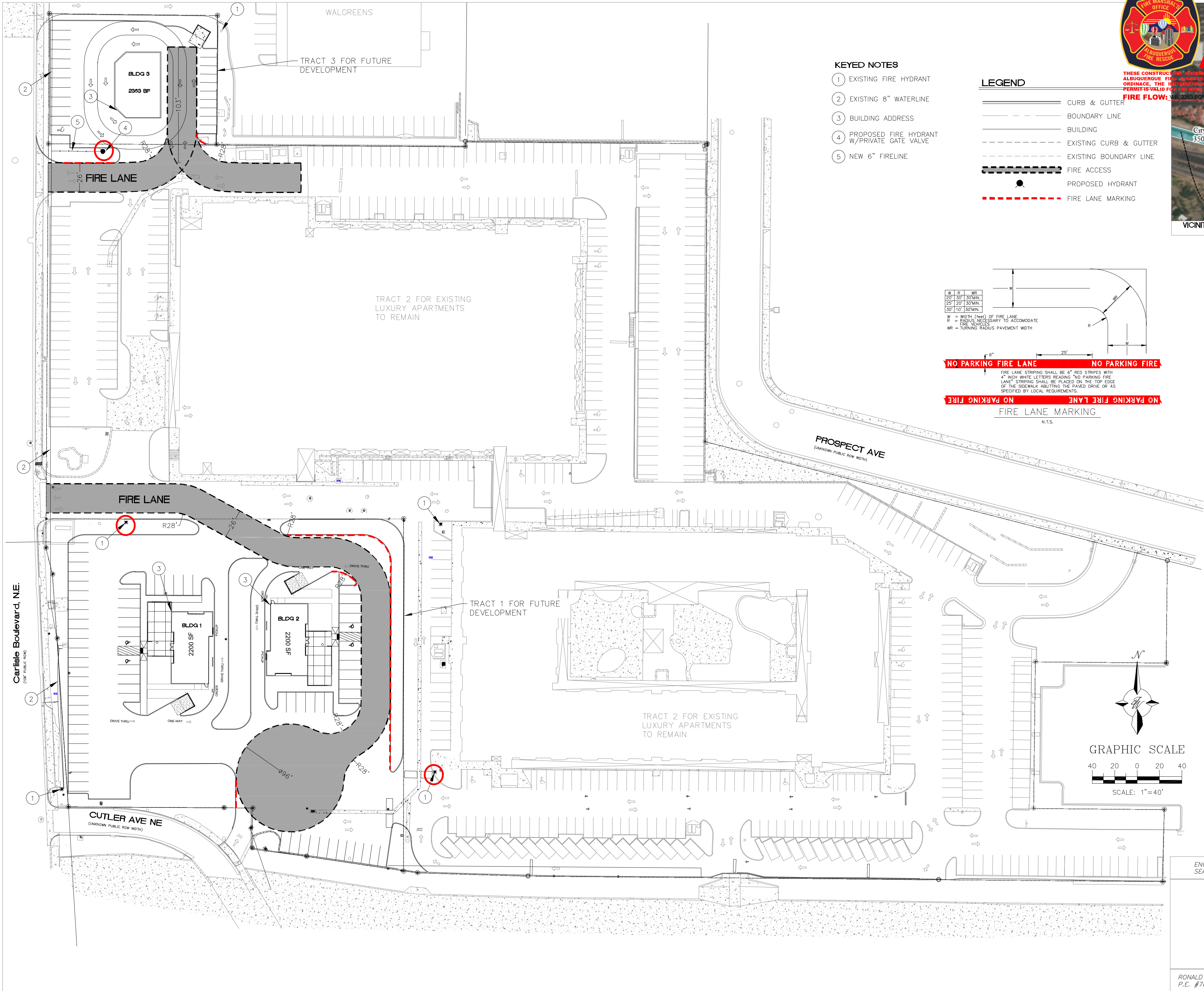
<div>ENGINEER'S SEAL</div> <div></div> <div>RONALD R. BOHANNAN P.E. #7868</div>	BLVD 2500 ALBUQUERQUE, NM		DRAWN BY SB
	TRAFFIC CIRCULATION LAYOUT		DATE 01-16-23
	<div> <i>TIERRA WEST, LLC</i></div> <div>5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com</div>		DRAWING
			SHEET # C1.1
JOB # 2022083			



