

CITY OF ALBUQUERQUE



May 15, 2020

Kent D. Beierle, RA
Equiterra Regenerative Design
142 Truman St. Ste A-1
Albuquerque, NM 87107

Re: WYNDHAM HOTEL RENOVATIONS (PHASE 1, NO SITE WORK)
2500 Carlisle Blvd NE
60-Day Temporary Certificate of Occupancy
Transportation Development Final Inspection
Engineer's/Architect's Stamp dated 12-18-18 (AA) (H17D002)
Certification dated 5-14-20

Dear Mr. Beierle,

Based upon the information provided in your submittal received 5-14-20, Transportation Development has no objection to a 60-day Temporary Certificate of Occupancy based. This letter serves as a "green tag" from Transportation Development for a 60-day Temporary Certificate of Occupancy to be issued by the Building and Safety Division.

Prior to the issuance of a permanent Certificate of Occupancy, the following items must be addressed:

- Completion of Phase 4.

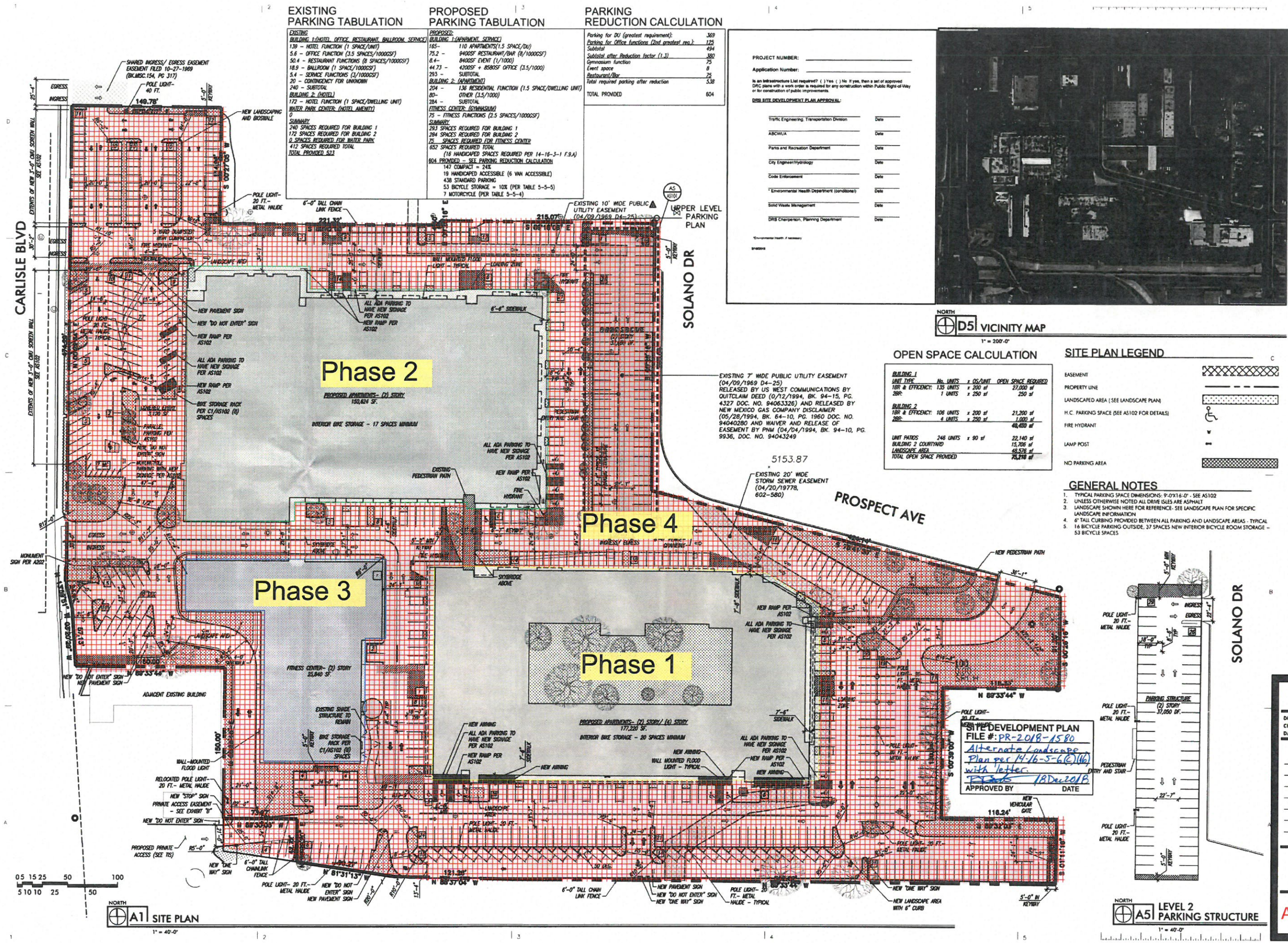
Once Phase 4 is complete resubmit

1. The approved and stamped Administrative Amendment with changes drawn in red.
2. Transportation Certification letter on either the plan or applicants letterhead.
3. A Drainage Transportation Information Sheet (DTIS)
4. Send an electronic copy of your submittal to PLNDRS@cabq.gov.
5. The \$110.00 submittal fee for log in and evaluation by Transportation.

