

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

November 2, 2022

Scharles T. Wilder
Wilderdesign LLC
405 Laguna Blvd. SW
Albuquerque, NM 87104

Re: L & F- Cultivation
4415 Prospect Ave. NE
Traffic Circulation Layout
Engineer's/Architect's Stamp XX-XX-XX (H17-D014)

Dear Mr. Wilder,

Based upon the information provided in your submittal received 10-18-22, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. Please show a vicinity map showing the location of the development in relation to streets and well-known landmarks.
2. List the number of Motorcycle and Bicycle parking spaces required by the IDO.
3. The traffic circulation layout must be stamped, signed, and dated by an engineer or architect licensed in the state of New Mexico.
4. Identify the right of way width, medians, curb cuts, and street widths on Washington NE and Prospect Ave NE.
5. Per the DPM (Distance from the Intersection Table), driveway access off Prospect Ave. must be 50 ft away from the intersection of Washington and Prospect Ave. and driveway access off Washington should be 75 ft. away from the intersection. Please clearly show this distance on the site-plan.
6. All site's driveway accesses should be built per new requirements (per COA std dwg 2426).
7. Please provide shared parking agreement and shared access agreement.
8. Provide sidewalk width.
9. Clarify existing property lines and proposed property lines.
10. Please list the width and length for all existing and proposed parking spaces. Some dimensions are not shown.
11. The minimum parking stall dimensions are:

Type of parking	Min. Width	Min. Length	Min. Overhang
Standard	8.5'	18'	2'
Compact	7.5'	15'	1.5'
Motorcycle	4'	8'	N/A
ADA	8.5'	18'	2'

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12. The ADA accessible spaces must include an access aisle. Van accessible aisles should be 8ft wide; all others should be 5ft wide.
13. The ADA accessible parking sign must have the required language per 66-7-352.4C NMSA 1978 **"Violators Are Subject to a Fine and/or Towing."** Please call out detail and location of signs.
14. The ADA access aisles shall have the words **"NO PARKING"** in capital letters, each of which shall be at least one foot high and at least two inches wide, placed at the rear of the parking space so as to be close to where an adjacent vehicle's rear tire would be placed. (66-1-4.1.B NMSA 1978)
15. ADA curb ramp at the corner of Washington St. and Prospect Ave. must be updated to current standards and have truncated domes installed.
16. Motorcycle parking spaces shall be designated by its own conspicuously posted upright sign, either free-standing or wall mounted per the zoning code.
17. The pavement marking "MC" should be shown in the opposite direction for Motorcycles entering the parking space.
18. All bicycle racks shall be designed according to the following guidelines:
 - a. The rack shall be a minimum 30 inches tall and 18 inches wide.
 - b. The bicycle frame shall be supported horizontally at two or more places. Comb/toaster racks are not allowed.
 - c. The rack shall be designed to support the bicycle in an upright position. See the IDO for additional information.
 - d. The rack allows varying bicycle frame sizes and styles to be attached.
 - e. The user is not required to lift the bicycle onto the bicycle rack.
 - f. Each bicycle parking space is accessible without moving another bicycle.
19. Bicycle racks shall be sturdy and anchored to a concrete pad.
20. A 1-foot clear zone around the bicycle parking stall shall be provided.
21. Bicycle parking spaces shall be at least 6 feet long and 2 feet wide.
22. Show all drive aisle widths and radii. Some dimensions are not shown.
23. The minimum drive aisle dimensions are shown below

	Minimum Drive Aisle Width
Two Way Traffic	22'
Main Circulation Road	24'
Fire Lane	20'

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

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24. Per the IDO, a 6 ft. wide ADA accessible pedestrian pathway is required from the public sidewalk to the building entrances. Please clearly show this pathway and provide details.
25. Per DPM, a 6 ft. wide ADA accessible pedestrian pathway is required from the ADA parking stall access aisles to the building entrances. Please clearly show this pathway and provide details.
26. ADA accessible pedestrian pathway should not be placed behind parking space or adjacent to a vehicular way. Vehicle and pedestrian/wheel chair conflicts should be avoided as much as possible.
27. Please define the ADA pathway, by labeling ramps, flush pavement, and show the building entrance.
28. All sidewalks along streets should be placed at the property line.
29. Refuse vehicle maneuvering shall be contained on-site. The refuse vehicle shall not back into the public right of way.; provide a copy of refuse approval.
30. Please provide copy of Fire Marshal approval.
31. Show the clear sight triangle and add the following note to the plan: "Landscaping and signage will not interfere with clear sight requirements. Therefore, signs, walls, trees, and shrubbery between 3 and 8 feet tall (as measured from the gutter pan) will not be acceptable in the clear sight triangle.
32. Please specify the City Standard Drawing Number when applicable.
33. Unused curb cuts must be replaced with sidewalk and curb & gutter. A build note must be provided referring to the appropriate City Standard drawing.
34. Add a note stating "All broken or cracked sidewalk must be replaced with sidewalk and curb & gutter." A build note must be provided referring to the appropriate City Standard drawing.
35. Traffic Studies: See the Traffic Impact Study (TIS) thresholds. In general, a minimum combination of 100 Vehicles entering and exiting in the peak hour warrants a Traffic Impact Study. Visit with Traffic Engineer for determination, and fill out a TIS Form that states whether one is warranted. In some cases, a trip generation may be requested for determination (Contact Matt Grush: mgrush@cabq.gov).
36. Please provide a letter of response for all comments given.

