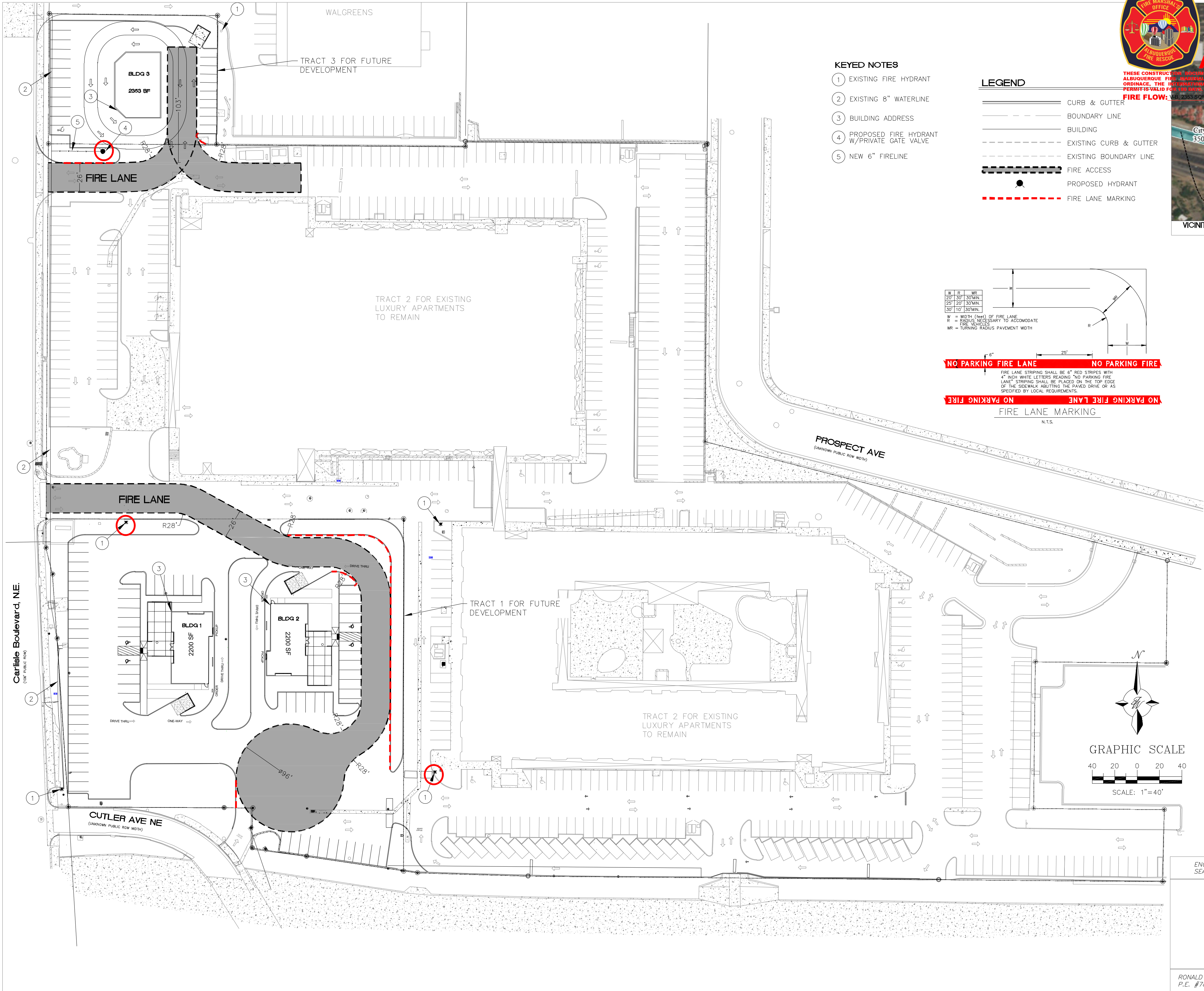


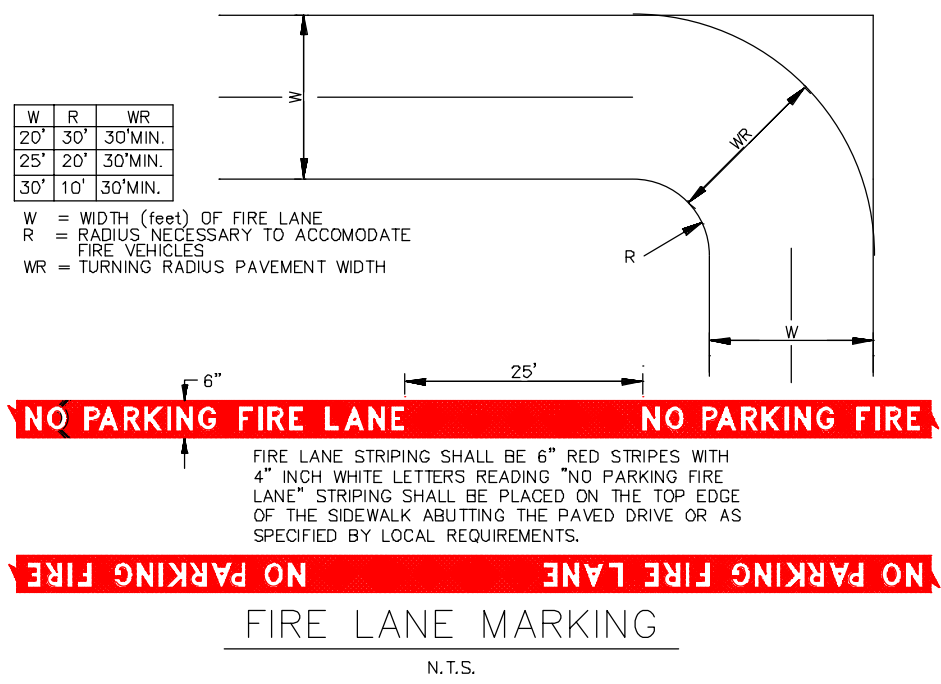


KEYED NOTES

- 1 EXISTING FIRE HYDRANT
- 2 EXISTING 8" WATERLINE
- 3 BUILDING ADDRESS
- 4 PROPOSED FIRE HYDRANT W/PRIVATE GATE VALVE
- 5 NEW 6" FIRELINE

LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- BUILDING
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE
- FIRE ACCESS
- PROPOSED HYDRANT
- FIRE LANE MARKING



ALBUQUERQUE FIRE MARSHAL'S
DIVISION OFFICE PLANS
CHECKING DIVISION
PERMIT
PERMIT NUMBER: FP 23-013034
APPROVED DATE: 8/16/2022
APPROVED
AREA OF MINIMAL FLOOD HAZARD

THESE CONSTRUCTION REQUIREMENTS, WHEN COMBINED WITH THE CITY OF ALBUQUERQUE FIRE DEPARTMENT'S ORDINANCE, THE INTERNATIONAL FIRE CODE, AND THE NATIONAL FIRE PROTECTION ASSOCIATION'S FIRE LOSS PREVENTION CODE, SHALL BE USED TO DETERMINE THE FIRE FLOW REQUIRED FOR THE PROJECT.

