

# CITY OF ALBUQUERQUE

*Planning Department*  
Alan Varela, Director



*Mayor Timothy M. Keller*

March 30, 2023

Vinny Perea, PE  
Tierra West  
5571 Midway Park Pl. NE  
Albuquerque, NM 87109

**Re: Blvd 2500  
2500 and 2412 Carlisle Ave. NE  
Conceptual Traffic Circulation Layout for DFT Approval  
Engineer's Stamp 03-30-23 (H17-D002)**

Dear Mr. Perea,

The conceptual TCL submittal received 03-24-2023 is approved for DHO submittal. When submitting this project through the building permit process, a full Traffic Circulation Layout will need to be submitted and approved prior to building permit.

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Ernest Armijo, P.E.  
Principal Engineer, Planning Dept.  
Development Review Services

C: CO Clerk, File



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET

**Project Title:** Blvd 2500 **Building Permit #** \_\_\_\_\_ **Hydrology File #** \_\_\_\_\_

**DRB#** PR-2018-00158 **EPC#** \_\_\_\_\_

**Legal Description:** TRS 1 2 & 3 Unit 1 Together w/TRS 4 5 & 6A Unit 2  
Dale J Bellamahs Carlisle Replat & Lot 22A Plat of Lt 22A City Address OR Parcel 2500 & 2412 Carlisle Blvd NE  
Blk 22 Timoteo Chavez Addition & Port of BLKS N & O Timoteo Chavez Addition

**Applicant/Agent:** Tierra West LLC **Contact:** VINNY PEREA

**Address:** 5571 Midway Park Place NE Albuquerque, NM 87109 **Phone:** 505-858-3100

**Email:** vperea@tierrawestllc.com

**Applicant/Owner:** Rhino Investments NM Hotel LLC **Contact:** Sanjiv Chopra

**Address:** 101 E Vineyard Ave Suite 201 **Phone:** 702-843-4251

**Email:** sanjiv@rhinoig.com

**TYPE OF DEVELOPMENT:** ☒ PLAT (#of lots) 3 ☐ RESIDENCE ☐ DRB SITE ☐ ADMIN SITE: \_\_\_\_\_

**RE-SUBMITTAL:** ☒ YES ☐ NO

**DEPARTMENT:** ☒ TRANSPORTATION ☐ HYDROLOGY/DRAINAGE

Check all that apply:

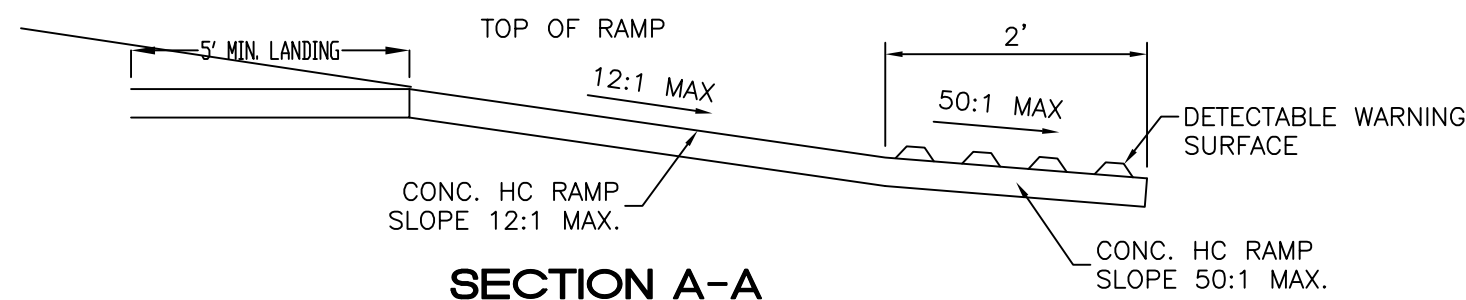
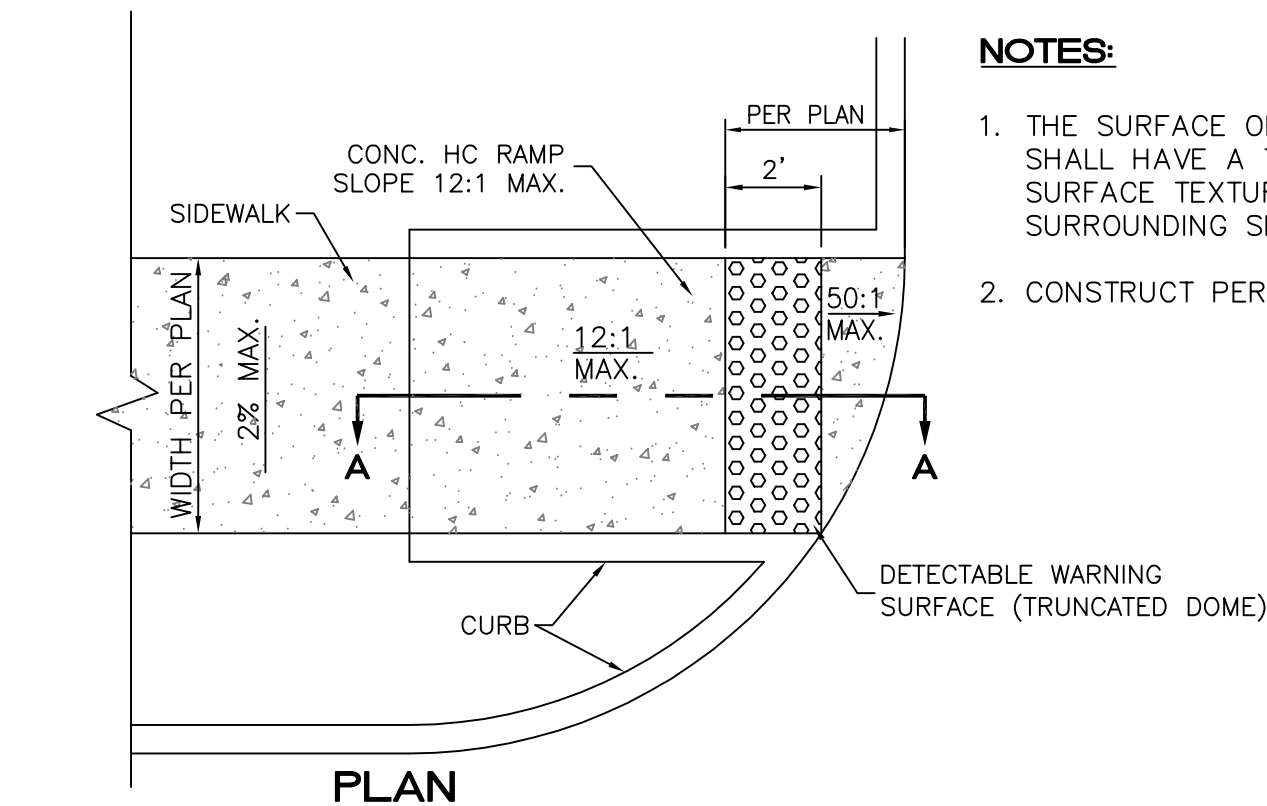
### TYPE OF SUBMITTAL:

- ☐ ENGINEER/ARCHITECT CERTIFICATION
- ☐ PAD CERTIFICATION
- ☐ CONCEPTUAL G&D PLAN
- ☐ GRADING PLAN
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE MASTER PLAN
- ☐ FLOOD PLAN DEVELOPMENT PERMIT APP.
- ☐ ELEVATION CERTIFICATE
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ADMINISTRATIVE
- ☒ TRAFFIC CIRCULATION LAYOUT FOR DRB APPROVAL (CONCEPTUAL)
- ☐ TRAFFIC IMPACT STUDY (TIS)
- ☐ STREET LIGHT LAYOUT
- ☐ OTHER (SPECIFY) \_\_\_\_\_
- ☐ PRE-DESIGN MEETING?

### TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY
- ☒ CONCEPTUAL TCL DRB APPROVAL
- ☒ PRELIMINARY PLAT APPROVAL
- ☐ SITE PLAN FOR SUB'D APPROVAL
- ☐ SITE PLAN FOR BLDG PERMIT APPROVAL
- ☒ FINAL PLAT APPROVAL
- ☐ SIA/RELEASE OF FINANCIAL GUARANTEE
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ GRADING PAD CERTIFICATION
- ☐ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ FLOOD PLAN DEVELOPMENT PERMIT
- ☐ OTHER (SPECIFY) \_\_\_\_\_

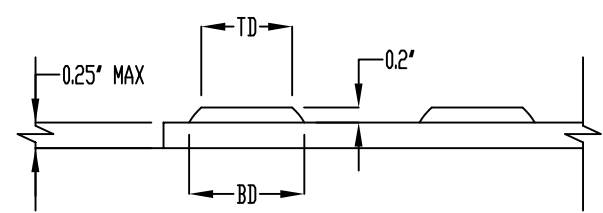
**DATE SUBMITTED:** 03.21.2023



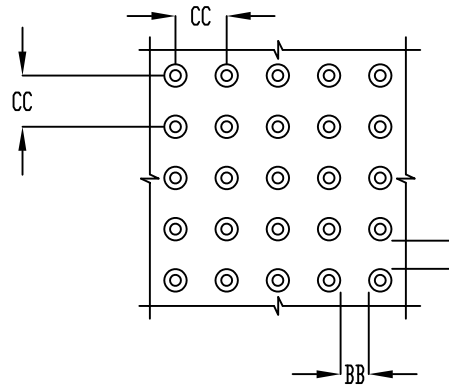
UNIDIRECTIONAL HC RAMP  
NOT TO SCALE

NOTES:

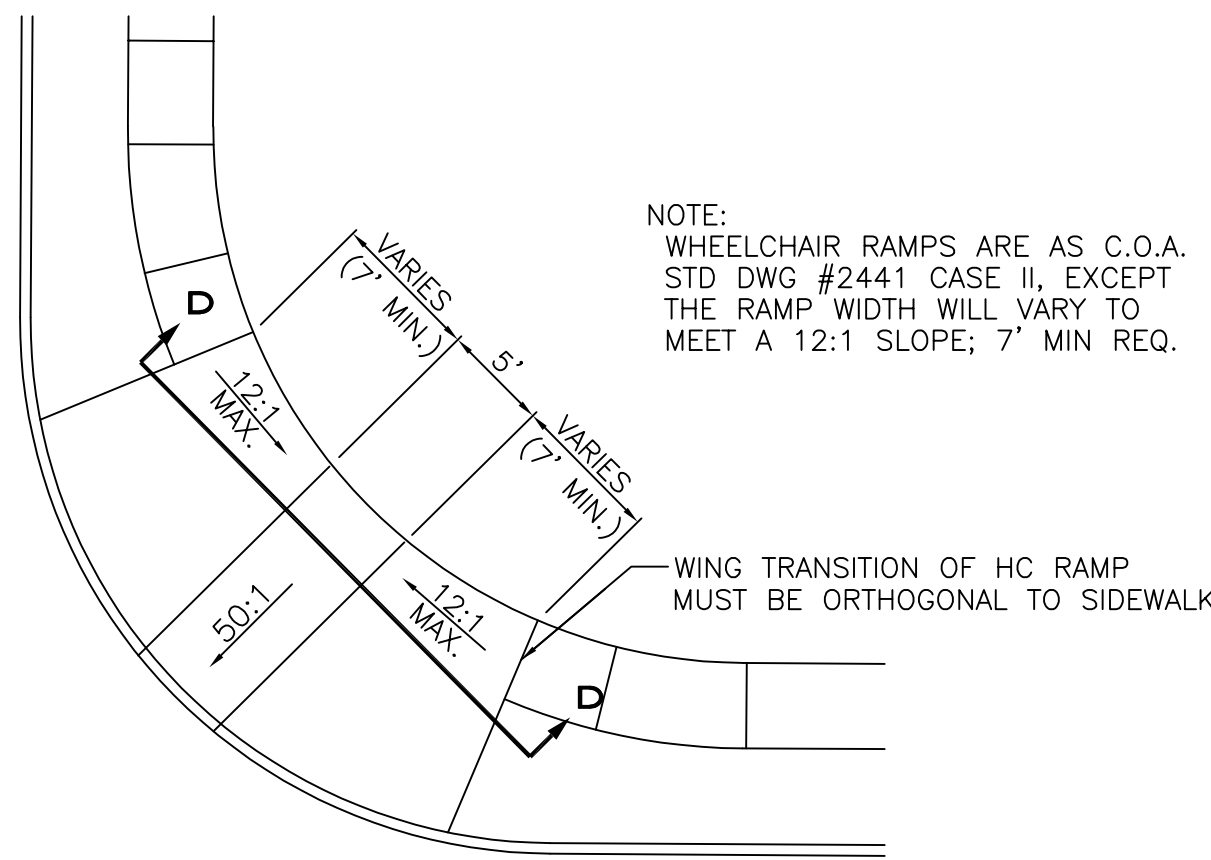
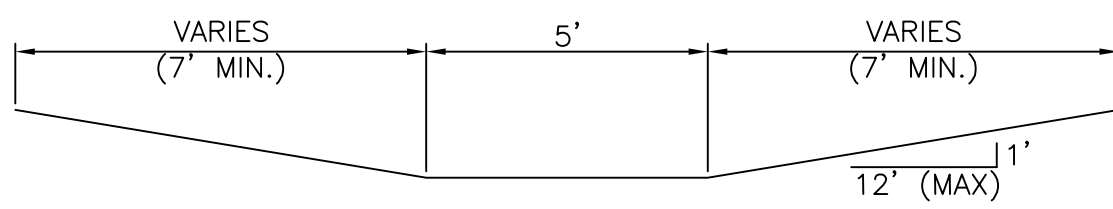
1. THE SURFACE OF RAMP AND SIDES SHALL HAVE A TRANSVERSE BROOMED SURFACE TEXTURE ROUGHER THAN THE SURROUNDING SIDEWALK.
2. CONSTRUCT PER A.D.A. STANDARDS.