Once corrections are complete resubmit

1. The Traffic Circulation Layout
2. A Drainage Transportation Information Sheet (DTIS)
3. Send an electronic copy of your submittal to PLNDRS@cabq.gov.
4. The \$75 re-submittal fee.

for log in and evaluation by Transportation.

CITY OF ALBUQUERQUE

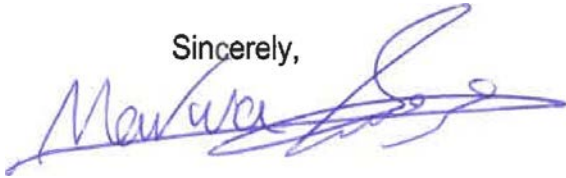
Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

If you have any questions, please contact me at (505) 924-3675.

Sincerely,



Marwa Al-najjar
Associate Engineer, Planning Dept.
Development Review Services

PO Box 1293

Albuquerque

\ma via: email
C: CO Clerk, File

NM 87103

www.cabq.gov



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 1/2016)

Project Title: LEAF & FLOWER Building Permit #: 2022-27653 Hydrology File #: _____
DRB#: _____ EPC#: _____ Work Order#: _____
Legal Description: _____

City Address: 4415 PROSPECT AVENUE, ALBUQUERQUE NM 87110

Applicant: WILDER DESIGN Contact: CHARLES WILDER
Address: 405 LAGUNA BLVD SW, ALBUQUERQUE, NM 87104
Phone#: 505-759-7735 Fax#: _____ E-mail: casawilders@gmail.com

Other Contact: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

Check all that Apply:

DEPARTMENT:

- ☐ HYDROLOGY/ DRAINAGE
☐ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

- ☐ AS-BUILT CERTIFICATION

☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR

☒ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ NEIGHBORHOOD IMPACT ASSESMENT (NIA)

☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
☐ OTHER (SPECIFY) _____

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY
☐ GRADING/ESC PERMIT APPROVAL

☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL

☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR

☐ PRE-DESIGN MEETING?