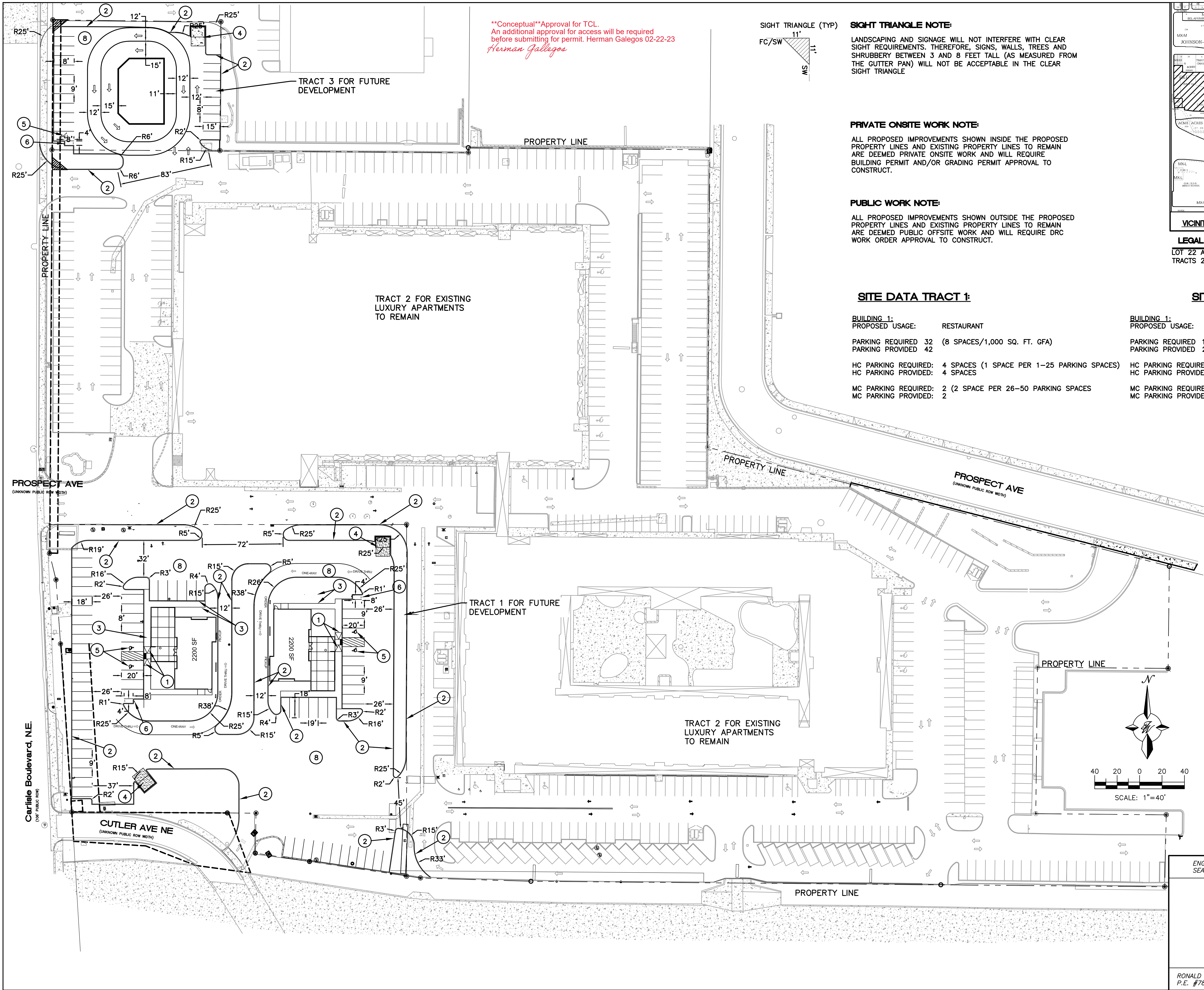


NOTES

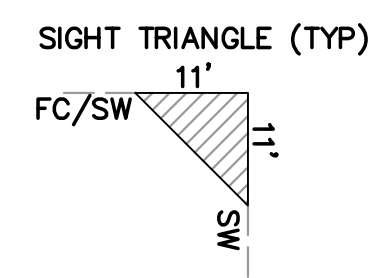
- 1. ON SITE FIRE LANE ROAD SHALL BE MARKED ON BOTH SIDES, AS DIRECTED BY FIRE MARSHALL
- 2. FIRE APPARATUS ACCESS ROADS SHALL NOT EXCEED 10 PERCENT IN GRADE AND SHALL HAVE AN ALL WEATHER DRIVING SURFACE CAPABLE OF SUPPORTING THE IMPOSED LOAD OF FIRE APPARATUS WEIGHING AT LEAST 75000 LBS
- 3. KEY BOX (KNOX BOX) SHALL BE MOUNTED BETWEEN 4 AND 6 FEET ABOVE GRADE AND SHALL BE ILLUMINATED.
- 4. STANDPIPE SYSTEMS SHALL BE INSTALLED THROUGHOUT BUILDINGS WHERE THE FLOOR LEVEL OF THE HIGHEST STORY IS LOCATED MORE THAN 30 FEET ABOVE THE LOWEST LEVEL OF THE FIRE DEPT. VEHICLE ACCESS

TRACT 1 — BLDG 1	
COMMERCIAL OCCUPANCY TYPE	A-2
LOT AREA	84369 SF (1.94 ACRES)
BUILDING FOOTPRINT	2200 SF
CONSTRUCTION TYPE	V-B
NON-SPRINKLERED	
MAX BUILDING HEIGHT	16'
FIRE FLOW	1500 GPM
TRACT 1 — BLDG 2	
COMMERCIAL OCCUPANCY TYPE	A-2
LOT AREA	84369 SF (1.94 ACRES)
BUILDING FOOTPRINT	2200 SF
CONSTRUCTION TYPE	V-B
NON-SPRINKLERED	
MAX BUILDING HEIGHT	16'
FIRE FLOW	1500 GPM
TRACT 3 — BLDG 3	
COMMERCIAL OCCUPANCY TYPE	A-2
LOT AREA	17209 SF (0.40 ACRES)
BUILDING FOOTPRINT	2353 SF
CONSTRUCTION TYPE	V-B
NON-SPINKLERED	
MAX BUILDING HEIGHT	16'
FIRE FLOW	1500 GPM

ENGINEER'S SEAL 9-06-22 RONALD R. BOHANNAN P.E. #7868	BLVD 2500 ALBUQUERQUE, NM	DRAWN BY SB
	FIRE-1 PLAN	DATE 01-16-23
		DRAWING 2022083 FO-1
TERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com		SHEET # C1.0
		JOB # 2022083



****Conceptual**Approval for TCL.**
An additional approval for access will be required before submitting for permit. Herman Galegos 02-22-23
Herman Galegos



SIGHT TRIANGLE NOTE:
LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.