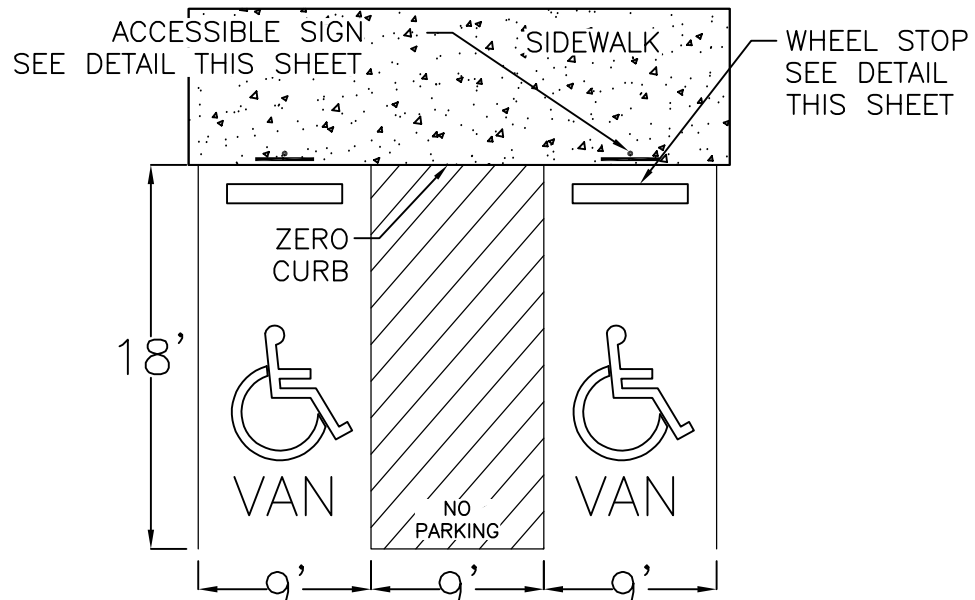
BD - BASE DIAMETER 0.9" MIN  
TD - TOP DIAMETER 50% OF BD MIN TO 65% OF BD MAX