☐ OTHER (SPECIFY) _____

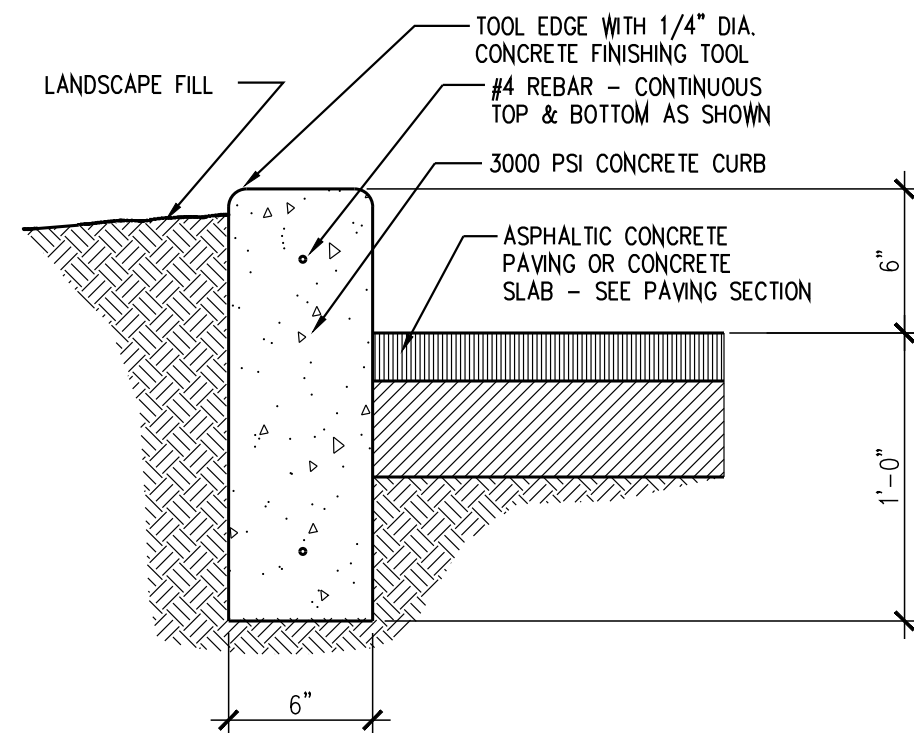
IS THIS A RESUBMITTAL?: ☐ Yes ☐ No

DATE SUBMITTED: 10/12/22 By: [Signature]

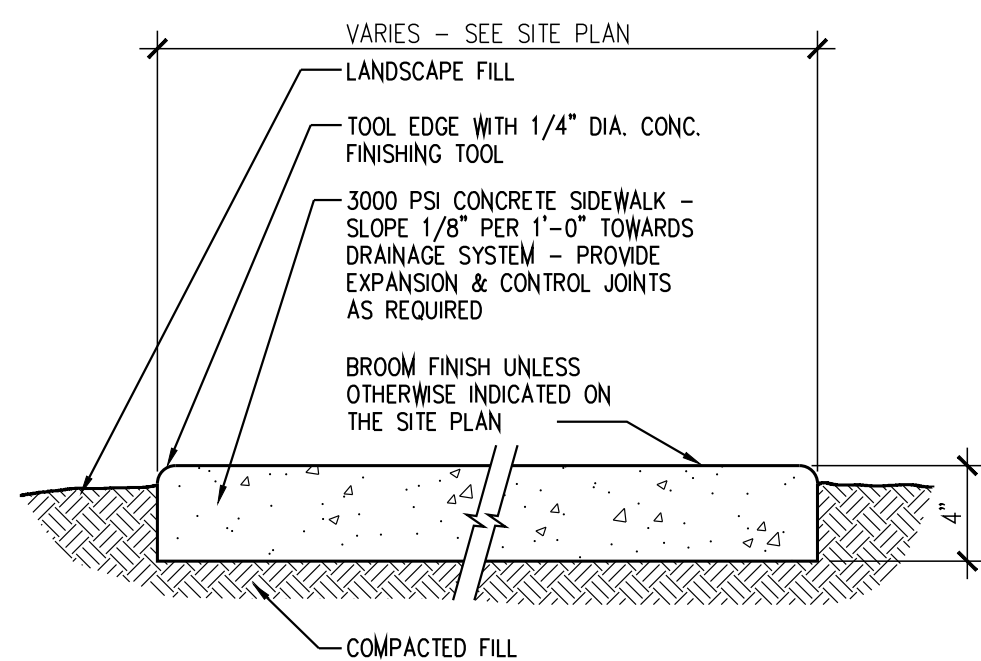
COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