PRIVATE ONSITE WORK NOTE:
ALL PROPOSED IMPROVEMENTS SHOWN INSIDE THE PROPOSED PROPERTY LINES AND EXISTING PROPERTY LINES TO REMAIN ARE DEEMED PRIVATE ONSITE WORK AND WILL REQUIRE BUILDING PERMIT AND/OR GRADING PERMIT APPROVAL TO CONSTRUCT.

PUBLIC WORK NOTE:
ALL PROPOSED IMPROVEMENTS SHOWN OUTSIDE THE PROPOSED PROPERTY LINES AND EXISTING PROPERTY LINES TO REMAIN ARE DEEMED PUBLIC OFFSITE WORK AND WILL REQUIRE DRC WORK ORDER APPROVAL TO CONSTRUCT.

SITE DATA TRACT 1:

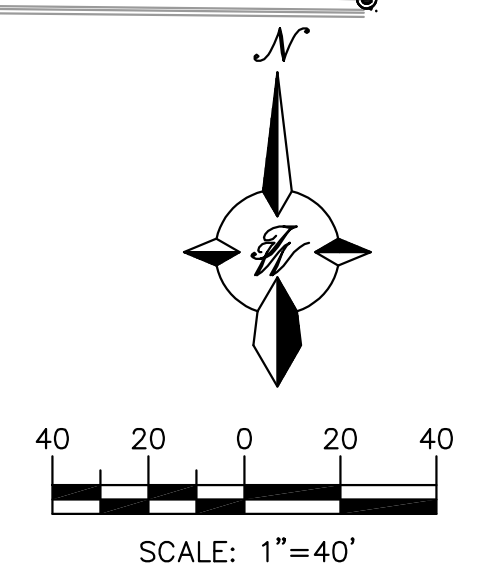
BUILDING 1:	RESTAURANT
PROPOSED USAGE:	
PARKING REQUIRED 32	(8 SPACES/1,000 SQ. FT. GFA)
PARKING PROVIDED 42	
HC PARKING REQUIRED: 4 SPACES (1 SPACE PER 1-25 PARKING SPACES)	
HC PARKING PROVIDED: 4 SPACES	
MC PARKING REQUIRED: 2 (2 SPACE PER 26-50 PARKING SPACES)	
MC PARKING PROVIDED: 2	

SITE DATA TRACT 3:

BUILDING 1:	RESTAURANT
PROPOSED USAGE:	
PARKING REQUIRED 16	(8 SPACES/1,000 SQ. FT. GFA)
PARKING PROVIDED 22	
HC PARKING REQUIRED: 1 SPACES (1 SPACE PER 1-25 PARKING SPACES)	
HC PARKING PROVIDED: 1 SPACES	
MC PARKING REQUIRED: 1 (1 SPACE PER 1-25 PARKING SPACES)	
MC PARKING PROVIDED: 1	

- KEYED NOTES**
- ① UNIDIRECTIONAL ACCESSIBLE RAMP PER COA STD 2443 AND DETECTABLE WARNING SURFACE PER COA STD 2446
 - ② 6" CURB AND GUTTER PER COA STD 2415A
 - ③ CONCRETE SIDEWALK PER COA STD 2430, WIDTH PER PLAN
 - ④ DUMPSTER W/RECYCLING
 - ⑤ ACCESSIBLE PARKING W/ WHEEL STOP AND SIGN PER ADA AND NMSA STANDARDS
 - ⑥ 4'x8'D MOTORCYCLE PARKING W/SIGN
 - ⑦ NEW PUBLIC ASPHALT PAVEMENT EXTENSION, MATCH EXISTING PAVEMENT SECTION
 - ⑧ PRIVATE ONSITE ASPHALT PAVEMENT, PAVEMENT SECTION PER GEOTECH REPORT

- LEGEND**
- CURB & GUTTER
 - BOUNDARY LINE
 - EASEMENT
 - BUILDING
 - PROPOSED SIDEWALK
 - EXISTING CURB & GUTTER
 - EXISTING BOUNDARY LINE
 - PARKING COUNT (NOT INCL. MC SPACES)
 - CLEAR SIGHT TRIANGLE
 - PROPOSED PUBLIC ASPHALT PAVEMENT
 - PROPOSED BICYCLE RACK (2 SPACES)
 - 6'-WIDE ADA PEDESTRIAN ROUTE



VEHICLE TRACKING NOTE:
AN AASHTO 2011 SU-30 WAS USED.

ENGINEER'S SEAL RONALD R. BOHANNAN P.E. #7868	BLVD 2500 ALBUQUERQUE, NM	DRAWN BY SB
	TRAFFIC CIRCULATION LAYOUT	DATE 01-16-23
	TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrowestllc.com	DRAWING
		SHEET # JOB # 2022083