If you have any questions, please contact me at (505) 924-3981.

Sincerely,


Ernie Gomez,
Plan Checker, Planning Dept.
Development Review Services
EG via: email
C: CO Clerk, File

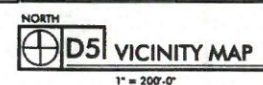
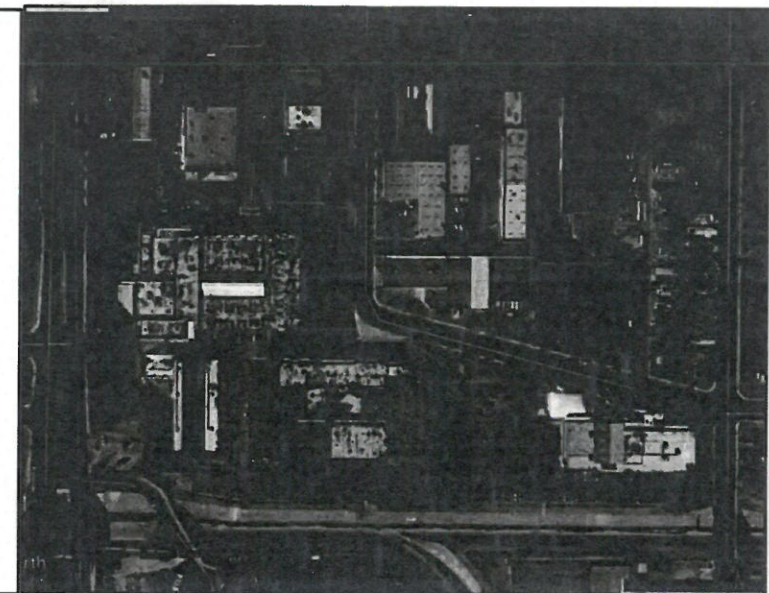


EXISTING PARKING TABULATION	PROPOSED PARKING TABULATION	PARKING REDUCTION CALCULATION
EXISTING: BUILDING 1 (HOTEL, OFFICE, RESTAURANT, BALLROOM, SERVICE) 139 - HOTEL FUNCTION (1 SPACE/UNIT) 5.6 - OFFICE FUNCTION (3.5 SPACES/1000GSF) 50.4 - RESTAURANT FUNCTIONS (8 SPACES/1000GSF) 18.9 - BALLROOM (1 SPACE/1000GSF) 5.4 - SERVICE FUNCTIONS (3/1000GSF) 240 - CONTINGENCY FOR UNKNOWN BUILDING 2 (HOTEL) 172 - HOTEL FUNCTION (1 SPACE/DWELLING UNIT) WATER PARK CENTER (HOTEL AMENITY) 0 SUMMARY: 240 SPACES REQUIRED FOR BUILDING 1 172 SPACES REQUIRED FOR BUILDING 2 0 SPACES REQUIRED FOR WATER PARK 412 SPACES REQUIRED TOTAL TOTAL PROVIDED 521	PROPOSED: BUILDING 1 (APARTMENT, SERVICE) 165 - 110 APARTMENTS (1.5 SPACE/DU) 75.2 - 9400SF RESTAURANT/BAR (8/1000GSF) 6.4 - 8400SF EVENT (1/1000) 44.73 - 4200SF + 8500SF OFFICE (3.5/1000) 293 - SUBTOTAL BUILDING 2 (APARTMENT) 204 - 136 RESIDENTIAL FUNCTION (1.5 SPACE/DWELLING UNIT) 80 - OTHER (3.5/1000) 284 - SUBTOTAL FITNESS CENTER (GYMNASIUM) 75 - FITNESS FUNCTIONS (2.5 SPACES/1000GSF) SUMMARY: 293 SPACES REQUIRED FOR BUILDING 1 204 SPACES REQUIRED FOR BUILDING 2 75 SPACES REQUIRED FOR FITNESS CENTER 567 SPACES REQUIRED TOTAL (16 HANDICAPPED SPACES REQUIRED PER 14-16-5-1 F.9.A) 604 PROVIDED - SEE PARKING REDUCTION CALCULATION 147 COMPACT = 248 19 HANDICAPPED ACCESSIBLE (6 VAN ACCESSIBLE) 438 STANDARD PARKING 53 BICYCLE STORAGE = 10X (PER TABLE 5-5-5) 7 MOTORCYCLE (PER TABLE 5-5-4)	Parking for DU (greatest requirement): 369 Parking for Office functions (2nd greatest req.): 125 Subtotal: 494 Subtotal after Reduction factor (1.3): 380 Gymnasium function: 75 Event space: 8 Restaurant/Bar: 25 Total required parking after reduction: 538 TOTAL PROVIDED: 604