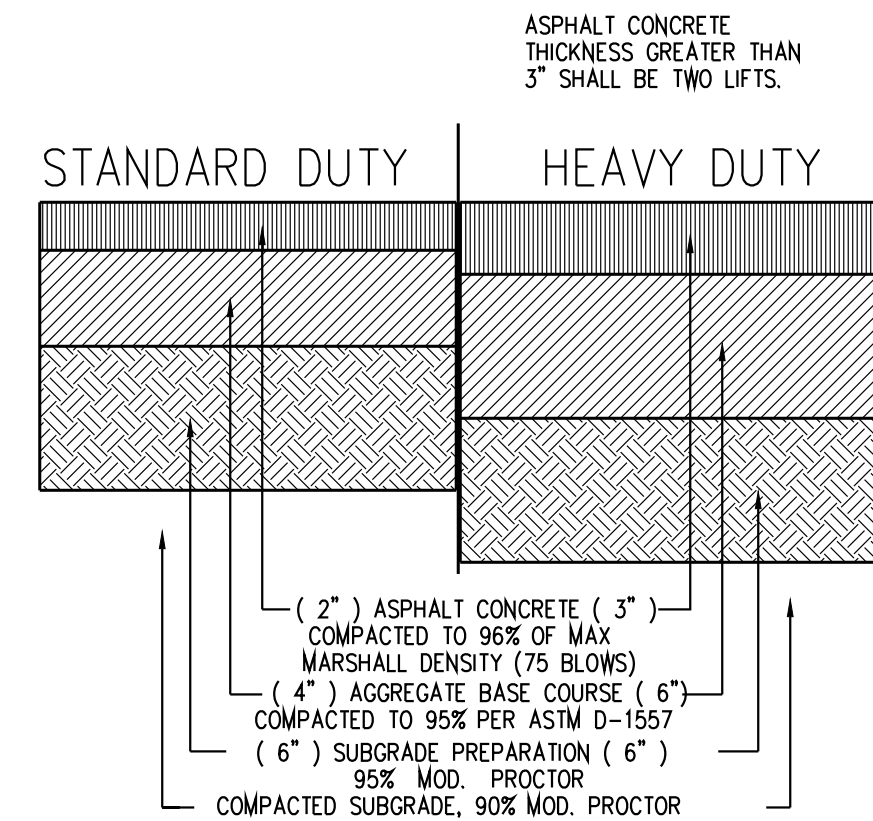
FEE RECEIVED: _____



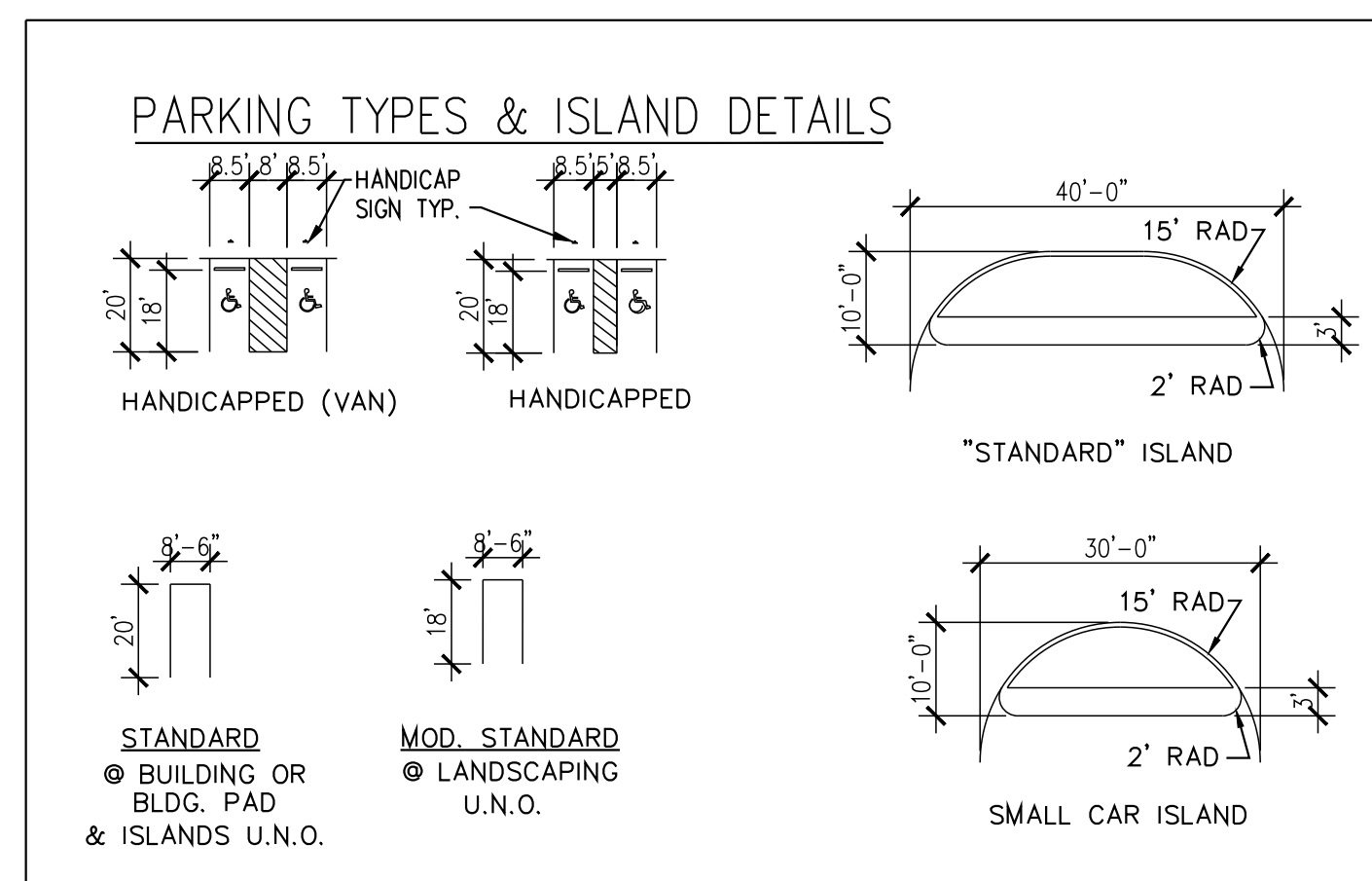
7 STAND-UP CURB - TYPICAL
SCALE: 1 1/2"=1'-0"