CC - CENTER TO CENTER SPACING 2.35"  
BB - BASE TO BASE SPACING 1.48" MIN

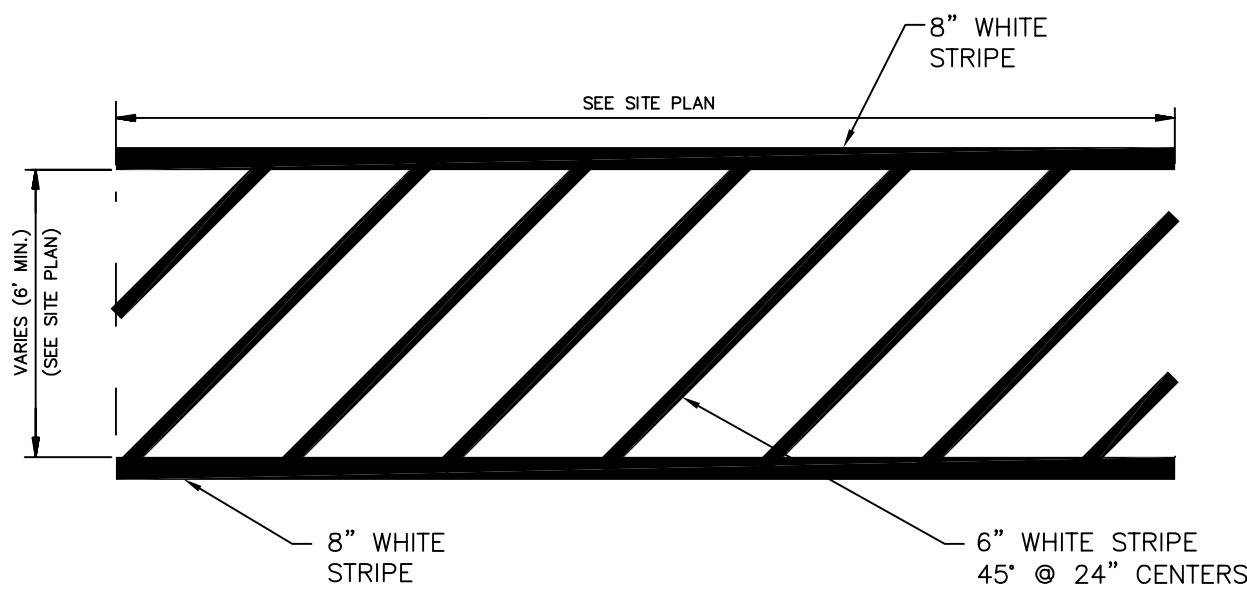


WHEELCHAIR RAMP DETAIL (TYP.)  
NTS



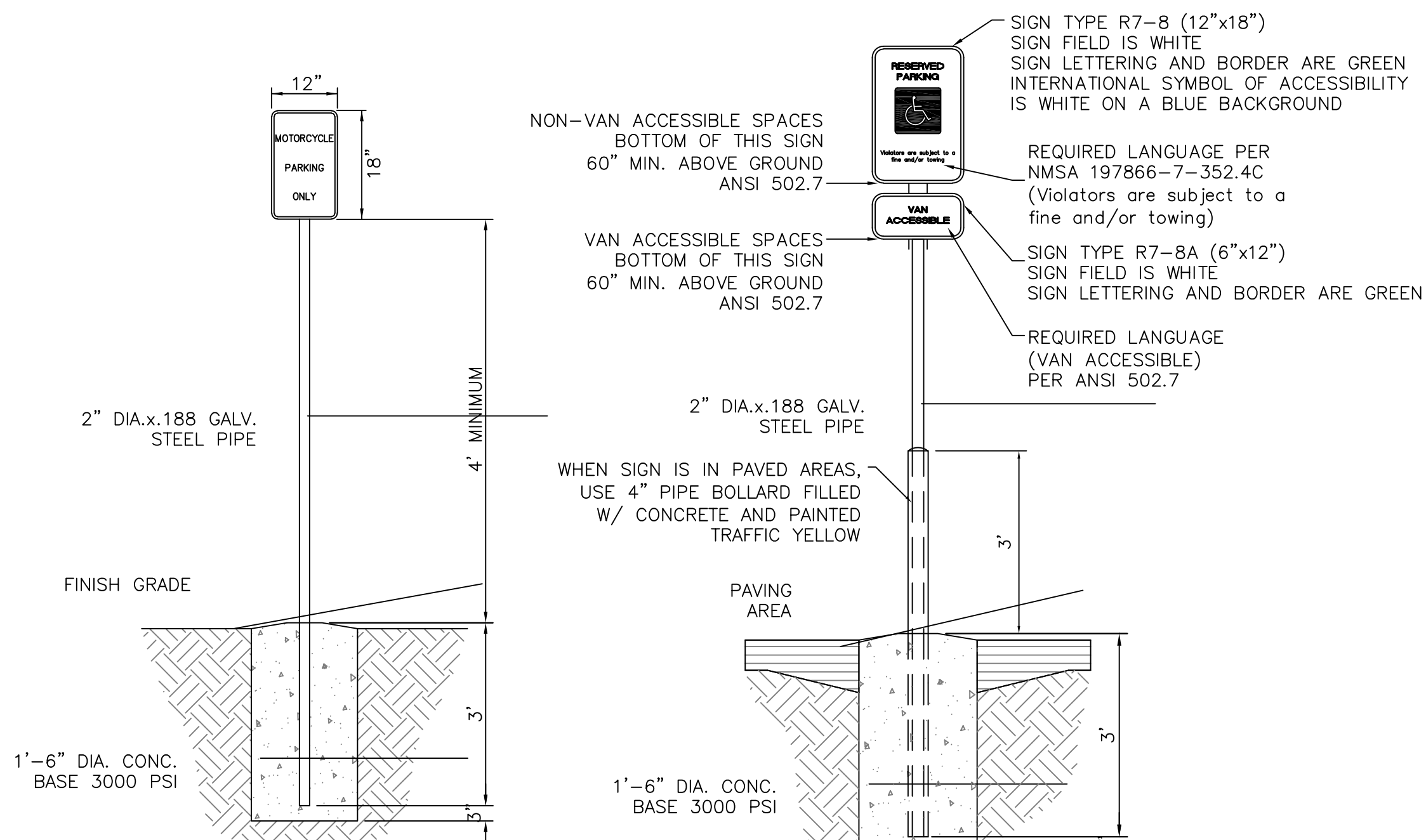
- NOTES:
- 1) International Symbol of Accessibility shall be painted on the pavement at rear of space, white symbol on blue background.
  - 2) Parking space lines and diagonal striping to be painted blue.
  - 3) Access aisle shall have the words "NO PARKING" in capital letters, each of which shall be at least one foot high and at least two inches wide, placed at the rear of the parking space so as to be close to where an adjacent vehicle's rear tires would be placed.