PROJECT NUMBER: _____
Application Number: _____
Is an Infrastructure List required? () Yes () No If yes, then a set of approved DDC plans with a work order is required for any construction within Public Right of Way or for construction of public improvements.
DRB SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineering, Transportation Division	Date
ABCHUA	Date
Parks and Recreation Department	Date
City Engineer/Hydrology	Date
Code Enforcement	Date
Environmental Health Department (conditions)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

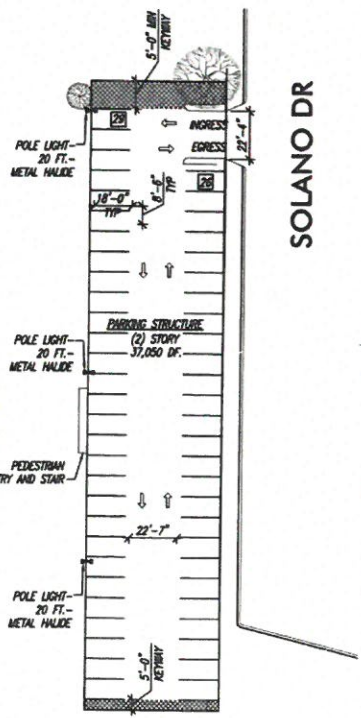
Environmental Health Department (conditions):
Drainage



OPEN SPACE CALCULATION			
BUILDING 1			
UNIT TYPE	No. UNITS	sq. FT./UNIT	OPEN SPACE REQUIRED
1BR & EFFICIENCY:	135 UNITS	x 200 sf	27,000 sf
2BR:	1 UNITS	x 250 sf	250 sf
BUILDING 2			
1BR & EFFICIENCY:	106 UNITS	x 200 sf	21,200 sf
2BR:	4 UNITS	x 250 sf	1,000 sf
UNIT PATIOS	246 UNITS	x 90 sf	22,140 sf
BUILDING 2 COURTYARD			15,706 sf
LANDSCAPE AREA			48,576 sf
TOTAL OPEN SPACE PROVIDED			75,216 sf

- SITE PLAN LEGEND**
- EASEMENT
 - PROPERTY LINE
 - LANDSCAPED AREA (SEE LANDSCAPE PLAN)
 - H.C. PARKING SPACE (SEE AS102 FOR DETAILS)
 - FIRE HYDRANT
 - LAMP POST
 - NO PARKING AREA
- GENERAL NOTES**
1. TYPICAL PARKING SPACE DIMENSIONS: 9'-0"x14'-0". SEE AS102
 2. UNLESS OTHERWISE NOTED ALL DRIVE ISLES ARE ASPHALT
 3. LANDSCAPE SHOWN HERE FOR REFERENCE. SEE LANDSCAPE PLAN FOR SPECIFIC LANDSCAPE INFORMATION
 4. 6" TALL CURBING PROVIDED BETWEEN ALL PARKING AND LANDSCAPE AREAS - TYPICAL
 5. 16 BICYCLE PARKING OUTSIDE, 37 SPACES NEW INTERIOR BICYCLE ROOM STORAGE - 53 BICYCLE SPACES

SITE DEVELOPMENT PLAN
FILE #: PR-2018-1580
Alternate Landscape Plan per 14-16-5-6(2)(b) with letter.
APPROVED BY: _____ DATE: 18 Dec 2018



ISSUE:
SUBMITTAL
DRAWN BY: EDI
CHECKED BY: EDI
DATE: 2018.01.14

REVISIONS

SITE PLAN PROPOSED USES

18007
AS102.2

WYNDHAM RENOVATIONS
RHINO INVESTMENTS - NM HOTEL LLC
2500 CARLISLE BLVD NE
ALBUQUERQUE, NM 87110

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May 14, 2020

Ernest Gomez
City of Albuquerque Planning Department
600 2nd Street NW
Albuquerque, NM 87102

Re: BP-2018-16345 TRAFFIC CERTIFICATION with no scope

The overall development at 2500 Carlisle Blvd is being implemented in phases. The current scope (BP-2018-44341) of work that we seek Certificate of Occupancy for falls under Phase 1 scope of work and includes no site improvements. Site improvements are slated for Phase 4 after the building improvements are completed. See attached phases articulated on the approved DRB site plan. Phase 4 has yet to be permitted at this time.

I Kent Beierle, NMRA, of the firm Equiterra Regenerative Design, hereby certify that this project is proceeding in accordance with this implementation plan and as such there is no current site work to approve.


Kent Beierle, Principal
Architect