8 SIDEWALK
SCALE: 1 1/2"=1'-0"

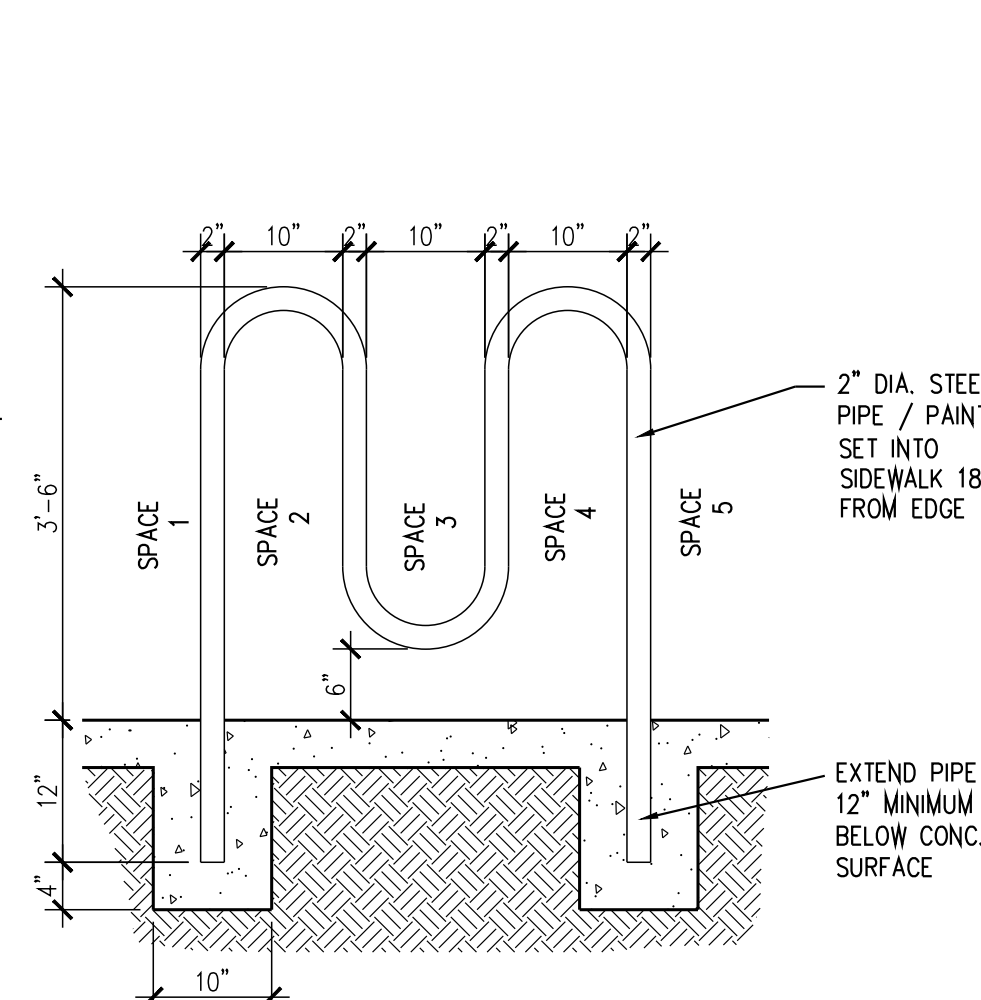


9 ASPHALT PAVING SECTION - 'A'
SCALE: 1 1/2"=1'-0"

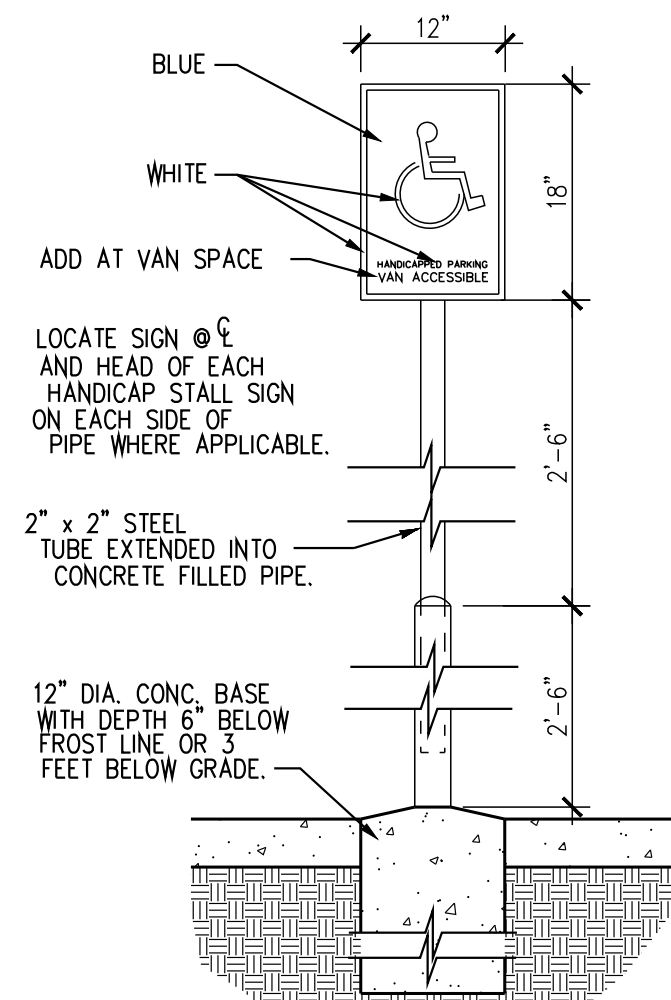


OKEYED NOTES

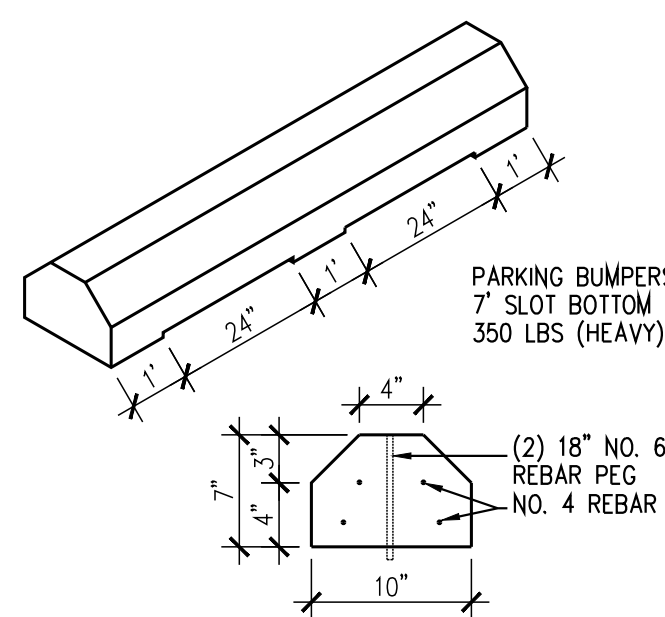
- EXISTING HANDICAP SIGN - 1 REQUIRED.