HC PARKING DETAIL  
NTS



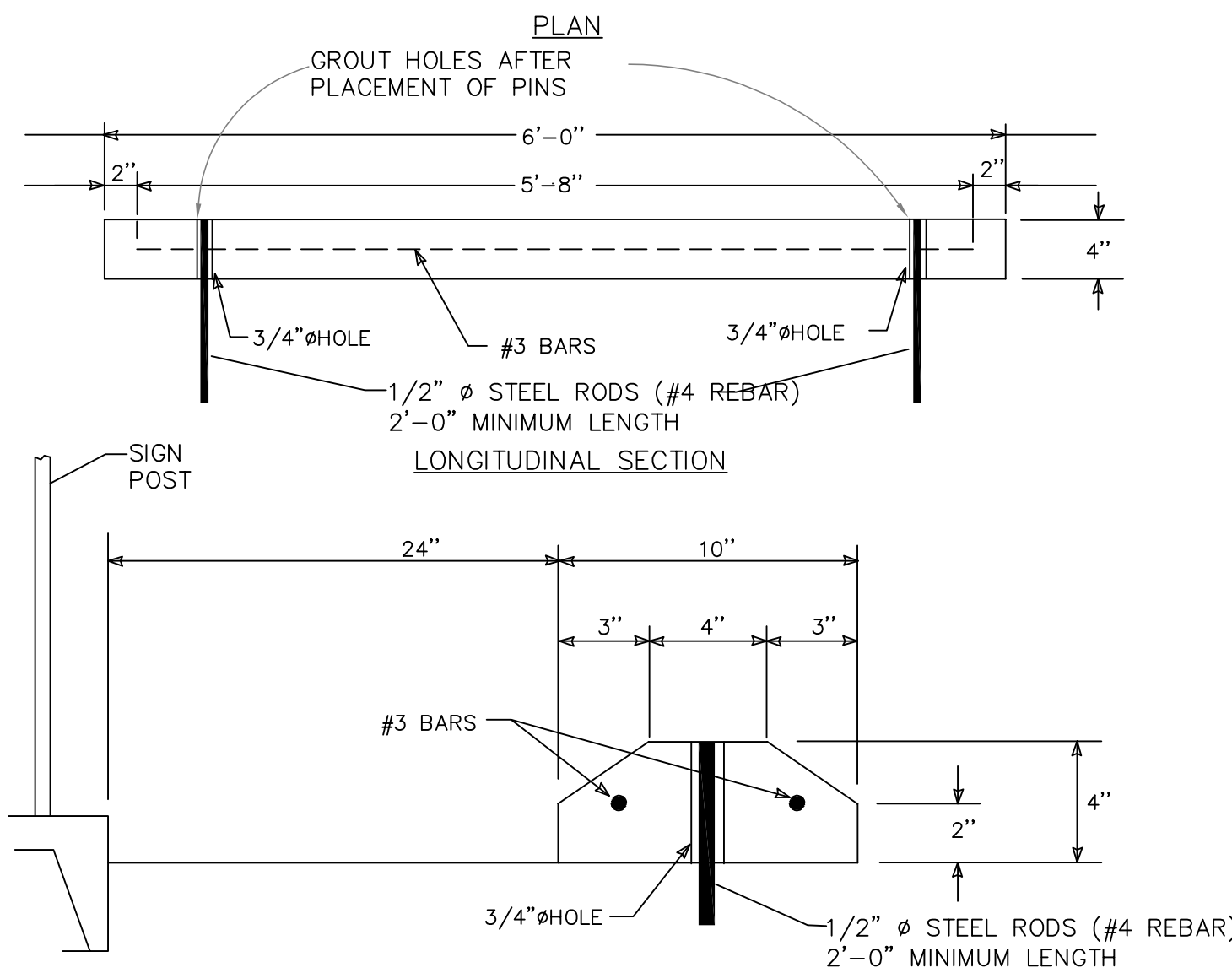
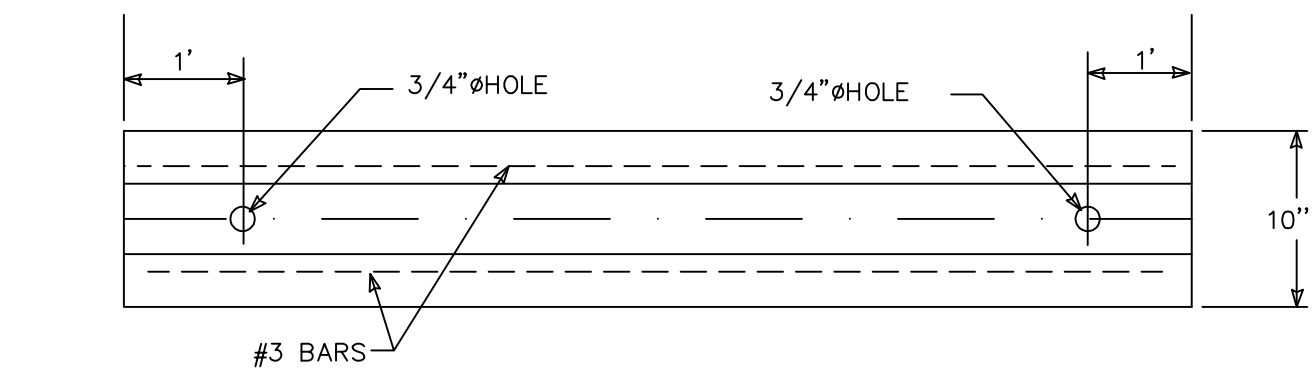
- NOTE:
1. MARKINGS WITHIN PRIVATE PARKING LOT SHALL BE PER THIS DETAIL.
  2. THESE MARKINGS ARE TO BE PAINTED REFLECTIVE WHITE.