1. ALL CONCRETE IS TO BE 3000 PDSI @ 28 DAYS.
2. MINIMUM COMPACTION UNDER FOOTINGS IS TO BE 95% PER ASTM D 1557 FOR A DEPTH OF 12" MOISTURE CONTENT IS TO BE ± 2.0%.
3. BACK FILL AGAINST WALLS IS TO BE HAND-PAVED AND COMPACTED.
4. ALL BARS ARE TO BE GRADE 60, ASTM 615.
5. TRAP TYPE CURB AND WALL, EVERY OTHER COURSE.
6. DOWELS SHALL BE AT LEAST EQUAL IN SIZE AND SPACING TO V-BARS, SHALL PROJECT A MINIMUM OF 30 BAR DIA. INTO THE FILLED BLOCK CORES, AND SHALL EXTEND TO THE TOE OF THE FOOTING. USE EITHER EXPANSION JOINTS ON 20' CENTERS OR CASTED IN PLACE.
8. FINISH GRADES AT BOTTOM OF WALL PER GRADING AND DRAINAGE PLAN.



<p>ENGINEER'S SEAL</p>  <p>3/21/2023</p> <p>RONALD R. BOHANNAN P.E. #7868</p>	<p>BLVD 2500 ALBUQUERQUE, NM</p>		<p>DRAWN BY SB</p>
	<p>SITE DETAILS</p>		<p>DATE 01-16-23</p>
			<p>DRAWING</p>
	 <p>TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com</p>		<p>SHEET # TCL-3</p>
			<p>JOB # 2022083</p>

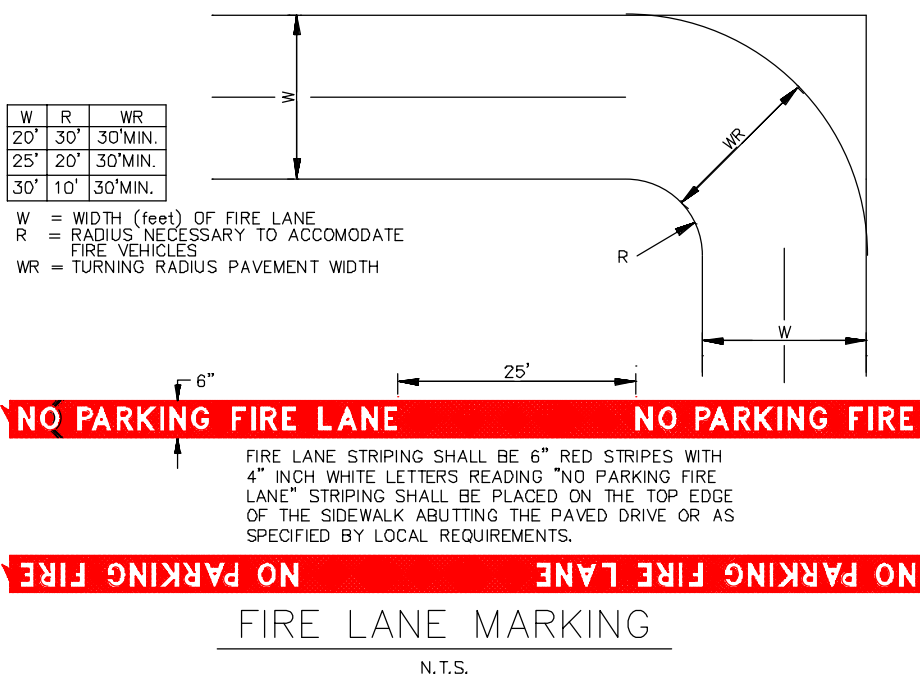


KEYED NOTES

- 1 EXISTING FIRE HYDRANT
- 2 EXISTING 8" WATERLINE
- 3 BUILDING ADDRESS
- 4 PROPOSED FIRE HYDRANT W/PRIVATE GATE VALVE
- 5 NEW 6" FIRELINE

LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- BUILDING
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE
- FIRE ACCESS
- PROPOSED HYDRANT
- FIRE LANE MARKING



ALBUQUERQUE FIRE MARSHAL'S
DIVISION OFFICE PLANS
CHECKING DIVISION
PERMIT
PERMIT NUMBER: FP 23-013034
APPROVED DATE: 8/16/2022
APPROVED
AREA OF MINIMAL FLOOD HAZARD

THESE CONSTRUCTION REQUIREMENTS, WHEN COMBINED WITH THE CITY OF ALBUQUERQUE FIRE MARSHAL'S ORDINANCES, SHALL BE USED TO DETERMINE THE PERMIT'S VALIDITY FOR THE PROJECT'S CONSTRUCTION. FIRE FLOW: 1500 GPM, 1.5\"