- EXISTING PARKING BUMPER - 1 REQUIRED - SEE DETAIL 4/C1.
- EXISTING REFUSE CONTAINER BY OWNER
- NEW RIBBON STYLE BIKE RACK 5 SPACES
- HEAVY DUTY ASPHALT PAVING TYPICAL. SEE PAVING SECTION.



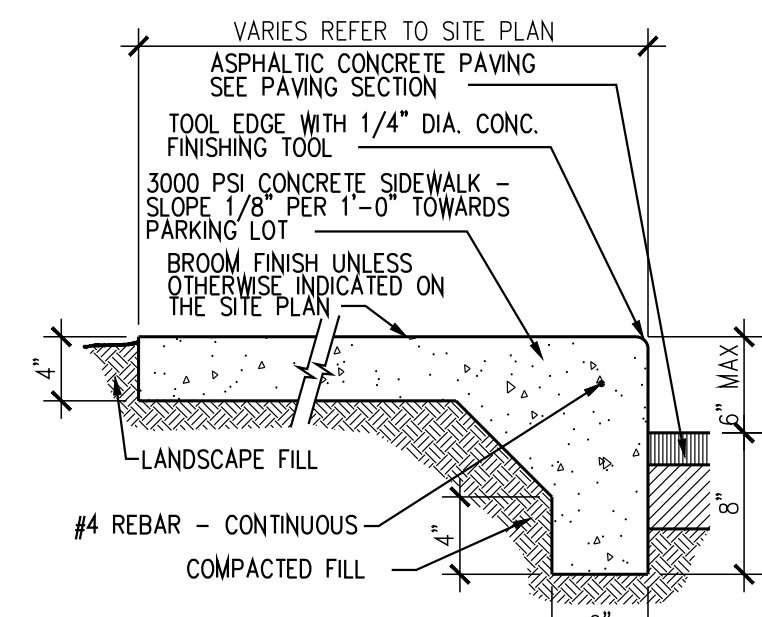
5 BICYCLE RACK
SCALE: 3/4"=1'-0"