CROSSWALK/PED. CROSSING  
NTS

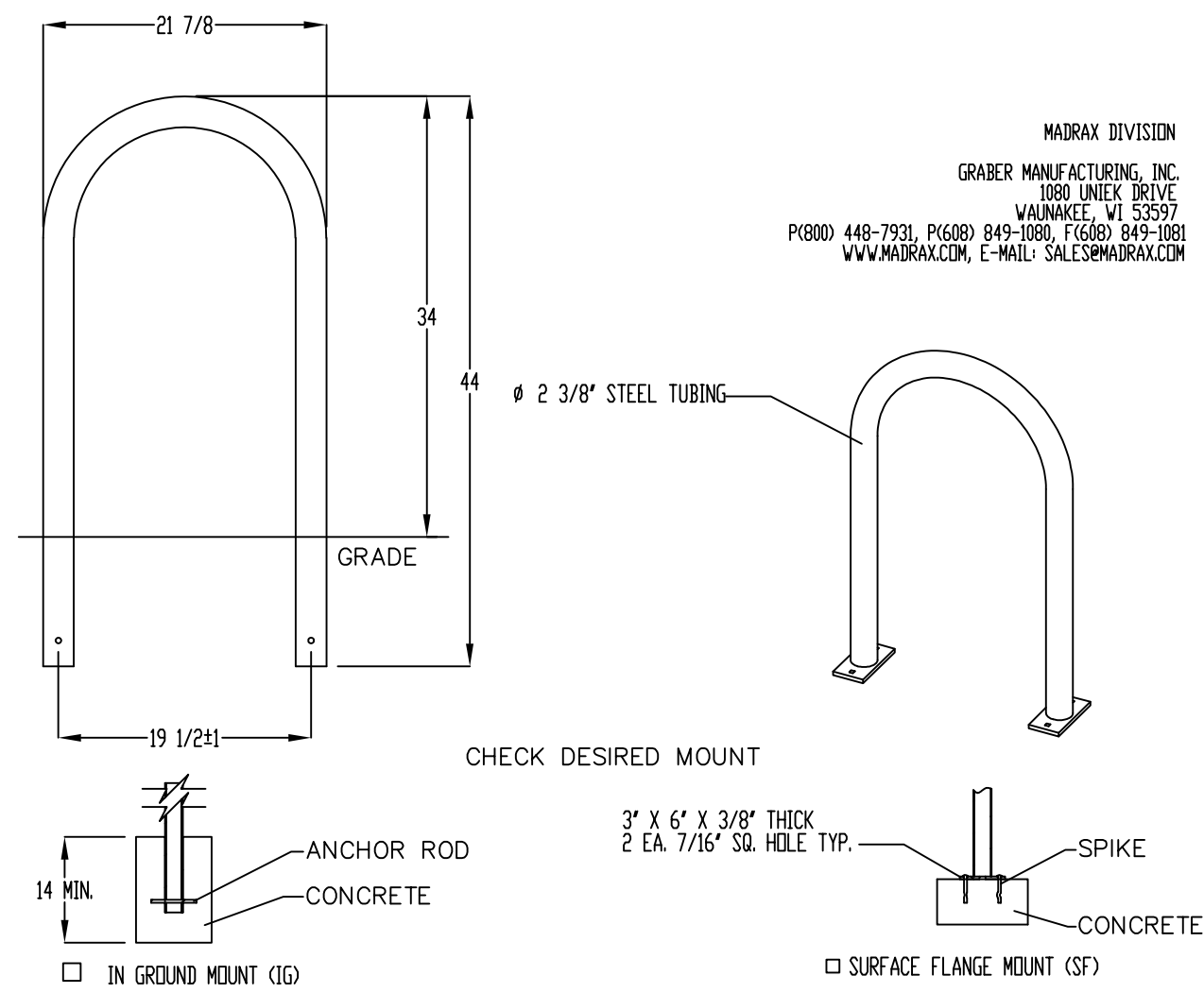


MOTORCYCLE PARKING SIGN  
NTS

ACCESSIBLE PARKING SIGN  
NTS

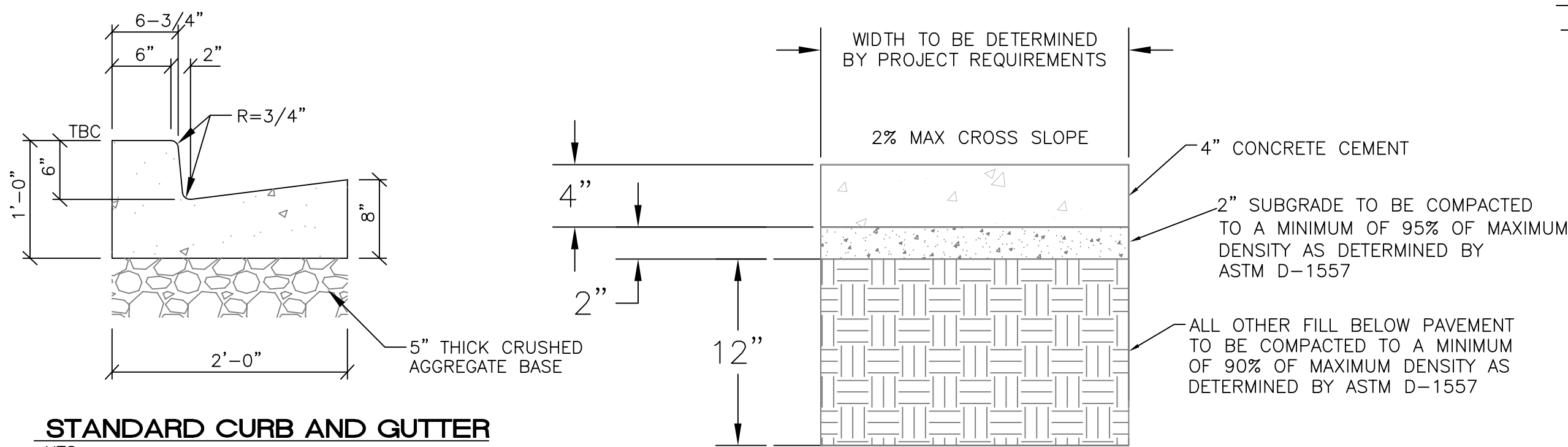


WHEEL STOP  
CROSS SECTION



- PRODUCT: U238-1G(SF)  
DESCRIPTION: 1" BIKE RACK  
2. BIKE, SURFACE OR IN GROUND MOUNT
- DATE: 10-4-18  
ENG: SMC
- CONFIDENTIAL DRAWING AND INFORMATION IS NOT TO BE COPIED OR DISCLOSED TO OTHERS WITHOUT THE CONSENT OF GRABER MANUFACTURING, INC. SPECIFICATIONS ARE SUBJECT TO CHANGE WITHOUT NOTICE.
- ©2018 GRABER MANUFACTURING, INC. ALL PROPRIETARY RIGHTS RESERVED.
- NOTES:
1. INSTALL BIKE RACKS ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
  2. CONSULTANT TO SELECT COLOR FINISH. SEE MANUFACTURER'S SPECIFICATIONS.
  3. SEE SITE PLAN FOR LOCATION OR CONSULT OWNER.
  3. BIKE RACK SHALL HAVE A 1-FOOT CLEAR ZONE ALL AROUND.
  3. EACH BIKE RACK SPACE SHALL BE AT LEAST 6 FEET LONG AND 2 FEET WIDE.