NOTES

- 1. ON SITE FIRE LANE ROAD SHALL BE MARKED ON BOTH SIDES, AS DIRECTED BY FIRE MARSHALL
- 2. FIRE APPARATUS ACCESS ROADS SHALL NOT EXCEED 10 PERCENT IN GRADE AND SHALL HAVE AN ALL WEATHER DRIVING SURFACE CAPABLE OF SUPPORTING THE IMPOSED LOAD OF FIRE APPARATUS WEIGHING AT LEAST 75000 LBS
- 3. KEY BOX (KNOX BOX) SHALL BE MOUNTED BETWEEN 4 AND 6 FEET ABOVE GRADE AND SHALL BE ILLUMINATED.
- 4. STANDPIPE SYSTEMS SHALL BE INSTALLED THROUGHOUT BUILDINGS WHERE THE FLOOR LEVEL OF THE HIGHEST STORY IS LOCATED MORE THAN 30 FEET ABOVE THE LOWEST LEVEL OF THE FIRE DEPT. VEHICLE ACCESS

TRACT 1 — BLDG 1

COMMERCIAL
OCCUPANCY TYPE A-2
LOT AREA 84369 SF (1.94 ACRES)
BUILDING FOOTPRINT 2200 SF
CONSTRUCTION TYPE V-B
NON-SPRINKLERED
MAX BUILDING HEIGHT 16'
FIRE FLOW 1500 GPM

TRACT 1 — BLDG 2

COMMERCIAL
OCCUPANCY TYPE A-2
LOT AREA 84369 SF (1.94 ACRES)
BUILDING FOOTPRINT 2200 SF
CONSTRUCTION TYPE V-B
NON-SPRINKLERED
MAX BUILDING HEIGHT 16'
FIRE FLOW 1500 GPM

TRACT 3 — BLDG 3

COMMERCIAL
OCCUPANCY TYPE A-2
LOT AREA 17209 SF (0.40 ACRES)
BUILDING FOOTPRINT 2353 SF
CONSTRUCTION TYPE V-B
NON-SPINKLERED
MAX BUILDING HEIGHT 16'
FIRE FLOW 1500 GPM