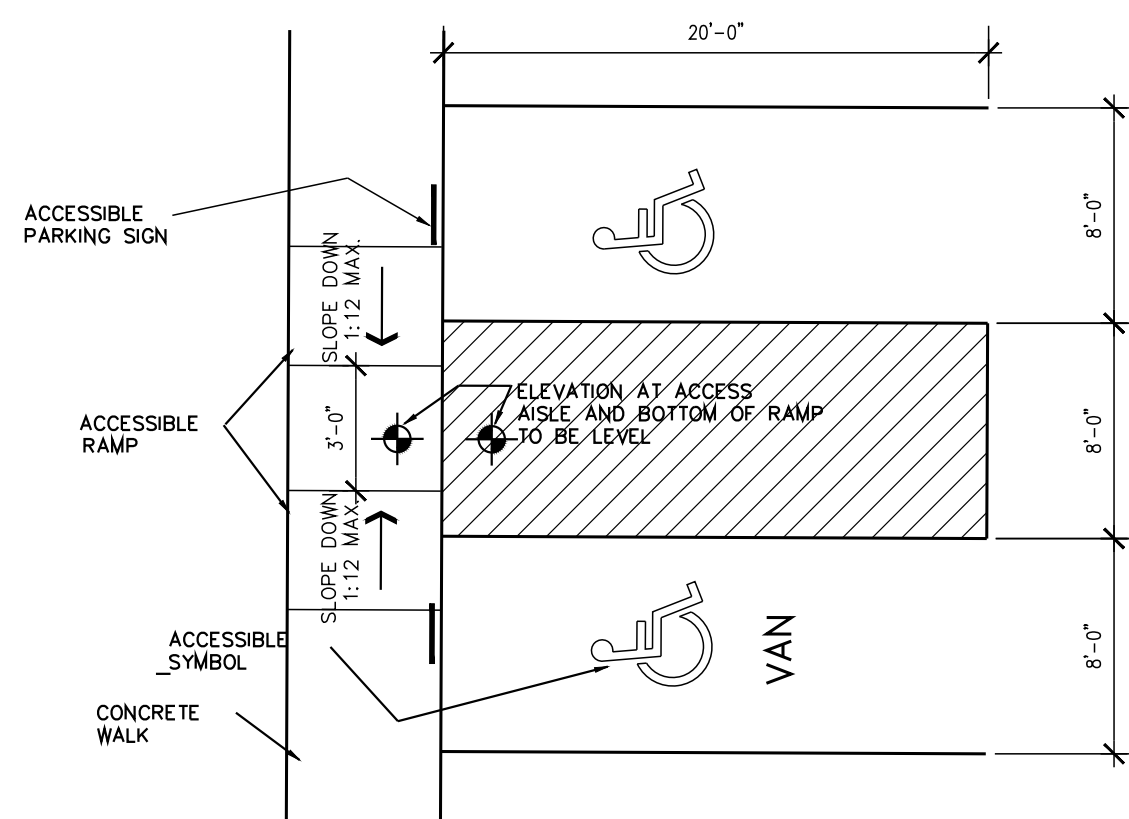
6 HANDICAP PARKING SIGN
SCALE: 3/4"=1'-0"