BIKE RACK DETAIL  
SCALE: NONE

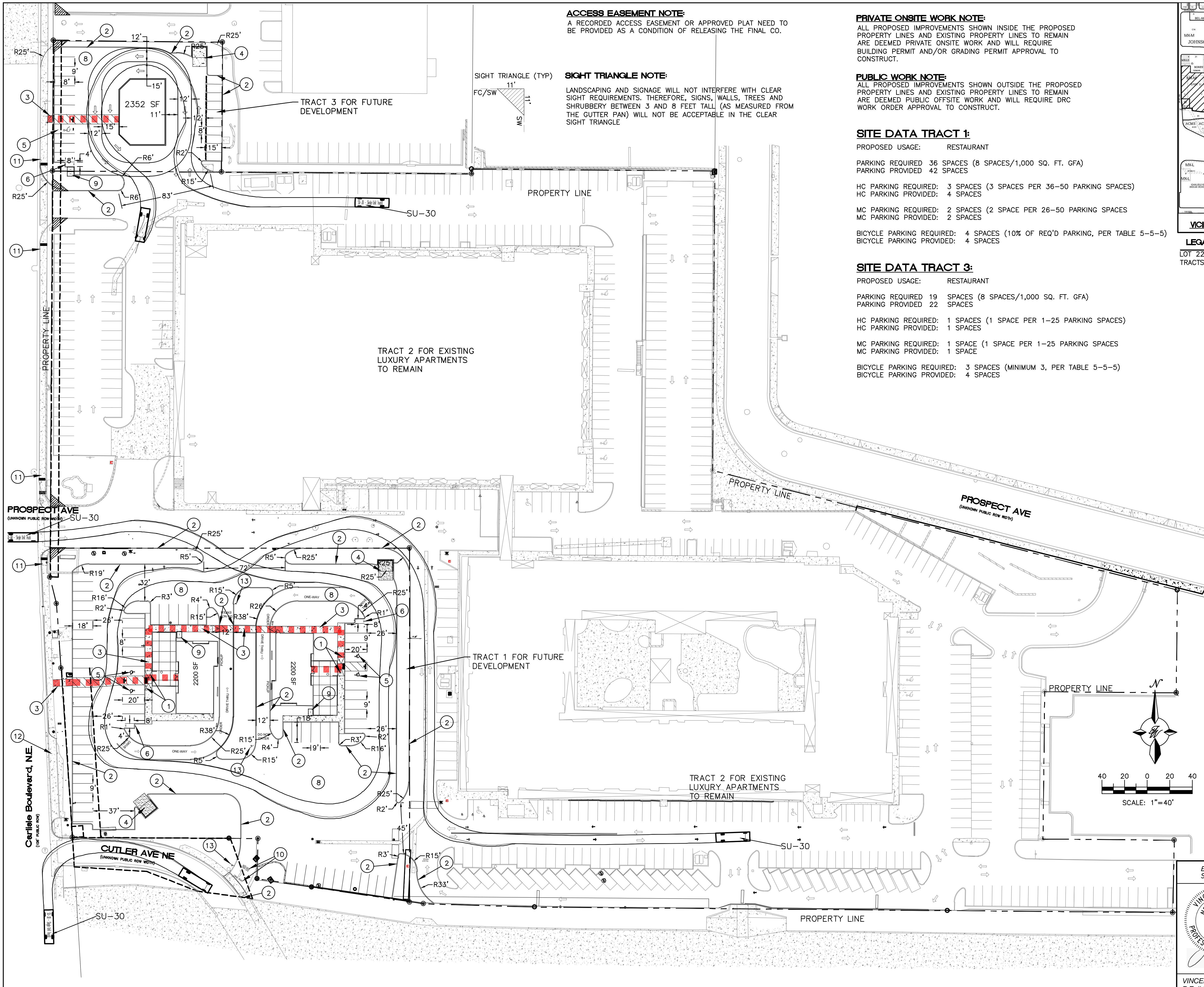


STANDARD CURB AND GUTTER  
NTS

CONCRETE SIDEWALK SECTION

<div>ENGINEER'S SEAL</div> <div></div> <div>RONALD R. BOHANNAN P.E. #7868</div>	BLVD 2500 ALBUQUERQUE, NM	DRAWN BY SB
		DATE 01-16-23
		DRAWING
	SITE DETAILS	SHEET # TCL-2
<div></div> <div>TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com</div>		JOB # 2022083





**ACCESS EASEMENT NOTE:**

A RECORDED ACCESS EASEMENT OR APPROVED PLAT NEED TO BE PROVIDED AS A CONDITION OF RELEASING THE FINAL CO.

**SIGHT TRIANGLE NOTE:**

LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE

**PRIVATE ONSITE WORK NOTE:**

ALL PROPOSED IMPROVEMENTS SHOWN INSIDE THE PROPOSED PROPERTY LINES AND EXISTING PROPERTY LINES TO REMAIN ARE DEEMED PRIVATE ONSITE WORK AND WILL REQUIRE BUILDING PERMIT AND/OR GRADING PERMIT APPROVAL TO CONSTRUCT.

**PUBLIC WORK NOTE:**

ALL PROPOSED IMPROVEMENTS SHOWN OUTSIDE THE PROPOSED PROPERTY LINES AND EXISTING PROPERTY LINES TO REMAIN ARE DEEMED PUBLIC OFFSITE WORK AND WILL REQUIRE DRC WORK ORDER APPROVAL TO CONSTRUCT.