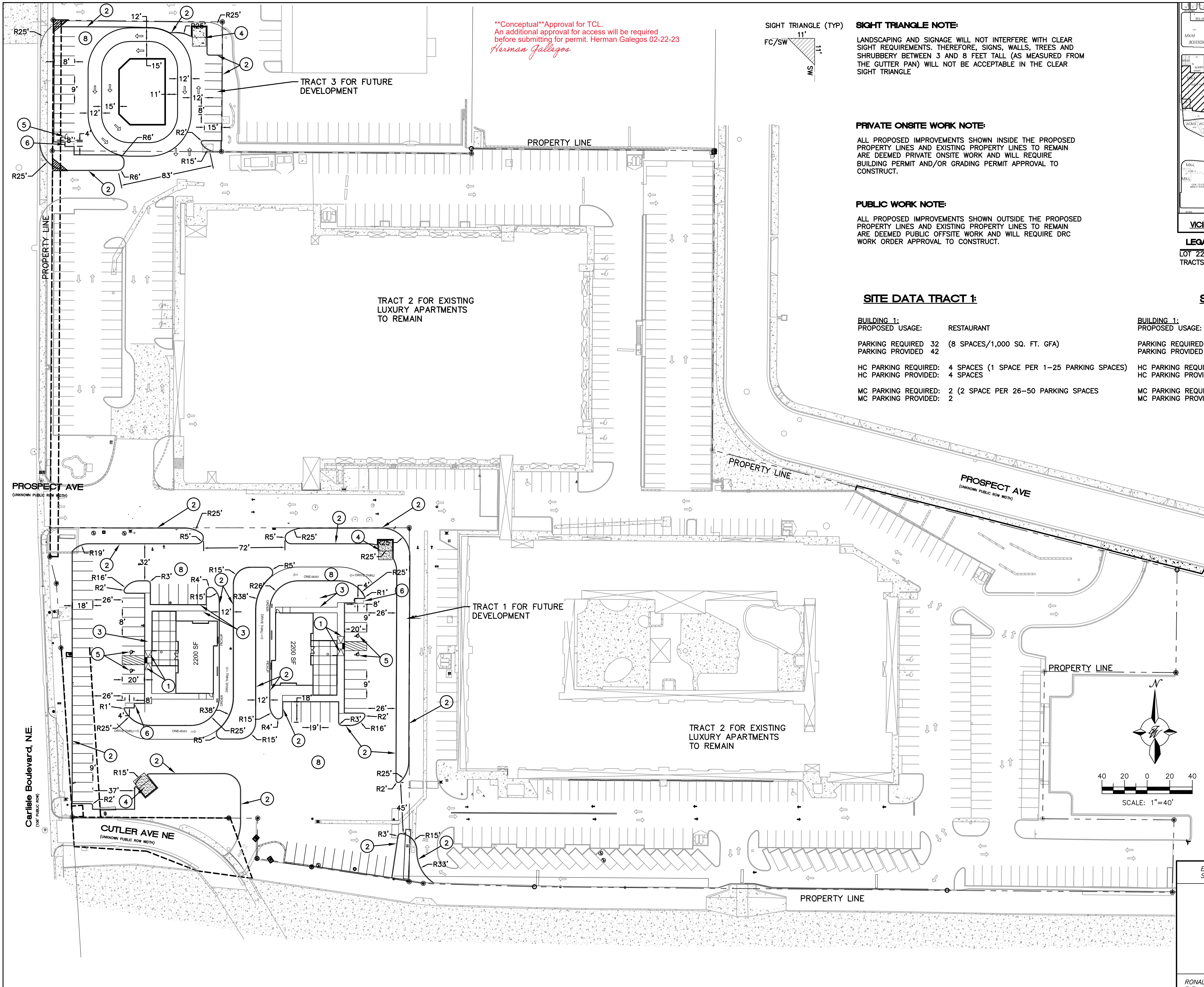
ENGINEER'S
SEAL

9-06-22
RONALD R. BOHANNAN
P.E. #7868

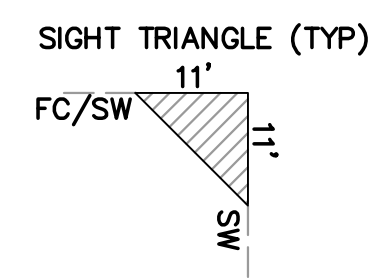
BLVD 2500
ALBUQUERQUE, NM
FIRE-1 PLAN

TERRA WEST, LLC
5571 MIDWAY PARK PL NE
ALBUQUERQUE, NEW MEXICO 87109
(505) 858-3100
www.tierrowestllc.com

DRAWN BY
SB
DATE
01-16-23
DRAWING
2022083 FO-1
SHEET #
C1.0
JOB #
2022083



****Conceptual**Approval for TCL.**
An additional approval for access will be required before submitting for permit. Herman Galegos 02-22-23
Herman Galegos



SIGHT TRIANGLE NOTE:
LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.

PRIVATE ONSITE WORK NOTE:
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SITE DATA TRACT 1:

BUILDING 1: PROPOSED USAGE:	RESTAURANT
PARKING REQUIRED 32 PARKING PROVIDED 42	(8 SPACES/1,000 SQ. FT. GFA)
HC PARKING REQUIRED: 4 SPACES (1 SPACE PER 1-25 PARKING SPACES) HC PARKING PROVIDED: 4 SPACES	
MC PARKING REQUIRED: 2 (2 SPACE PER 26-50 PARKING SPACES) MC PARKING PROVIDED: 2	

SITE DATA TRACT 3:

BUILDING 1: PROPOSED USAGE:	RESTAURANT
PARKING REQUIRED 16 PARKING PROVIDED 22	(8 SPACES/1,000 SQ. FT. GFA)
HC PARKING REQUIRED: 1 SPACES (1 SPACE PER 1-25 PARKING SPACES) HC PARKING PROVIDED: 1 SPACES	
MC PARKING REQUIRED: 1 (1 SPACE PER 1-25 PARKING SPACES) MC PARKING PROVIDED: 1	

KEYED NOTES

- UNIDIRECTIONAL ACCESSIBLE RAMP PER COA STD 2443 AND DETECTABLE WARNING SURFACE PER COA STD 2446
- 6" CURB AND GUTTER PER COA STD 2415A
- CONCRETE SIDEWALK PER COA STD 2430, WIDTH PER PLAN
- DUMPSTER W/RECYCLING
- ACCESSIBLE PARKING W/ WHEEL STOP AND SIGN PER ADA AND NMSA STANDARDS
- 4'x8'D MOTORCYCLE PARKING W/SIGN
- NEW PUBLIC ASPHALT PAVEMENT EXTENSION, MATCH EXISTING PAVEMENT SECTION
- PRIVATE ONSITE ASPHALT PAVEMENT, PAVEMENT SECTION PER GEOTECH REPORT

LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- BUILDING
- PROPOSED SIDEWALK
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE
- PARKING COUNT (NOT INCL. MC SPACES)
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- PROPOSED BICYCLE RACK (2 SPACES)
- 6'-WIDE ADA PEDESTRIAN ROUTE

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