3 PARKING BUMPER
NOT TO SCALE



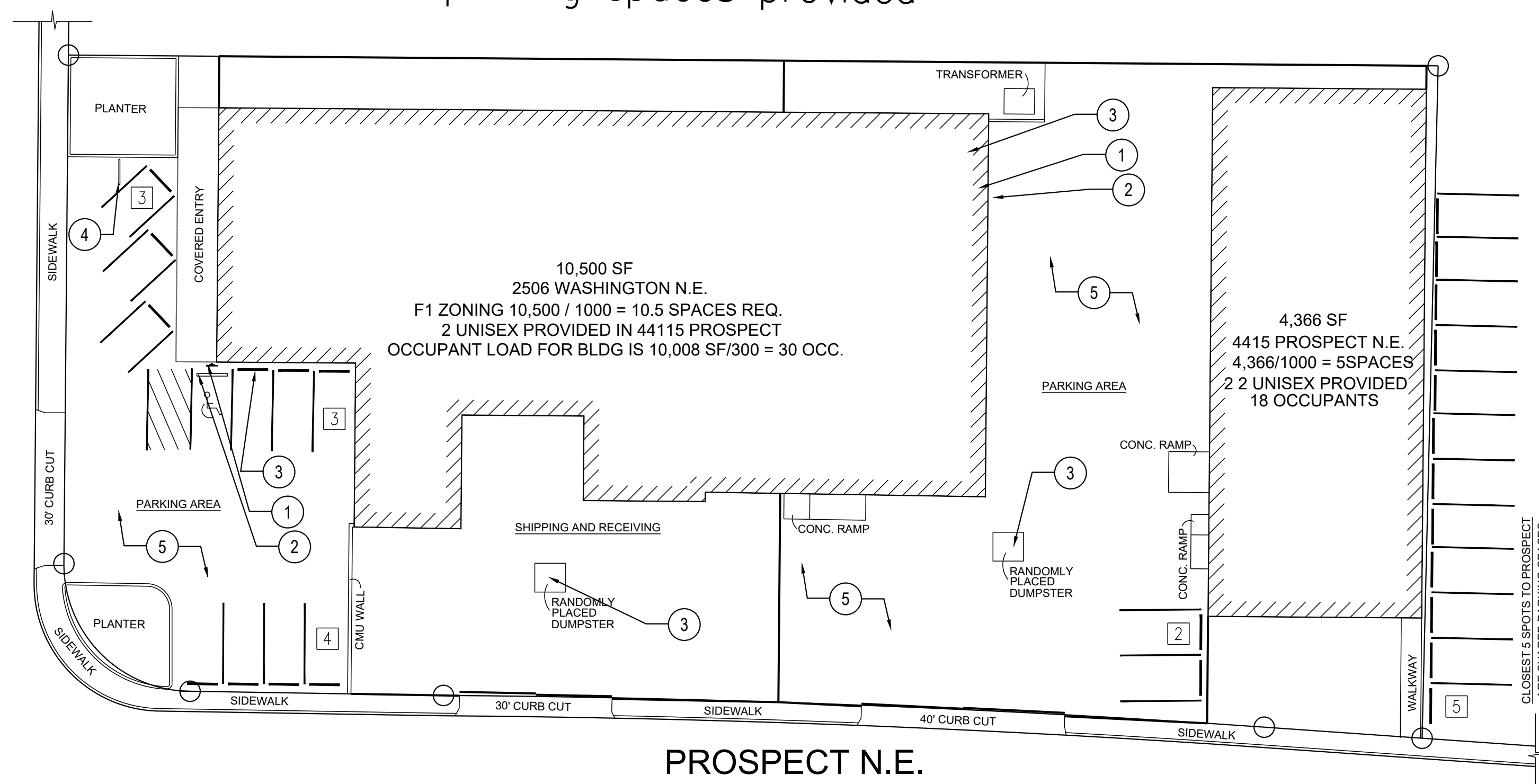
4 TURN-DOWN SIDEWALK - TYP.
SCALE: 1"=1'-0"



1 DISABLED PARKING DETAIL
3/16"=1'-0"

PLUMBING:
BOTH BUILDING HAVE ONE OWNER AND SHARE RESTROOMS IN THE PROSPECT BLDG.
1 MALE AND 1 FEMALE RESTROOM REQUIRED UNDER 75 OCCUPANTS FOR TOTAL SITE
14,886 sf manu. 1PER 1,000= 15 parking spaces
17 parking spaces provided

WASHINGTON N.E.



SITE PLAN
SCALE: 1"=20'-0"

RADIUS LEGEND

- | | |
|--------------|--------------|
| ① 2' RADIUS | ⑥ 15' RADIUS |
| ② 3' RADIUS | ⑦ 20' RADIUS |
| ③ 4' RADIUS | ⑧ 25' RADIUS |
| ④ 5' RADIUS | ⑨ 35' RADIUS |
| ⑤ 10' RADIUS | ⑩ 50' RADIUS |

WILDER DESIGN
architecture.planning.sustainable design consulting

L&F - CULTIVATION
4415 PROSPECT AVE.
ALBUQUERQUE, NM

TRAFFIC CIRCULATION LAYOUT

JOB #	22016
DATE	6/15/2022
DRAWN BY:	STW
PROJECT MANAGER	STW

TCL

NOTE: THESE ARE EXISTING CONDITIONS UNDER PREVIOUS PERMIT AND BUILT. THE PARKING REQUIREMENT IS LESS