**SITE DATA TRACT 1:**

PROPOSED USAGE: RESTAURANT

PARKING REQUIRED 36 SPACES (8 SPACES/1,000 SQ. FT. GFA)  
PARKING PROVIDED 42 SPACES

HC PARKING REQUIRED: 3 SPACES (3 SPACES PER 36-50 PARKING SPACES)  
HC PARKING PROVIDED: 4 SPACES

MC PARKING REQUIRED: 2 SPACES (2 SPACE PER 26-50 PARKING SPACES)  
MC PARKING PROVIDED: 2 SPACES

BICYCLE PARKING REQUIRED: 4 SPACES (10% OF REQ'D PARKING, PER TABLE 5-5-5)  
BICYCLE PARKING PROVIDED: 4 SPACES

**SITE DATA TRACT 3:**

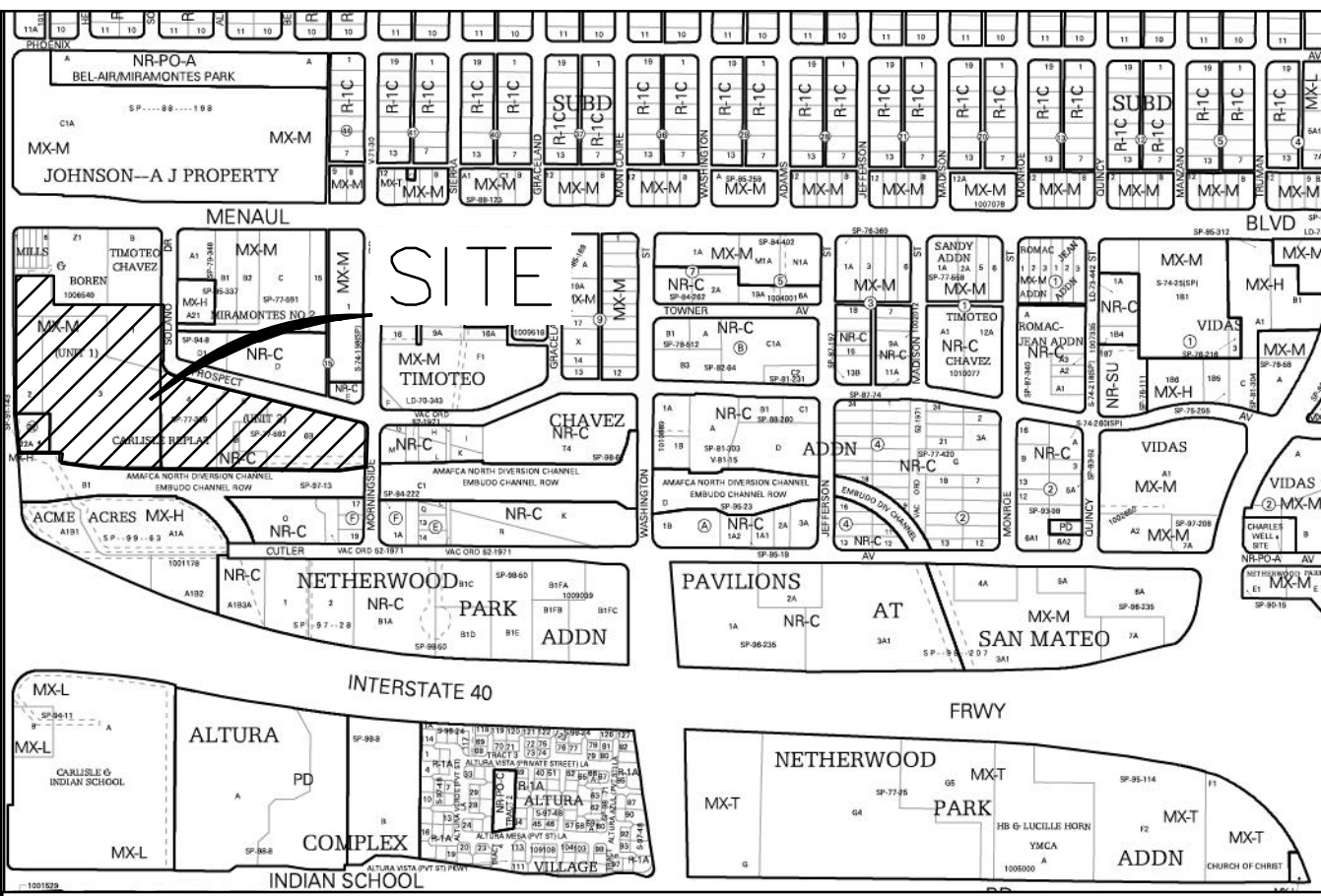
PROPOSED USAGE: RESTAURANT

PARKING REQUIRED 19 SPACES (8 SPACES/1,000 SQ. FT. GFA)  
PARKING PROVIDED 22 SPACES

HC PARKING REQUIRED: 1 SPACES (1 SPACE PER 1-25 PARKING SPACES)  
HC PARKING PROVIDED: 1 SPACES

MC PARKING REQUIRED: 1 SPACE (1 SPACE PER 1-25 PARKING SPACES)  
MC PARKING PROVIDED: 1 SPACE

BICYCLE PARKING REQUIRED: 3 SPACES (MINIMUM 3, PER TABLE 5-5-5)  
BICYCLE PARKING PROVIDED: 4 SPACES



**VICINITY MAP**

**H-17-Z**

**LEGAL DESCRIPTION**

LOT 22 A & PORTION OF BLOCKS N & O TIMOTEO CHAVEZ ADDITION, A PORTION OF TRACTS 2 & 3, UNIT 1, DALE J. BELLAHMAH'S CARLISLE REPLAT

**KEYED NOTES**

- UNIDIRECTIONAL ACCESSIBLE RAMP PER COA STD 2443 AND DETECTABLE WARNING SURFACE PER COA STD 2446
- 6" CURB AND GUTTER PER COA STD 2415A
- 6'-WIDE CONCRETE SIDEWALK PER COA STD 2430
- DUMPSTER W/RECYCLING
- ACCESSIBLE PARKING W/ WHEEL STOP AND SIGN PER ADA AND NMSA STANDARDS, 2% MAX SLOPE IN ANY DIRECTION
- 4'Wx8'D MOTORCYCLE PARKING W/SIGN
- NEW PUBLIC ASPHALT PAVEMENT EXTENSION, MATCH EXISTING PAVEMENT SECTION
- PRIVATE ONSITE ASPHALT PAVEMENT, PAVEMENT SECTION PER GEOTECH REPORT
- BICYCLE RACK
- "ONE WAY" AND "DO NOT ENTER" PAVEMENT MARKINGS
- REMOVE AND REPLACE UNIDIRECTIONAL ADA RAMP W/ TRUNCATED DOMES PER COA STD DWG 2443 AND 2446
- REMOVE EX. DRIVEWAY AND REPLACE WITH CURB, GUTTER AND SIDEWALK PER COA STD DWG 2415A AND 2430

**LEGEND**

- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- BUILDING
- PROPOSED SIDEWALK
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE
- PARKING COUNT (NOT INCL. MC SPACES)
- CLEAR SIGHT TRIANGLE
- PROPOSED PUBLIC ASPHALT PAVEMENT
- PROPOSED BICYCLE RACK (2 SPACES)
- 6'-WIDE ADA PEDESTRIAN ROUTE

**VEHICLE TRACKING NOTE:**

AN AASHTO 2011 SU-30 WAS USED.

**SIDEWALK AND CURB NOTE:**

ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB & GUTTER PER COA STD DWG 2415A AND 2430.



**BLVD 2500  
ALBUQUERQUE, NM**

**TRAFFIC CIRCULATION  
LAYOUT**

**TIERRA WEST, LLC**  
5571 MIDWAY PARK PL NE  
ALBUQUERQUE, NEW MEXICO 87109  
(505) 858-3100  
www.tierrawestllc.com

DRAWN BY  
SB

DATE  
01-16-23

DRAWING

SHEET #

**C1.1**

JOB #  
2022083